



City of Boyne City

Founded 1856

319 N. Lake Street

Boyne City, Michigan 49712
www.cityofboynecity.com

Phone 231-582-6597
Fax 231-582-6506

AGENDA

BOYNE CITY PLANNING COMMISSION

Monday February 18, 2019 5:00 p.m.
Boyne City Hall



Scan QR code or go to
www.cityofboynecity.com
click on Boards & Commissions for complete
agenda packets & minutes for each board

1. Call to Order
2. Roll Call - Excused Absences
3. Consent Agenda
The purpose of the consent agenda is to expedite business by grouping non-controversial items together to be acted upon by one Commission motion without discussion. Any member of the Commission, staff, or the public may ask that any item(s) on the consent agenda be removed to be addressed immediately following action on the remaining consent agenda items. Such requests will be respected.

Approval of minutes from the January 21, 2019 Boyne City Planning Commission meeting.
4. Hearing Citizens Present *(Non-Agenda Items)*
5. Reports of Officers, Boards, Standing Committees
6. Unfinished Business
7. New Business
 - A. Preliminary Review of proposed renovation at 300 Water St
 - B. Development Plan Review proposed Mixed Use at 216 N Lake
 - C. Preliminary Review Proposed Mixed Use 100 N Lake St
 - D. 2019-2024 CIP Plan
8. Staff Report
9. Good of the Order
10. Adjournment – Next Meeting March 18, 2019

Individuals with disabilities requiring auxiliary aids or services in order to participate in municipal meetings may contact Boyne City Hall for assistance: Cindy Grice, City Clerk/Treasurer, 319 North Lake Street, Boyne City, MI 49712; phone (231) 582-0334

**Meeting of
January 21, 2019**

Record of the proceedings of the Boyne City Planning Commission meeting held at Boyne City Hall, 319 North Lake Street, on Monday January 21, 2019 at 5:00 pm.

Call to Order

Vice Chair Allen called the meeting to order at 5:00 p.m.

Roll Call

Present: Ken Allen, Jason Biskner, Tom Neidhamer, Aaron Place (arrived 5:03 pm)
Jeff Ross and Joe St. Dennis
Absent: George Ellwanger and Jim Kozlowski
Vacancy: One

**Excused Absences
Motion

2019-1-21-02
St. Dennis moved, Biskner seconded, PASSED UNANIMOUSLY, a motion to excuse the absence of Kozlowski.

Meeting Attendance

City Officials/Staff: Planning and Zoning Administrator Scott McPherson, City Manager Michael Cain, City Commissioner Hugh Conklin and Recording Secretary Pat Haver
Public Present: Six

**Consent Agenda
Motion

2019-1-21-03
Biskner moved, Ross seconded, PASSED UNANIMOUSLY, a motion to approve the consent agenda, the Planning Commission minutes from December 17, 2018 as presented.

Chair Place arrived at 5:03 pm so Vice Chair Allen turned the meeting over to him

**Citizen comments on
Non-Agenda Items**

Ted Macksey wanted to update the commission on the status of his project on Jefferson St. As you recall, in April of 2017 he was approved for a zoning district change to multi family, and as a condition of the rezoning must present a development plan within 2 years, his time is almost up. He has been crunching numbers, talking with investors and joint venture partners and has not had any luck due to prohibitive development and construction costs. There is a possibility of having to come back in front of this board for another rezoning request and then eventually to the City Commission for approval, depending on the outcome of his development plans. He is now leaning towards a manufactured housing community on his 30 acres. He still wants to meet the current demand of affordable housing, and just can't get the costs affordable enough. These housing options are not BOCA but HUD manufactured double wide housing units that should come in between \$90,000 to \$120,000. He would like to make sure that there is enough space on each lot to have a 1 or 2 car garage for vehicles or storage. They will be built in a factory and brought in and set on the lots and not built on site.

Neidhamer – Will this project be owner owned, rentals or a mix?

Macksey – It will be a land lease community with a manager's office to oversee the day to day operations, and will be run as an association. The development will meet all of the zoning requirements as far as open/common space design, lot width, landscaping and sidewalks.

The board felt that it would be best if the developer met with staff to bring in concepts to see if they will work with the earlier approved sketches that were brought before the board as proposals, and proceed from there.

**Reports of Officers,
Boards and Standing
Committees**

Boyne Housing Solutions board will be meeting on Friday, February 15th, either at 1:00 pm or 1:30 pm all are encouraged and invited to attend.

Unfinished Business

None

New Business

**Review proposed
housing options for City
wide property**

Planning Director McPherson reviewed his report that was included in the agenda packet, then turned the discussion over to City Manager Cain to continue. The city currently has a surplus of property that could possibly be brought into use for housing developments to help alleviate the current housing shortage. The available parcels would be put out to bid, and the city would be able to decide which bidder would fit the best interests of the city based on several factors. Currently there are 2 prospective pieces of land that have peaked the interest of some developers, both of the locations under consideration already have infrastructure on site, or very close by which includes water/sewer and are on paved roads. One is a little over 3 acres on Court Street currently west of the DPW facility, zoned multifamily residential. It runs alongside and behind the current Lakeview Apartments owned by Bob & Pam Brooks. Potentially working with the Boyne City Housing Commission, a future development of an additional 32 units is being explored. The second area is on Court Street between Robinson St and Escape St. This area is a little over 3.15 acres and could be used for single family residences, as the zoning in this district is under investigation and thought to have originally been TRD/Traditional Family Residential prior to being changed to CSD/Community Service District. This area currently is used for storage for city items, the location of the community garden and is near the dog park. In the past, excess fill has been dumped in the area, so there is some grading work that would need to be done. According to Pat Little and Ken Schrader, the Boyne City Public Schools has been looking to purchase property for their building trades class with continued construction of houses. In this area, a total of 12 to 15 houses could be proposed, giving the schools the ability to put in any needed infrastructure and to perform any grading work that needs to be done all at once to spread out the cost among the multiple lots, and not have the added expense of putting in one at a time. To help address the housing shortage, the building trades class for the 2019-2020 school season are going to build 2 smaller homes on Pleasant Avenue instead of one larger one. With board discussion, they all agree that something needs to be done to help alleviate the housing crisis, and look forward to seeing any development proposals that would help attain those goals. This item is also on the City Commissions' agenda for consideration tomorrow 1-22-2019.

**Review RRC
recertification report
and update
Redevelopment Ready
Sites**

Planning Director McPherson reviewed his report that was included in the agenda packet. The city was certified as an RRC Community back in 2015. At the end of 2018, staff received recertification packet information for completion to continue to hold onto the RRC status. In that report the city was found to be in substantial compliance with the current RRC best practices, however the report did identify some items that need to be addressed to maintain certification. Because of the RRC certification, the city has been able to take advantage of several opportunities in the form of marketing the City's RRC redevelopment sites, no cost training opportunities for city staff and appointed officials, planning assistance and studies which included the recent M-75 Corridor and downtown parking studies, along with the Boyne on the Water Plan and soil borings for the Fochtman site. Since staff has received the report, they have been working on ways to address the identified areas that need to be completed in the RRC Recertification Action Plan, which party is responsible to oversee each area and the estimated time for completion. It has been determined that the Planning Commission should review and update the previous list of priority sites to determine which sites can be removed, which sites should be added, and which sites are in the process of redevelopment completion. From the previous listing, Site 1 17 N. Lake St.; Site 2 302 Front St.; Site 3 216 S. Lake St.;

Staff Report

should remain, Site 4 311 E. Water St. is owner occupied with short term rentals; Site 5 437 Boyne Ave. is currently in the process of being redeveloped; and Site 6 100 N. Lake St. has prospective developers looking at the possibility of redevelopment. With board discussion they would like to see added to the priority site list:

- 201 E. Water St. (Parkside Grill and Treats)
- 211 E. Water St. (Country Now and Then)
- 401 E. Main St. (Unoccupied building)
- City owned parking lot on the corner of S. Lake St. and Ray St.

Staff will get information to the state identifying these potential sites and work closely with them to ensure that the recertification process is completed in order for the city to remain in the program.

Staff Report

- A question was raised by a commission member about short term rentals and if staff has been able to go through the data to determine the impact of these on the city? Staff has been accumulating an inventory of those units that have been identified and trying to determine the economic impact on the city and what would happen if they are to remain out of the inventory for single family housing units.
- For the RRC recertification process, there are a number of items that the Planning Commission will be responsible for, so each month once the action item identification has been finalized, this board will be working on different areas for completion.

Good of the Order

- Rotary Park fencing: at one point donated poles were going to be used, and now due to aesthetics, a different direction is being looked at. It was brought up that maybe look at split rail fencing, however, use pipes instead of wood.
- James Kozlowski will be absent from the January, February and March meetings

The next regular meeting of the Boyne City Planning Commission is scheduled for Monday, February 18, 2019 at 5:00 p.m.

Adjournment

**Motion

2019-1-21-10

St. Dennis moved, Ross seconded, PASSED UNANIMOUSLY a motion to adjourn the January 21, 2019 meeting at 6:23 p.m.

Chair Aaron Place

Recording Secretary Pat Haver

CITY OF BOYNE CITY

To: Chair Aaron Place, and fellow Planning Commissioners

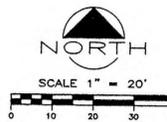
From: Scott McPherson, Planning Director

Date: February 18, 2019

Subject: 300 Water Street Pre-application meeting



A request for a pre-application meeting with the planning commission to discuss a proposed development plan for 300 Water Street has been received from Bob Grove. The property is the location of Dilworth Hotel and is currently being renovated. The property is located in the Central Business District. Conceptual site plans and building plans have been provided for discussion.



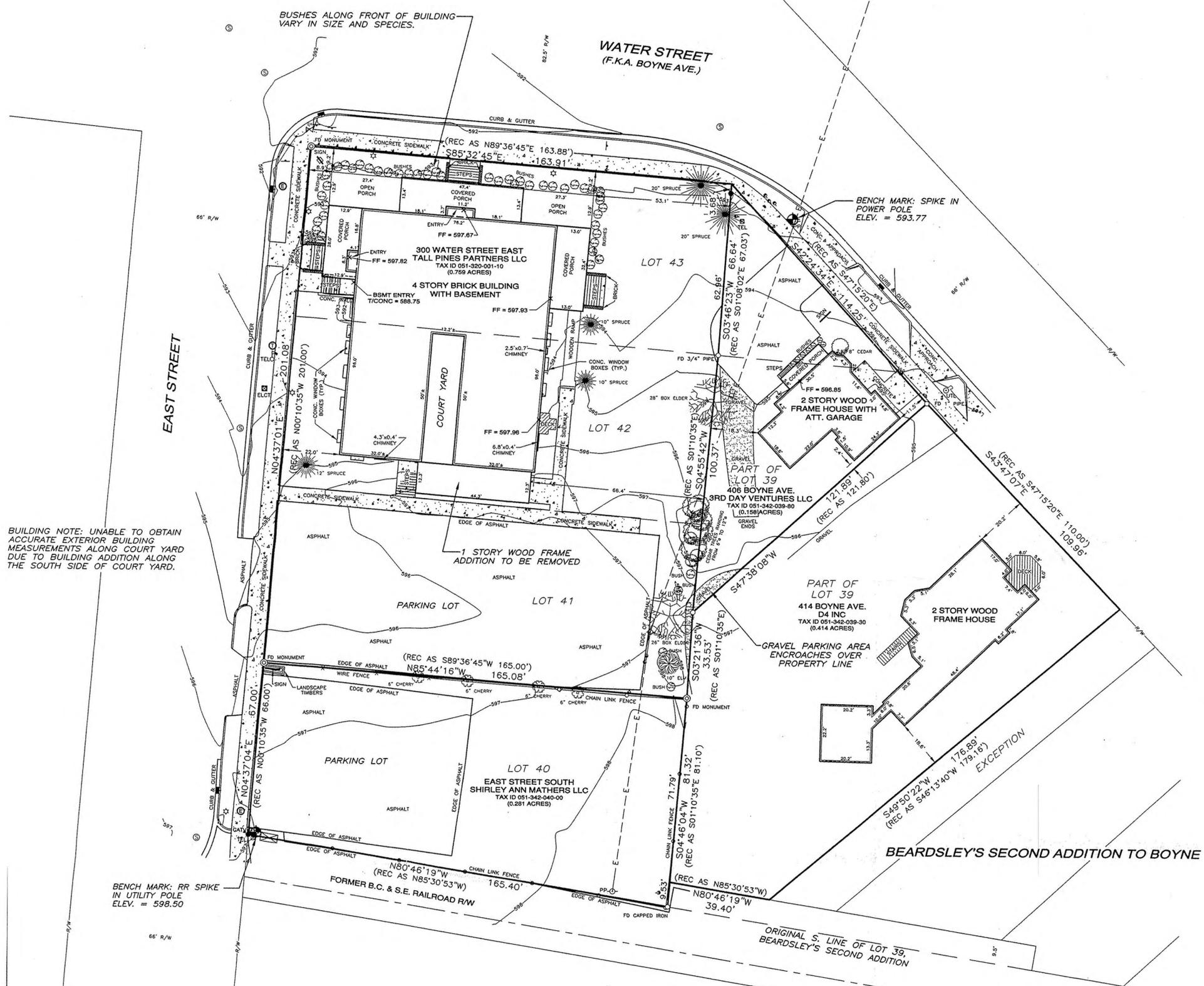
TOPOGRAPHIC SURVEY
FOR

LOTS 40, 41, 42 & 43
AND
PART OF LOT 39

BEARDSLEY'S SECOND ADDITION TO BOYNE
CITY OF BOYNE CITY, CHARLEVOIX COUNTY, MICHIGAN

- LEGEND:**
- ALL DIMENSIONS ARE IN FEET.
 - "O" INDICATES IRON/ROD FOUND IN PLACE.
"⊙" INDICATES CONCRETE MONUMENT FOUND IN PLACE.
 - 1/2" x 24" STEEL RODS WITH I.D. CAPS HAVE BEEN SET AT ALL POINTS MARKED WITH "•".
 - BEARINGS ARE IN RELATIONSHIP TO GPS OBSERVATIONS OF EXISTING MONUMENTATION FOR THE WOVERINE-DILWORTH HOTEL CONDO AS RECORDED IN LIBER 296, PAGE 704-743, CHARLEVOIX COUNTY RECORDS.
 - CONTOURS AS SHOWN ARE EXISTING GROUND ELEVATIONS. CONTOUR INTERVALS ARE ONE (1) FOOT. ELEVATIONS ARE BASED ON ESTABLISHED ELEVATIONS OBTAINED BY GPS OBSERVATIONS (N.A.V. DATUM OF 1988).
 - UNDERGROUND UTILITIES WERE NOT FLAGGED AT TIME OF THIS SURVEY AND AS-BUILT UTILITY INFORMATION NOT SUPPLIED.
 - TREE SIZES & DESCRIPTIONS AS SHOWN ARE EXISTING.

- UTILITY LEGEND:**
- PP-O POWER POLE
 - GUY GUY ANCHOR
 - UTL UTILITY POLE
 - STREET LAMP POST
 - ELECTRIC RISER
 - TELEPHONE RISER
 - CABLE TV RISER
 - TRACING WIRE POST
 - FIRE HYDRANT
 - WATER VALVE
 - WATER CURB STOP
 - GAS VALVE
 - SANITARY MANHOLE
 - ELECTRIC MANHOLE
 - TELEPHONE MANHOLE
 - STORM MANHOLE
 - CATCH BASIN
 - ELECTRICAL TRANSFORMER
 - STREET SIGN
 - BUSINESS SIGN



BUILDING NOTE: UNABLE TO OBTAIN ACCURATE EXTERIOR BUILDING MEASUREMENTS ALONG COURT YARD DUE TO BUILDING ADDITION ALONG THE SOUTH SIDE OF COURT YARD.

BENCH MARK: RR SPIKE IN UTILITY POLE
ELEV. = 598.50

BENCH MARK: SPIKE IN POWER POLE
ELEV. = 593.77

F.O. BARDON LUMBER

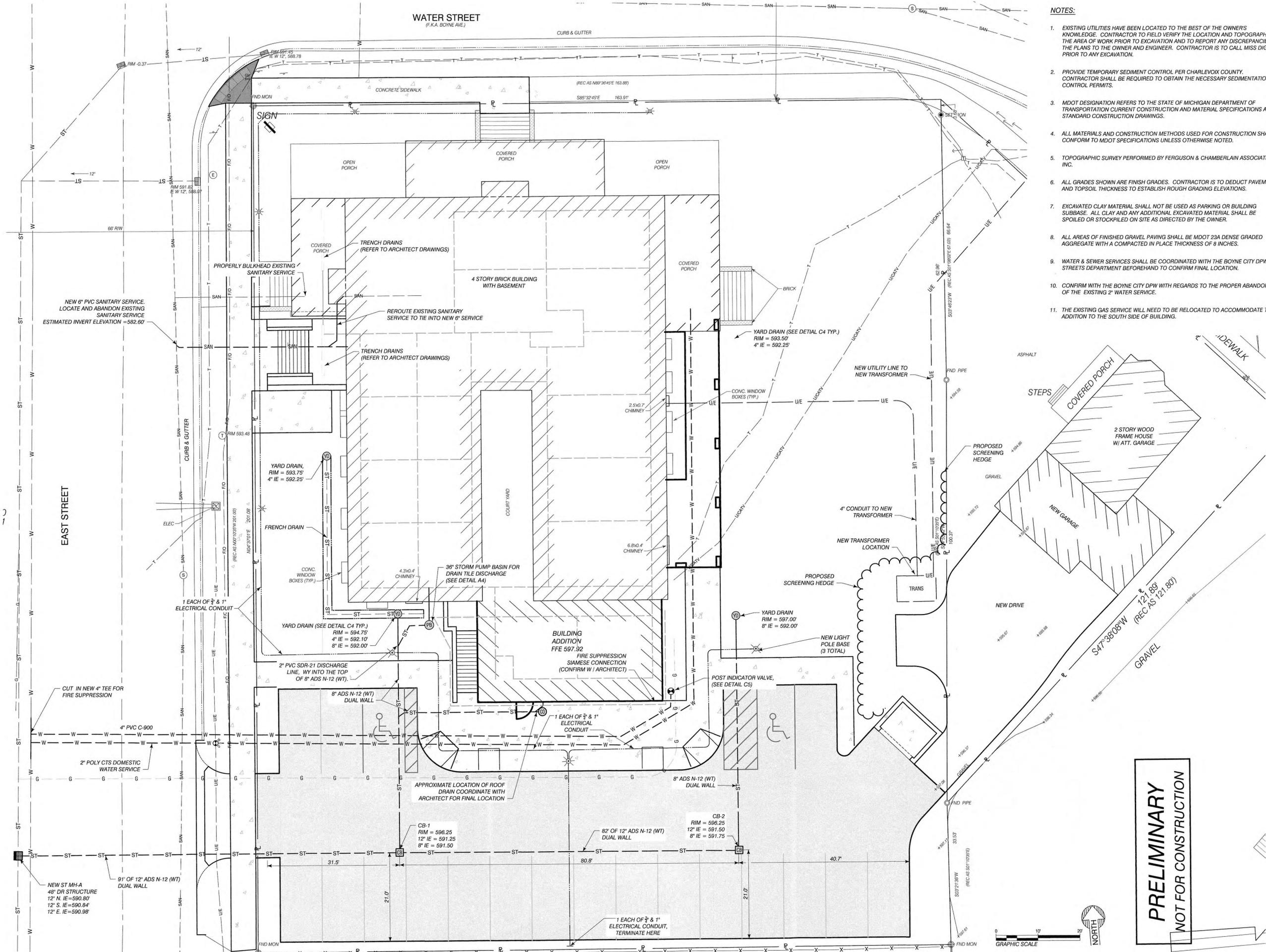


JOHN E. FERGUSON P.S. NO. 24595

PREPARED FOR:
Bob Grove
C/O
CORNERSTONE ARCHITECTS
440 Bridge St N.W.
Grand Rapids, MI 49504

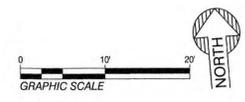
FERGUSON & CHAMBERLAIN ASSOCIATES, INC. PROFESSIONAL SURVEYORS 103 W. UPRIGHT STREET, CHARLEVOIX, MICHIGAN 49720 (231) 547-6882 - FAX (231) 547-0021 EMAIL: info@focasurveying.com		DRAWN BY: DAS CHECKED BY: SAP JOB NO: ST-26420c.17	DATE: 05/16/2017 DRAWING NO.: 26420(0p0) SHEET 1 OF 1
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K:\PROJECTS\5093\DRAWINGS\5093C101.DWG - C101 - PLOTTED 1/28/2019 9:39 AM BY BRAD MUJANA



- NOTES:**
- EXISTING UTILITIES HAVE BEEN LOCATED TO THE BEST OF THE OWNER'S KNOWLEDGE. CONTRACTOR TO FIELD VERIFY THE LOCATION AND TOPOGRAPHY IN THE AREA OF WORK PRIOR TO EXCAVATION AND TO REPORT ANY DISCREPANCIES IN THE PLANS TO THE OWNER AND ENGINEER. CONTRACTOR IS TO CALL MISS DIG PRIOR TO ANY EXCAVATION.
 - PROVIDE TEMPORARY SEDIMENT CONTROL PER CHARLEVOIX COUNTY. CONTRACTOR SHALL BE REQUIRED TO OBTAIN THE NECESSARY SEDIMENTATION CONTROL PERMITS.
 - MDOT DESIGNATION REFERS TO THE STATE OF MICHIGAN DEPARTMENT OF TRANSPORTATION CURRENT CONSTRUCTION AND MATERIAL SPECIFICATIONS AND STANDARD CONSTRUCTION DRAWINGS.
 - ALL MATERIALS AND CONSTRUCTION METHODS USED FOR CONSTRUCTION SHALL CONFORM TO MDOT SPECIFICATIONS UNLESS OTHERWISE NOTED.
 - TOPOGRAPHIC SURVEY PERFORMED BY FERGUSON & CHAMBERLAIN ASSOCIATES, INC.
 - ALL GRADES SHOWN ARE FINISH GRADES. CONTRACTOR IS TO DEDUCT PAVEMENT AND TOPSOIL THICKNESS TO ESTABLISH ROUGH GRADING ELEVATIONS.
 - EXCAVATED CLAY MATERIAL SHALL NOT BE USED AS PARKING OR BUILDING SUBBASE. ALL CLAY AND ANY ADDITIONAL EXCAVATED MATERIAL SHALL BE SPOILED OR STOCKPILED ON SITE AS DIRECTED BY THE OWNER.
 - ALL AREAS OF FINISHED GRAVEL PAVING SHALL BE MDOT 23A DENSE GRADED AGGREGATE WITH A COMPACTED IN PLACE THICKNESS OF 8 INCHES.
 - WATER & SEWER SERVICES SHALL BE COORDINATED WITH THE BOYNE CITY DPW / STREETS DEPARTMENT BEFOREHAND TO CONFIRM FINAL LOCATION.
 - CONFIRM WITH THE BOYNE CITY DPW WITH REGARDS TO THE PROPER ABANDONING OF THE EXISTING 2" WATER SERVICE.
 - THE EXISTING GAS SERVICE WILL NEED TO BE RELOCATED TO ACCOMMODATE THE ADDITION TO THE SOUTH SIDE OF BUILDING.

**PRELIMINARY
NOT FOR CONSTRUCTION**



Performance Engineers, Inc.
Civil / Structural Engineering
406 Parsippany Avenue
Charlevoix, Michigan 49720
Phone: (231) 547-2121
www.performanceeng.com

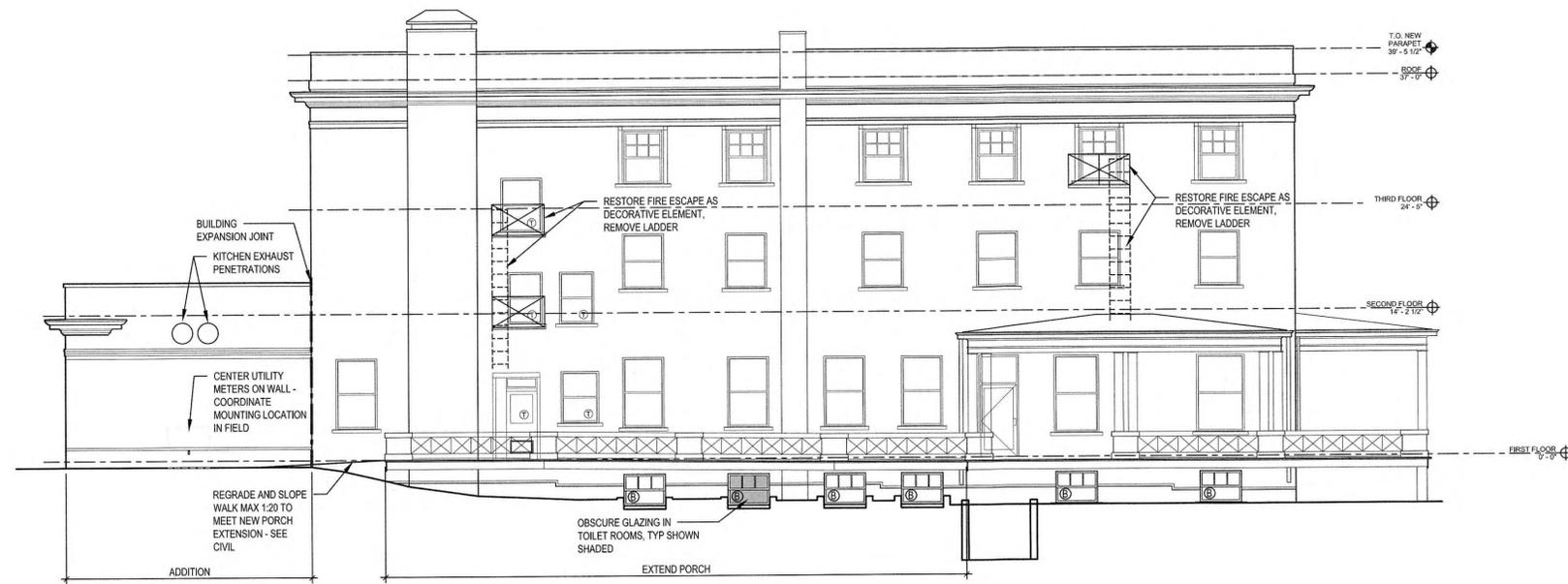
**Wolverine Dilworth Hotel
Renovation and Addition**
300 Water Street
Boyerne City, Michigan 49712

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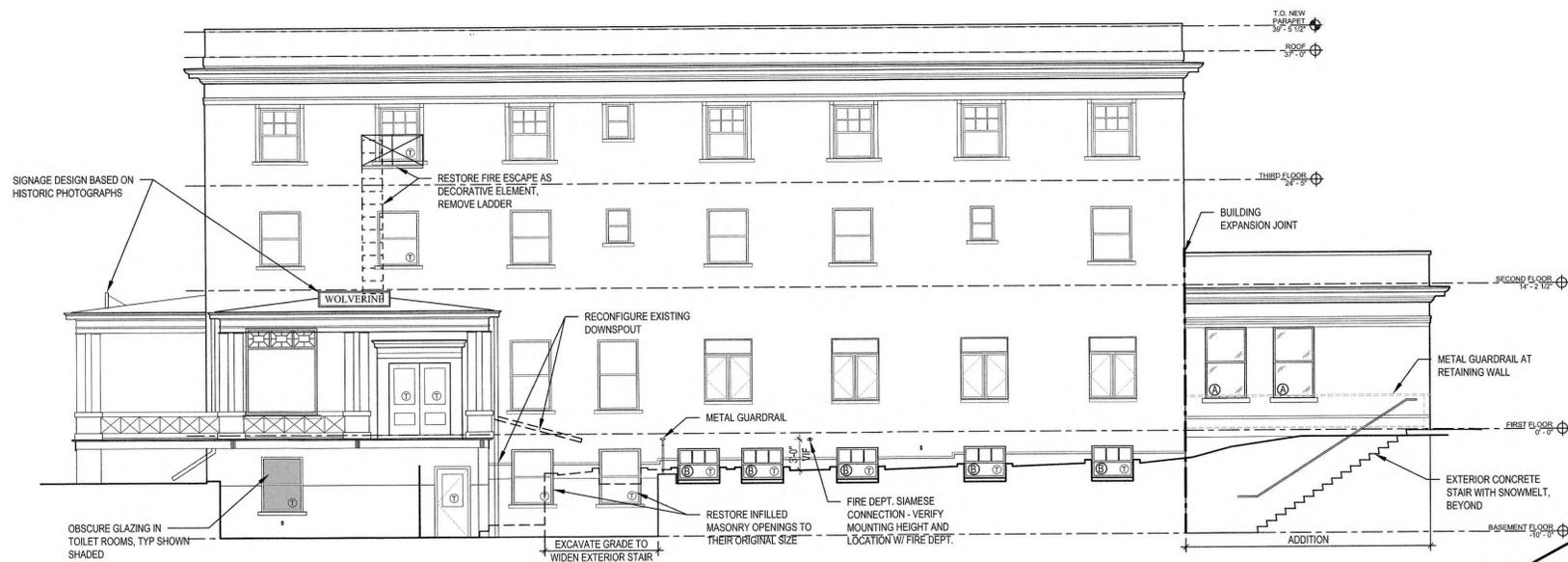
© 2017 Project 17.102 Dilworth Hotel/Charlevoix/Cornerstone Architects, Inc. 01/28/2019
Architecture Interior Design Historic Preservation
440 Bridge Street Grand Rapids, MI 49504
616.774.0100 P www.cornerstone-arch.com 616.774.2956 F

DATE	ISSUED FOR
01/26/2018	NOT ISSUED
03/12/2018	NOT ISSUED
05/04/2018	NOT ISSUED
12/18/2018	OWNER REVIEW
01/22/2019	ARCH. REVIEW

FIG:	TGN
FW:	AEN
DRAFTS:	CWS
PROJECT NO:	17.102
SHEET TITLE:	SITE UTILITY PLAN
SHEET NO:	C101



B1 EAST ELEVATION
 A200 SCALE: 1/8" = 1'-0"



A1 WEST ELEVATION
 A200 SCALE: 1/8" = 1'-0"

PRELIMINARY
 NOT FOR CONSTRUCTION

Wolverine Dilworth Hotel
 Renovation and Addition

300 Water Street
 Boyne City, Michigan 49712

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Cornerstone Architects
 Grand Rapids Traverse City
 Architecture Interior Design Historic Preservation
 440 Bridge Street Grand Rapids, MI 49504
 616.774.0100 p www.cornerstone-arch.com 616.774.2856 f

DATE	ISSUED FOR
11/14/2017	HPCA Amendment
01/26/2018	50% DD
03/12/2018	100% DD
05/04/2018	80% CD
08/27/2018	PROGRESS SET

PIC: TGN
 PM: MMB
 DRAFTS: MMB

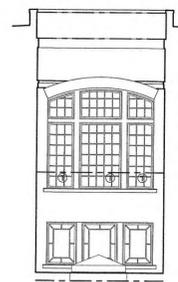
PROJECT NO: **17.102**

SHEET TITLE: **EXTERIOR ELEVATIONS**

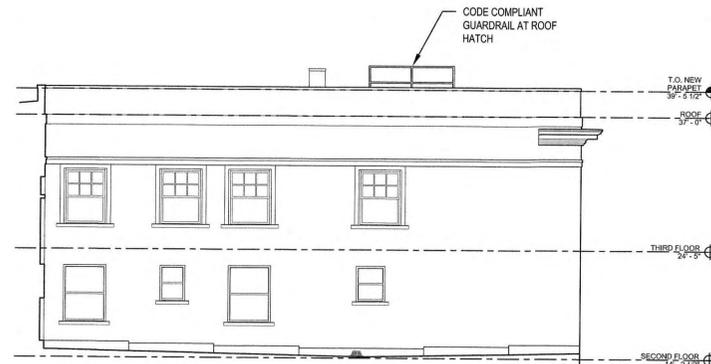
SHEET NO: **A200**



B3
A201 EAST LIGHTWELL ELEVATION
SCALE: 1/8" = 1'-0"



B2
A201 SOUTH
SCALE: 1/8" = 1'-0"



B1
A201 WEST LIGHTWELL ELEVATION
SCALE: 1/8" = 1'-0"



A2
A201 NORTH ELEVATION
SCALE: 1/8" = 1'-0"



A1
A201 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

PRELIMINARY
NOT FOR CONSTRUCTION

Wolverine Dilworth Hotel
Renovation and Addition

300 Water Street
Boyer City, Michigan 49712

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Grand Rapids Traverse City
Architecture Interior Design Historic Preservation

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DATE	ISSUED FOR
11/14/2017	HPCA Amendment
01/26/2018	50% DD
03/12/2018	100% DD
05/04/2018	80% CD
08/27/2018	PROGRESS SET

PK: TGN
FM: MMB
DRAFTS: MMB

PROJECT NO:
17.102

SHEET TITLE:
EXTERIOR ELEVATIONS

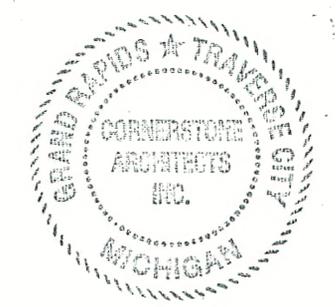
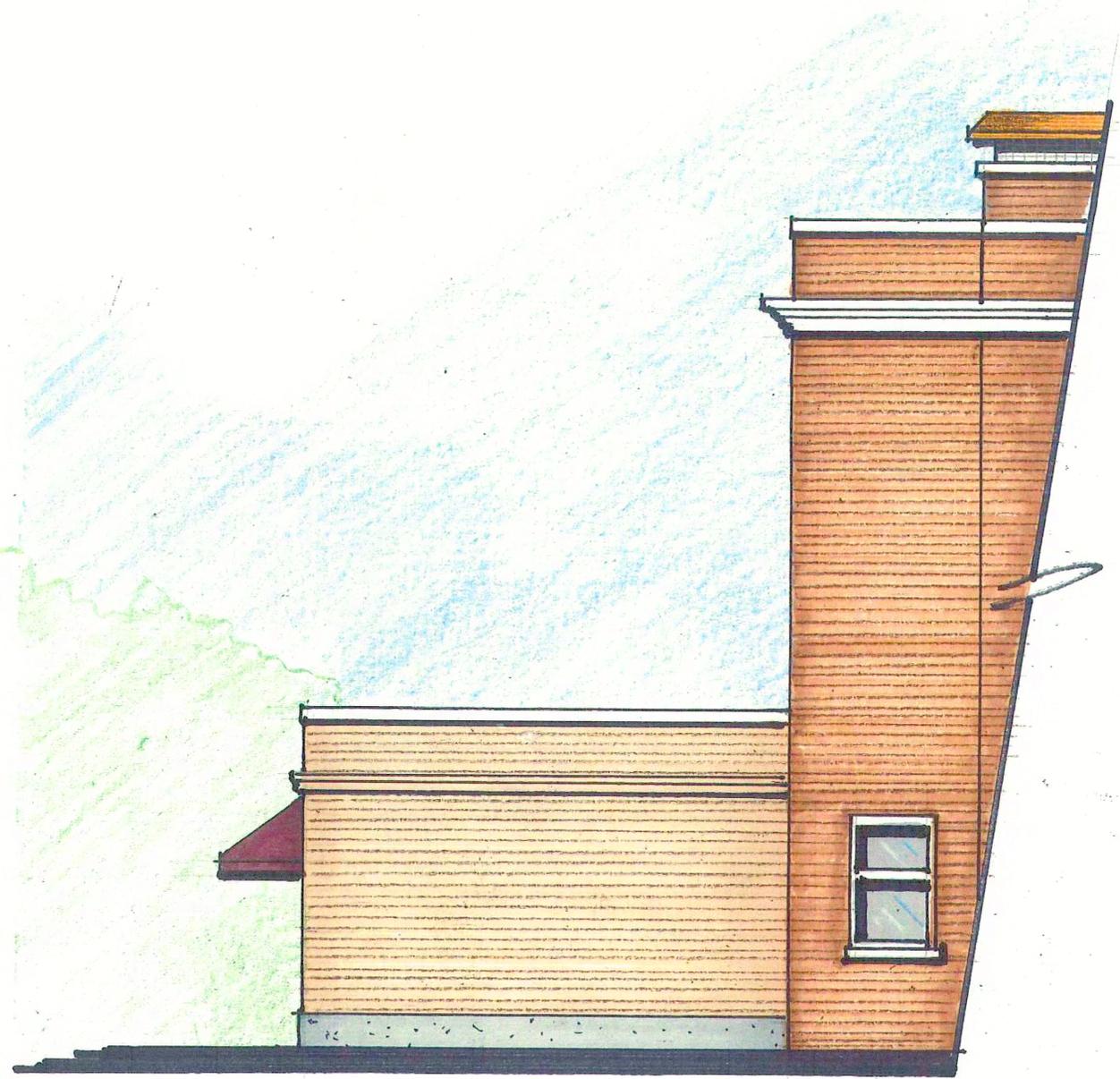
SHEET NO:
A201



South Elevation

Dilworth Hotel Boyne City, MI

cornerstone architects, inc.
grand rapids, michigan
preliminary design 04-04-17 17.102



CITY OF BOYNE CITY

To: Chair Aaron Place, and fellow Planning Commissioners

From: Scott McPherson, Planning Director

Date: February 18, 2019

Subject: 216 N Lake Street



Background Information

The property located at 216 Boyne Ave, previously Roberts Restaurant, is owned by Woodward Real Estate LLC. The property is in the Transitional Commercial zoning district and is approximately 13,800 sqft with 120 feet of frontage on Lake Street and 115 feet of frontage on North Street. A 100' x 40' 3 story mixed used building is being proposed which will consist of a 2,340 square foot dental office and 1,260 square foot commercial space on the first floor and total of six 1,200 sqft apartments with 3 units on each floor. The building is proposed to be placed approximately 6 inches from the west (Lake St) property line. A 22 space parking area will be located behind the building which will have an 11 space carport located on the east side. Public entrances to the dentist office and the commercial space will be located on the west and south sides of the building. Entrances to the apartments will located on the east side.



Discussion

One of the development plan issue that the planning commission will need to make a determination on is the required amount of parking. The parking demand for the proposed use is calculated at 32 spaces and 22 spaces are provided. Ordinance requirements for parking is calculated as follows:

Dentist office	7 spaces for every 1,000 sqft gfa x 2,340 sqft	16 spaces
Commercial Space	1 space for every 350 sqft gfa x 1,260	4 spaces
2 Bedroom Apartment	2 spaces per unit x 6 units	<u>12 spaces</u>
Total required		32 spaces

In this case exact parking space requirements of the proposed use cannot be determined as the end user of the commercial leasable space is unknown and for that reason the parking requirement for professional/office space of 1 space to 350 sqft was used. For this application to be approved the Planning Commission would need to consider reducing or waiving the parking requirements. In making this determination the Planning Commission can consider the BCZO provisions of sections 24.20 F and 11.05 L which allow the Planning Commission to reduce or waive the amount of required spaces.

Per section 24.20 F the Planning Commission may approve a 20% reduction for collective use of parking spaces as follows:

In the instance of dual function of off-street parking spaces where operating hours of buildings do not overlap and there is an opportunity for a patron to visit more than one use, the Planning Commission may grant a reduction to the required number of spaces of up to twenty percent (20%) provided a signed agreement is provided by the property owners.

If the planning commission approved this allowance the increased parking demand would be reduced to 26 spaces.

Per section 11.05 L the Planning Commission may approve a lesser number of required parking spaces as follows:

The Planning Commission shall determine if the number of off-street parking and loading/unloading spaces required per Article XXIV of this Ordinance shall be met, or if a lesser number spaces or no spaces are required due to the following: the availability of on-street parking spaces, off-site parking lots, or municipal parking lots; a finding that patrons will either walk to the site from nearby neighborhoods, or will park at other sites and visit several uses at one time; or the placement and configuration of existing buildings.

As stipulated in the section the Planning Commission can consider the availability existing public parking. In this case there are 40 public parking spaces within 300 feet of the property. The spaces include 32 spaces on North Street in front of City, 3 spaces on Lake Street and 5 spaces on State Street.

In 2018 a parking study was completed for the City that included this area. The study included calculations of available parking and parking demand for each block in the study. For this block the parking demand was calculated at forty spaces and the parking supply for the block was calculated at 122 spaces for a net surplus of 82 spaces. The proposed use would add demand of 32 spaces and provide 22 spaces. The parking lot for Roberts contained 36 spaces so there would be a net change in the parking supply of 14 spaces (36-22=14). This change would reduce the parking supply for the block from 122 spaces to 108. The parking demand would change from 22 spaces for Roberts (2,160 gfa @ 1 space/100 gfa = 22 spaces) to 32 spaces for the proposed use

which would increase parking demand for the block from 40 to 50 spaces. With these changes considered there would be a parking surplus for the block of 58 spaces (108-50=58).

PROCESS

The Planning Commission should then review the applicable development plan requirements of article 19 and Transitional Commercial District requirements of Article 11 and make a determination based on the relevant facts if the standard is met, not met or met with conditions. If approved with conditions the conditions must be listed, if denied the reasons for denial must be stated.

TCD DEVELOPMENT REQUIREMENTS FINDINGS OF FACT

Section 11.04 Development Requirements.		
Buildings in the TCD should possess architectural variety, but must enhance the overall cohesiveness of the district's character and appearance as determined by the Planning Commission. Building heights, story levels, window sizes and proportions, architectural features, and building materials must remain consistent with those of existing or adjacent buildings within the immediate vicinity.		
ORDINANCE REQUIREMENT	FACTS	FINDING
<u>Development Plan.</u> Development plan approval for all uses as specified in Article XIX of this Ordinance.	Development Plan Provided	
<u>Building Placement.</u> Buildings may be built at lot lines with no setbacks, or the average setback of other buildings on the block as determined by the Planning Commission. The Commission may require greater setbacks if such space, in their determination, is needed for off-street parking or other requirements. The intent of the placement is to provide for a visual as well as use transition between the CBD and other adjacent districts.	Proposed use to be placed 6" from front lot line.	
<u>Architectural Features.</u> Building façades greater than thirty-three (33) feet in length shall contain architectural features, details and ornaments that are consistent with predominating architectural styles found within the district such as: arches; roof cornices; contrasting bases; contrasting masonry courses, water tables, or molding; pilasters or columns; corbeling; contrasting bands or color; stone or ceramic accent tiles; colonnades; or porches. Elements such as wall clocks, decorative light fixtures, and door or window canopies are recommended. Blank, windowless walls are prohibited. All non-residential buildings must have interior downspout and gutter systems; exterior downspouts and gutters are not permitted for non-residential buildings, except for those originally constructed for single-family residential purposes.	Building is 100' x 40'. Elevations show contrasting masonry, Canopies and balconies are proposed. Color elevations not provide No exterior downspouts or gutters shown.	
<u>Fenestration.</u> All façades visible from the street must contain glazed glass windows. Windows shall be recessed and include visually obvious sills. Spaces between windows shall be formed by columns, mullions, or material found elsewhere on the façade. Clear window glass is recommended; green, blue, bronze, or smoke tints are permitted. Window shapes shall be rectangular, square, or Palladian (mostly rectangular with semi-circular top). Circular, octagonal, or diamond shaped windows are not permitted. Glazing on the first floor shall occupy a minimum sixty percent (60%) and a maximum of seventy percent (70%) of the façade. No glazing on first floor shall be placed less than two (2) feet six (6) inches above the sidewalk. No glazing on the first floor shall be placed more than	West Façade-First floor glazing is approximately 42%, second and third floors are approximately 50%. South Façade-First Floor 62%, second and third floors 25%. North Façade-First Floor 41%, second and third floor 25%. East Façade-First floor 26%, second and third floor 24% The proposed windows meet width-height requirement	

TCD DEVELOPMENT REQUIREMENTS FINDINGS OF FACT

<p>eight (8) feet above sidewalk. Glazing on the second of higher floors shall be a minimum thirty percent (30%) and a maximum of sixty percent (60%) of the façade. Vertical window orientation shall have a width-to-height ratio of at least one (1) to (2), and shall be consistent with adjacent buildings. Horizontal windows with a width-to-height ratio of between one (1) to one (1) and four (4) to one (1) may be permitted by the Planning Commission if they determine such window orientation is consistent with the appearance and character of the district.</p>		
<p><u>Building Materials.</u> Building materials must be consistent with the surrounding neighborhood character, as determined by the Planning Commission. Building materials on the front façade or any façade visible from a public right-of-way must be primarily of natural materials conveying permanence, as determined by the Planning Commission. Each front façade, any façade visible from a public right-of-way, and any façade with a dedicated public entrance into the building should contain at least sixty percent (60%) of the recommended materials listed below, excluding window areas. <u>Recommended Materials.</u> Brick; stone; wood siding; concrete slab (poured-in-place, tilt-up construction). <u>Acceptable Materials.</u> Split face, scored, or ground face block; beveled wood siding (lap, board and batter, shake); exterior insulation finish systems (EIFS) <u>Discouraged Materials.</u> Smooth face block; vinyl siding; metal siding (standing seam panels, aluminum siding); clear and reflective glass; T-111 and other wood panel siding.</p>	<p style="text-align: center;">Building materials include cultured stone, fiber cement shingle siding, fiber cement board and batten vertical siding. Balconies with PVC railing systems, standing seam metal awnings</p>	
<p><u>Exterior Colors.</u> Exterior colors shall be compatible with the colors on adjacent buildings, subject to review and approval by the Planning Commission. The following natural colors are encouraged for the main portions of building façades and roof forms: neutral earth tones (sand to brown); shades of gray; traditional colors (e.g., brick red, forest green, navy blue); light, subdued hues (e.g., salmon); or white. Contrasting, accent colors which are compatible with the primary colors listed above are encouraged for trim, accent, and other decorative architectural features. The use of bright or fluorescent colors (e.g., purple, orange, pink, lime, yellow) is discouraged. Colors should be natural to the material or pigmented, and not painted on the material whenever possible. Proposed colors shall be specified on</p>	<p style="text-align: center;">Color renderings not provided.</p>	

TCD DEVELOPMENT REQUIREMENTS FINDINGS OF FACT

<p>the development plan. Samples of building materials and colors are required at the time of development plan review for review and approval of the Planning Commission. Development plan reviews may be tabled for lack of building samples.</p>		
<p><u>Side or Rear Façade Design.</u> All sides of a building shall be similar in design, detail, and material to present a cohesive appearance to neighboring properties. Wherever a side or rear facade is visible from a public street, or if parking is located at the side or rear of a building, the facade shall be designed to create a pleasing appearance, in accordance with the following design criteria:</p> <ol style="list-style-type: none"> 1. Materials and architectural features similar to those present on the front of the building shall be used on the side or rear façade. All visibly exposed sides of a building shall have an articulated base course and cornice. The base course shall align with either the kickplate or sill level of the first floor. The cornice shall terminate or cap the top of a building wall, and may project out horizontally from the vertical building wall plane and may be ornamented with moldings, brackets and other details. The middle section of a building may be horizontally divided at floor, lintel, or sill levels with belt or string courses. 2. Waste receptacle and service areas shall be completely screened with a decorative masonry wall as approved by the Planning Commission. 3. Open areas shall be landscaped with lawn, ground cover, ornamental shrubs and trees. On every site involving new development or redevelopment, foundation plantings adjacent to the building shall be provided. 	<p>Facades of all sides use similar materials and design.</p>	
<p><u>Building Entrances.</u> All buildings shall have at least one (1) primary public entrance that faces a public street. Rear entrances are permitted, only if there is a primary entrance from a public street. Main entrances to buildings shall incorporate devices such as canopies, recessed entrance ways, larger door openings and display windows, accent colors, and architectural details such as tile work, moldings, and distinctive door pulls. Doors measuring seven (7) and eight (8) feet high are highly recommended. Doors measuring six (6) feet eight (8) inches high shall have a glass transom with a minimum height of twelve (12) inches.</p>	<p>Primary public entrance on Lake Street.</p>	
<p><u>Rooflines.</u> Rooflines shall be consistent with adjacent buildings and the surrounding neighborhood character as determined by the</p>	<p>Hip roof with 4/12 pitch</p>	

TCD DEVELOPMENT REQUIREMENTS FINDINGS OF FACT

<p>Planning Commission. Flat roofs may be used in the TCD. Distinctively shaped roof forms, detailed parapets, and exaggerated cornice lines shall be incorporated into rooflines along building façades greater than thirty-three (33) feet. Mansard, mock mansard, or barrel roofs are prohibited. Pitched roof forms (gable, hip, shed) with overhanging eaves and between four (4) inches of vertical rise to twelve (12) inches of horizontal run and twelve (12) inches of vertical rise to twelve (12) inches of horizontal run may be used within the TCD if similar rooflines are used on adjacent buildings, or if the Planning Commission determines such a roof will be consistent with the appearance and character of the district.</p>		
<p><u>Lighting.</u> Exterior lighting must be placed and shielded so as to direct the light onto the site, preferably downward and away from adjoining properties. The lighting source shall not be directly visible from adjoining properties. Floodlights, wall pack units, other types of unshielded lights, and lights where the lens is visible outside of the light fixture shall be prohibited, except where historic-style lighting is used that is compatible with existing historic-style lamps approved by the Planning Commission. Sidewalks and parking areas shall be properly lit to facilitate the safe movement of pedestrians and vehicles and provide a secure environment. In parking areas, the light intensity shall average a minimum of one (1) foot candle, measure five (5) feet above the surface. Parking lot lighting shall be consistent and/or similar with other fixtures used throughout the district, as determined by the Planning Commission, and no greater than twenty (20) feet. In pedestrian areas, the light intensity shall average a minimum of two (2) foot candles, measured five (5) feet above the surface.</p>	<p>Exterior lighting plan not provided.</p>	
<p><u>Canopies and Awnings.</u> Canopies and awnings shall be permitted on buildings as follows:</p> <ol style="list-style-type: none"> 1. All awnings must be made from canvass fabric or similar water-proofed material, rather than metal, aluminum, plastic, vinyl, or rigid fiberglass. 2. All awnings shall be attached directly to the building, rather than supported by columns or poles. 3. In buildings with multiple storefronts, compatible awnings shall be used as a means of unifying the structure. 	<p>Standing seam metal awnings.</p>	
<p><u>Signs.</u> Signs for all uses shall be permitted as specified in the Boyne City Sign Ordinance.</p>	<p>Proposed sign areas within ordinance standards.</p>	

TCD DEVELOPMENT REQUIREMENTS FINDINGS OF FACT

<p><u>Mechanical Equipment.</u> All units and appliances for air conditioning, HVAC systems, exhaust pipes or stacks, elevator housing and satellite dishes or other telecommunications receiving devices shall be thoroughly screened from view from the public right-of-way and from adjacent properties, by using walls, fences, roofline elements, penthouse-type screening devices or landscaping. Fire escapes shall not be permitted on a building's front façade. In buildings requiring a second means of egress pursuant to the local building codes, internal stairs or other routes of egress shall be used. Solid metal security gates or solid roll-down metal windows shall be prohibited. Link or grill type security devices shall be permitted only if installed from inside, within the window or door frames; or if installed on the outside, if the coil box is recessed and concealed behind the building wall. Security grills shall be recessed and concealed during normal business hours. Models which provide a sense of transparency by colors, are encouraged. Other security devices fastened to the exterior walls are prohibited.</p>	<p style="text-align: center;">No exterior HVAC systems. No security gates.</p>	
<p><u>Parking and Loading.</u> The Planning Commission shall determine if specific sites may be parking exempt if the number of off-street parking and loading/unloading spaces required per Articles XXIV of this Ordinance shall be met, or if a lesser number spaces or no spaces are required due to the following: the availability of on-street parking spaces, off-site parking lots, or municipal parking lots; a finding that patrons will either walk to the site from nearby neighborhoods, or will park at other sites and visit several uses at one time; or the placement and configuration of existing buildings.</p>	<p style="text-align: center;">22 parking spaces provided, 32 required.</p>	
<p><u>Service Access.</u> A service alley or designated loading space shall be reserved at the rear of the building. Loading from secondary streets may be permitted by the Planning Commission upon demonstration by the applicant that through traffic flow and access to neighboring uses will not be disrupted.</p>	<p style="text-align: center;">Loading from parking lot.</p>	
<p><u>Landscaping.</u> Landscaping shall comply with the provisions of Article XXIII of this Ordinance, in addition to the standards below: On every site involving new development or redevelopment, street trees with a minimum caliper of two-and-a-half (2 1/2) inches shall be provided at twenty-five (25) foot intervals. Any of the following street trees with a minimum caliper of two-and-a-half (2 1/2) inches shall be</p>	<p style="text-align: center;">Landscaping plan provided.</p>	

TCD DEVELOPMENT REQUIREMENTS FINDINGS OF FACT

<p>planted within the road right-of-way at twenty-five (25) foot intervals: Red Maple, Green Ash, Bradford Pear, or Little Leaf Linden, White Ash or Honey Locust, subject to review and approval by the Planning Commission</p> <p>On every site involving new development or redevelopment, a landscape plan shall be submitted for review and approval. The landscape design shall compliment the character of the district.</p> <p>Lots for apartment and non-residential uses shall balance the functional requirements of parking with the provision of pedestrian amenities. Transition areas between parking and civic, commercial or residential uses shall be designed with textured paving, landscaping and street furniture.</p>		
<p><u>Screening.</u> Where a new or expanded use occurs in this District, after the effective date of this Zoning Ordinance, which new or expanded use abuts directly upon a single family residential district, protective screening shall be provided</p>	<p style="text-align: center;">Property does not abut residential district.</p>	
<p><u>Enclosed Buildings.</u> Within the TCD, all activities shall be conducted entirely within an enclosed building.</p>	<p style="text-align: center;">All activities within enclosed building</p>	

**DEVELOPMENT SITE PLAN REVIEW STANDARDS
FINDINGS OF FACT
216 N LAKE ST**

Section 19.40 Development Plan Approval Criteria.

In order that buildings, open space and landscaping will be in harmony with other structures and improvements in the area, and to ensure that no undesirable health, safety, noise and traffic conditions will result from the development, the Planning Commission shall determine whether or not the development plan meets the following criteria, unless the Planning Commission determines that one or more of such criteria are inapplicable:

ORDINANCE REQUIREMENT	STATUS	FINDINGS
<p><u>A. General.</u> All elements of the development plan shall be designed to take into account the site's topography, the size and type of plot, the character of adjoining property, and the traffic operations of adjacent streets. The site shall be developed so as not to impede the normal and orderly development or improvement of surrounding property for uses permitted in this Ordinance. The development plan shall conform with all requirements of this Ordinance, including those of the applicable zoning district(s).</p>	<p>The subject parcel is located at 216 N Lake was the location of Robert Restaurant. The parcel is zoned TCD and is approximately 13,800 sqft. Site is completely paved has no significant vegetation or topography. The proposed project is a 3 story mixed use building comprised of a 2,340 sqft dental office and 1,260 sqft of commercial space that would be for lease. The 2nd and 3rd stories would have 3 residential units in each floor. A hip roof is proposed that would be x feet in height. The building would be setback approximately 6" from the front(west) lot line, 5 feet from the north side, 9 feet from the south side and approximately 75 feet from the rear(east) lot line. 22 parking spaces are proposed. Carport proposed for east side of parking lot.</p>	
<p><u>B. Building Design.</u> The building design shall relate to the surrounding environment in regard to texture, scale, mass, proportion, and color. High standards of construction and quality materials will be incorporated into the new development. In addition to following design guidelines adopted in specific district or sub-area plans, the building design shall meet the architectural and building material requirements of this Ordinance.</p>	<p>Building is a 3 story 100 x 40 with a hip roof. Conceptual elevations show mixture of materials to be used for façade. Design guidelines for TCD apply.</p>	
<p><u>C. Preservation of Significant Natural Features.</u> Judicious effort shall be used to preserve the integrity of the land, existing topography, and natural, historical, and architectural features as defined in this Ordinance, in particular wetlands designated /regulated by the Michigan Department of Environmental Quality, and, to a lesser extent, wetlands which are not regulated by the Department.</p>	<p>The proposal does not impact any significant natural features</p>	
<p><u>D. Streets.</u> All streets shall be developed in accordance with the City of Boyne City Subdivision Control Ordinance and City Municipal Standards, unless developed as a private road in accordance with the requirements of the City.</p>	<p>Not Applicable</p>	

**DEVELOPMENT SITE PLAN REVIEW STANDARDS
FINDINGS OF FACT
216 N LAKE ST**

<p><u>E. Access, Driveways and Circulation.</u> Safe, convenient, uncongested, and well defined vehicular and pedestrian circulation within and to the site shall be provided. Drives, streets, parking and other elements shall be designed to discourage through traffic, while promoting safe and efficient traffic operations within the site and at its access points. All driveways shall meet the design and construction standards of the City. Access to the site shall be designed to minimize conflicts with traffic on adjacent streets, particularly left turns into and from the site. For uses having frontage and/or access on a major traffic route, as defined in the City of Boyne City Comprehensive Plan, the number, design, and location of access driveways and other provisions for vehicular circulation shall comply with the access management provisions of this Ordinance.</p>	<p>Existing driveway on Lake street will be removed and replaced with sidewalk, nonconforming driveway on North street will be reconfigured to a 20' curbed driveway providing access to the site. Proposed plan meets the access management provisions.</p>	
<p><u>F. Emergency Vehicle Access.</u> All buildings or groups of buildings shall be arranged so as to permit necessary emergency vehicle access as required by the Fire Department, Ambulance Department and Police Department.</p>	<p>Site has Emergency vehicle access</p>	
<p><u>G. Sidewalks, Pedestrian and Bicycle Circulation.</u> The arrangement of public or common ways for vehicular and pedestrian circulation shall be connected to existing or planned streets and sidewalks/pedestrian or bicycle pathways in the area. There shall be provided a pedestrian circulation system which is separated from the vehicular circulation system. In order to ensure public safety, special pedestrian measures, such as crosswalks, crossing signals and other such facilities may be required in the vicinity of primary and secondary schools, playgrounds, local shopping areas, fast food/service restaurants and other uses which generate a considerable amount of pedestrian or bicycle traffic.</p>	<p>Existing sidewalk on Lake Street, sidewalk to be installed on North Street.</p>	
<p><u>H. Barrier-Free Access.</u> The site has been designed to provide barrier-free parking and pedestrian circulation.</p>	<p>Building has barrier free access.</p>	

**DEVELOPMENT SITE PLAN REVIEW STANDARDS
FINDINGS OF FACT
216 N LAKE ST**

<p><u>I. Parking.</u> The number and dimensions of off-street parking [spaces] shall be sufficient to meet the minimum required by this Ordinance. However, where warranted by overlapping or shared parking arrangements, the Planning Commission may reduce the required number of parking spaces, as provided in this Ordinance.</p>	<p>A 22 space parking lot is provided. 6 bdrm dwellings require 12 spaces, Dental office 14 spaces, Commercial space (calculated at 1 per 350 sqft) 4 spaces. Total spaces required by ordinance is 30 spaces. 30 public spaces within 300 feet. Planning Commission may grant reductions in parking as per 24.20(F) and/or 11.04(L)</p>	
<p><u>J. Loading.</u> All loading and unloading areas and outside storage areas, including refuse storage stations, shall be screened in accordance with this Ordinance.</p>	<p>No outdoor storage and no dumpster shown on plan.</p>	
<p><u>K. Landscaping, Screening, and Open Space.</u> The landscape shall be preserved in its natural state, insofar as practical, by removing only those areas of vegetation or making those alterations to the topography which are reasonably necessary to develop the site in accordance with the requirements of this Ordinance. Landscaping shall be preserved and/or provided to ensure that proposed uses will be adequately buffered from one another and from surrounding public and private property. Landscaping, landscape buffers, greenbelts, fencing, walls and other protective barriers shall be provided and designed in accordance with the landscaping provisions of this Ordinance. Recreation and open space areas shall be provided in all multiple-family residential and educational developments.</p>	<p>Landscaping plan provided.</p>	
<p><u>L. Soil Erosion Control.</u> The site shall have adequate lateral support so as to ensure that there will be no erosion of soil or other material. The final determination as to adequacy of, or need for, lateral support shall be made by the Planning Director or City Engineer, and have a valid Charlevoix County Soil Erosion permit.</p>	<p>Not applicable</p>	

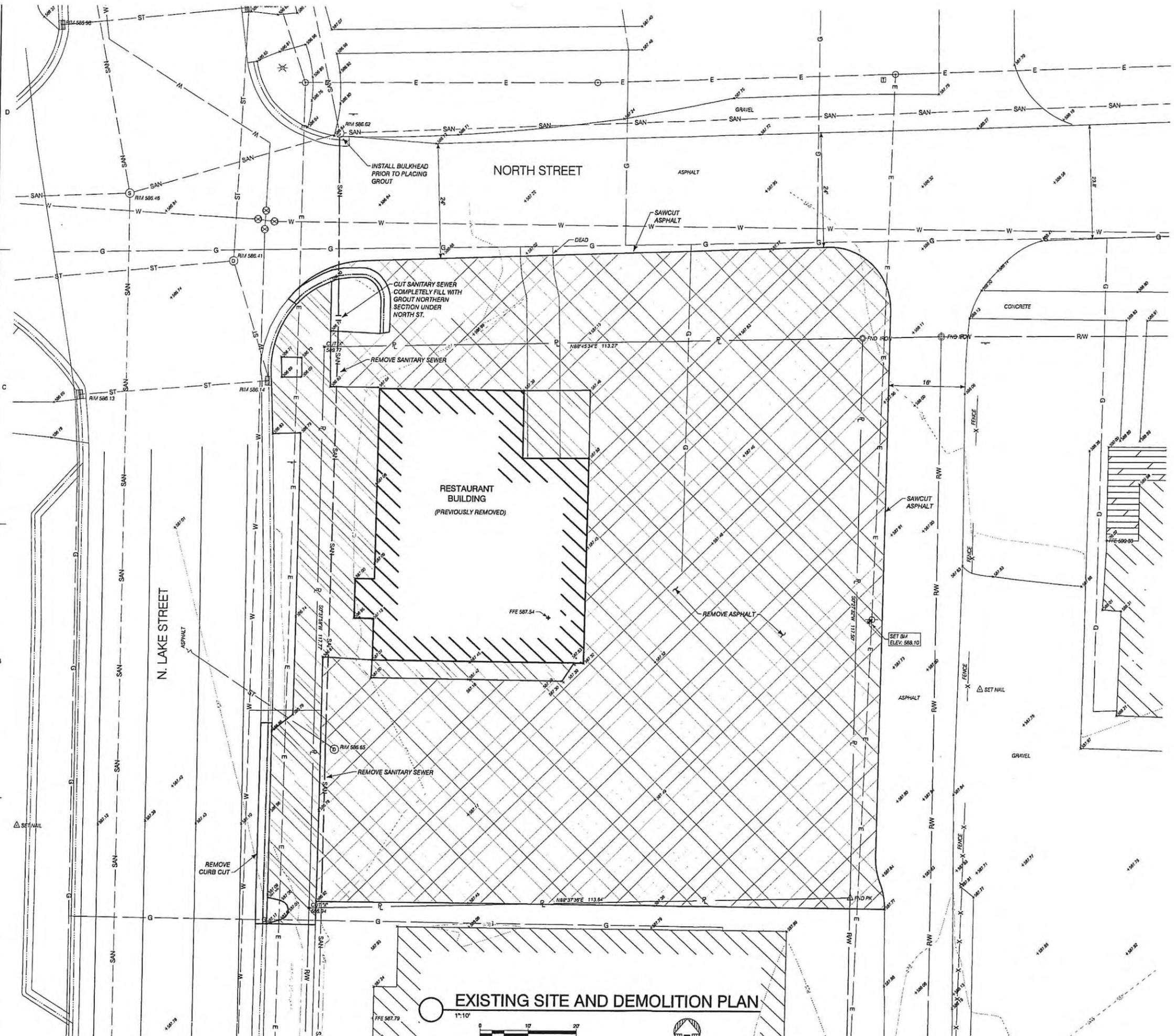
**DEVELOPMENT SITE PLAN REVIEW STANDARDS
FINDINGS OF FACT
216 N LAKE ST**

<p><u>M. Stormwater Management.</u> Appropriate measures shall be taken to ensure that removal of surface waters will not adversely affect neighboring properties or the public storm drainage system. Provisions shall be made to accommodate stormwater which complements the natural drainage patterns and wetlands, prevent erosion and the formation of dust. Sharing of stormwater facilities with adjacent properties shall be encouraged. The use of detention/retention ponds may be required. Surface water on all paved areas shall be collected at intervals so that it will not obstruct the flow of vehicular or pedestrian traffic or create standing water. All such measures shall comply with the Charlevoix County Stormwater Ordinance.</p>	<p style="text-align: center;">Storm water will continue to be directed towards exiting storm sewer.</p>	
<p><u>O. Lighting.</u> Exterior lighting shall be arranged so that it is directed preferably downward onto the subject site and deflected away from adjacent properties. Lighting shall not impede the vision of traffic along adjacent streets. Flashing or intermittent lights shall not be permitted.</p>	<p style="text-align: center;">Lighting not shown on provided plan.</p>	
<p><u>P. Noise.</u> The site has been designed, buildings so arranged, and activities/equipment programmed to minimize the emission of noise, particularly for sites adjacent to residential districts.</p>	<p style="text-align: center;">Proposed uses are not anticipated to increase existing noise emissions for the area. Site is not adjacent to any residential district.</p>	
<p><u>Q. Mechanical Equipment.</u> Mechanical equipment, both roof and ground mounted, shall be screened in accordance with the requirements of this Ordinance.</p>	<p style="text-align: center;">Site will use Geo Thermal No exterior HVAC systems</p>	
<p><u>R. Signs.</u> The standards of the City of Boyne City's Sign Ordinance are met.</p>	<p style="text-align: center;">No signage shown on plan.</p>	

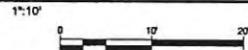
**DEVELOPMENT SITE PLAN REVIEW STANDARDS
FINDINGS OF FACT
216 N LAKE ST**

<p><u>S. Hazardous Materials or Waste.</u> For businesses utilizing, storing or handling hazardous material such as automobile service and automobile repair stations, dry cleaning plants, metal plating industries, and other industrial uses, documentation of compliance with state and federal requirements shall be provided.</p>	<p style="text-align: center;">No hazardous materials or waste</p>	
<p><u>T. Other Agency Reviews.</u> The applicant has provided documentation of compliance with other appropriate agency review standards, including, but not limited to, the Michigan Department of Natural Resources, Michigan Department of Environmental Quality, Michigan Department of Transportation, Charlevoix County Drain Commissioner, Northwest Michigan Community Health Agency, Charlevoix County Building Department, and other federal and state agencies, as applicable.</p>	<p style="text-align: center;">City W/WW and DPW approval required and coordination of sanitary sewer relocation to coincide with proposed Lake St project.</p>	
<p><u>U. Approval Process.</u> The development plan shall be reviewed by the Planning Commission. If disapproval is recommended, the Planning Commission shall cite reasons for such disapproval. If the Planning Commission finds a development plan not in conformity with this section, it may, at its discretion, return the development plan to the applicant with a written statement of the modifications necessary to obtain approval. Upon resubmission of the modified development plan, the Planning Commission shall review the plan. The Commission may approve, disapprove or approve subject to compliance with such modifications and conditions as may be deemed necessary to carry out the purpose of this Ordinance and other ordinances and resolutions of the City. If disapproved, the Planning Commission shall cite reasons for such disapproval.</p>		

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EXISTING SITE AND DEMOLITION PLAN



LEGEND		
DESCRIPTION	PROPOSED	EXISTING
BUILDING		
STORM SEWER		
SANITARY SEWER		
WATER		
NATURAL GAS		
UNDRGRND ELEC.		
OVERHEAD ELEC.		
UNDRGRND TEL.		
WELL		
MANHOLE		
CATCH BASIN		
FIRE HYDRANT		
UTILITY POLE		
LIGHT POLE		
CLEANOUT		
WATER VALVE		
DECIDUOUS TREE		
CONIFEROUS TREE		
BUSH		
TREELINE		
DITCH OR SWALE		
ELEVATION		
CONTOUR		
PROPERTY LINE		
UNIT LINE		
FENCE		

ABBREVIATIONS	
ASPH - ASPHALT	IE - INVERT ELEVATION
BF - BARRIER FREE	LFT - LINEAR FEET
BC - BACK OF CURB	MH - MANHOLE
BLDG - BUILDING	PVC - POLYVINYLCHLORIDE
B.M. - BENCH MARK	PIPE
CFT - CUBIC FEET	R - RADIUS
C/C - CENTER TO CENTER	RCP - REINFORCED
CMP - CORRUGATED METAL	CONCRETE PIPE
CONC - CONCRETE	RR - RAILROAD
DIP - DUCTILE IRON PIPE	SAN - SANITARY
FDN - FOUNDATION	STM - STEEL
FFE - FINISH FLOOR	STL - STORM
F.G. - FINISH GRADE	TJC - TOP OF CURB
HDPE - HIGH DENSITY	ELEVATION
POLYETHYLENE	TJW - TOP OF WALK
	T/WALL - TOP OF WALL
	TE - TOP/IRIM ELEVATION
	TYP - TYPICAL

DEMO SHEET PATTERNS	
REMOVING PAVEMENT (HMA)	
REMOVING (CONCRETE) PAVEMENT/DRIVEWAY/SIDEWALK	



Performance

CONSULTANTS

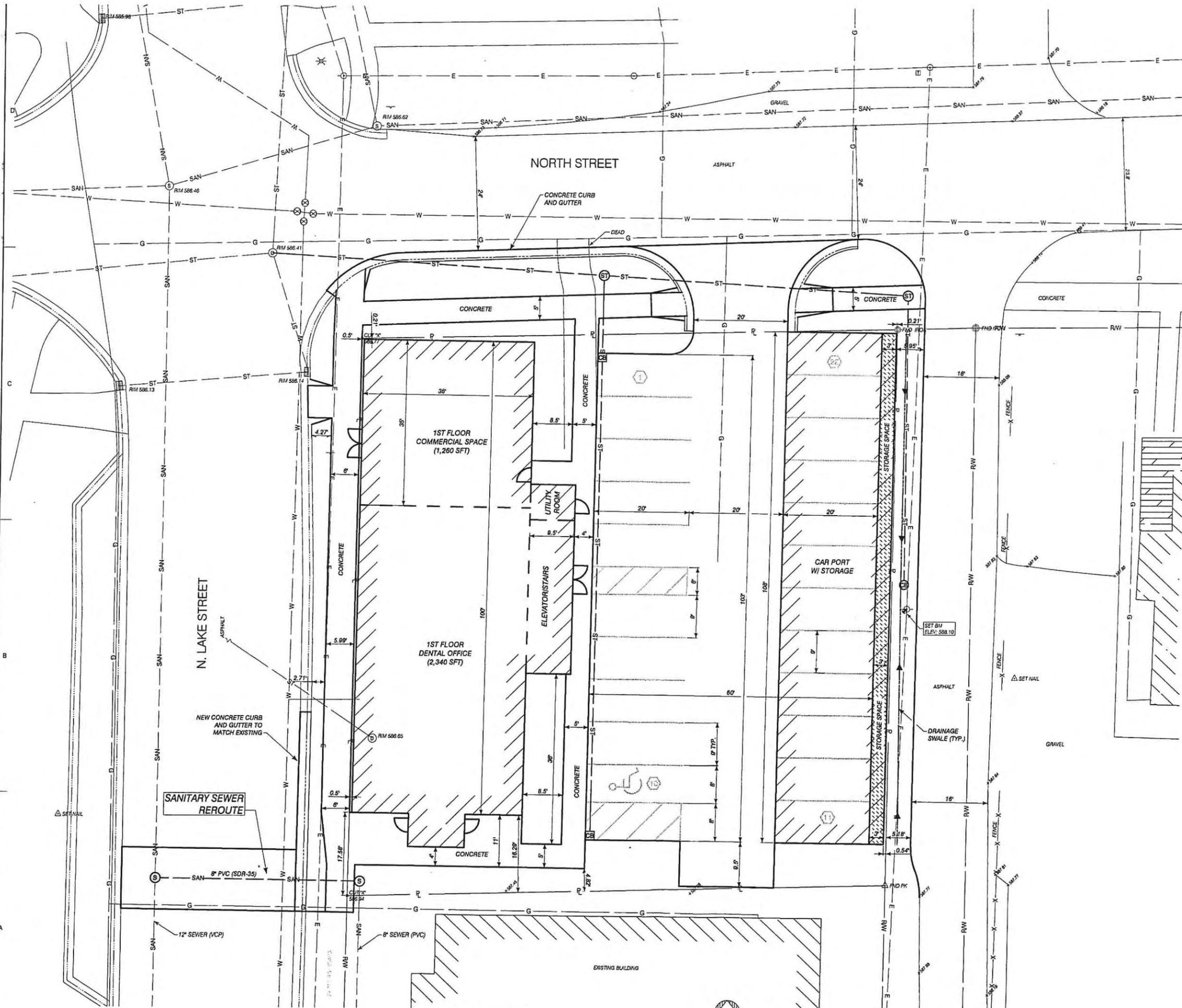
2161 AVE

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0	01/20/19	CITY SUBMITTAL
	02/11/19	7/20/19/19/19/19/19/19

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ZONING INFORMATION	
ZONING	(TRANSITIONAL COMMERCIAL DISTRICT) TCD
PROPOSED USE:	DENTAL OFFICE
AREAS	
PARCEL LAND AREA	0.31 ACRES
BUILDING AREA	3,600 SQ. FT.
COVERAGE AREA	= 26.6%
PARKING	
REQUIRED SPACES	7 SPACES FOR EVERY 1,000 sq. ft. OF GROSS FLOOR AREA
GROSS FLOOR DENTAL AREA	= 2,340
2340/1000	= 2.34
2.34 X 7	= 16.38
ROUNDED TO A TOTAL OF	16 SPACES
* OTHER COMMERCIAL SPACE WOULD HAVE PARKING AS PART OF BOYNE CITY PARKING SYSTEM.	
ONE SPACE PER EACH LIVING UNIT.	
THREE LIVING UNITS PER FLOOR	
TWO FLOORS ABOVE COMMERCIAL	
SIX PROPOSED LIVING UNITS = 6 SPACES	
22 REQUIRED PARKING SPACES	
PROVIDED SPACES:	
HANDICAP ACCESSIBLE SPACES	1
PARKING SPACES	21
TOTAL	= 22

SITE PLAN

Performance

CONSULTANTS

216 LAKE

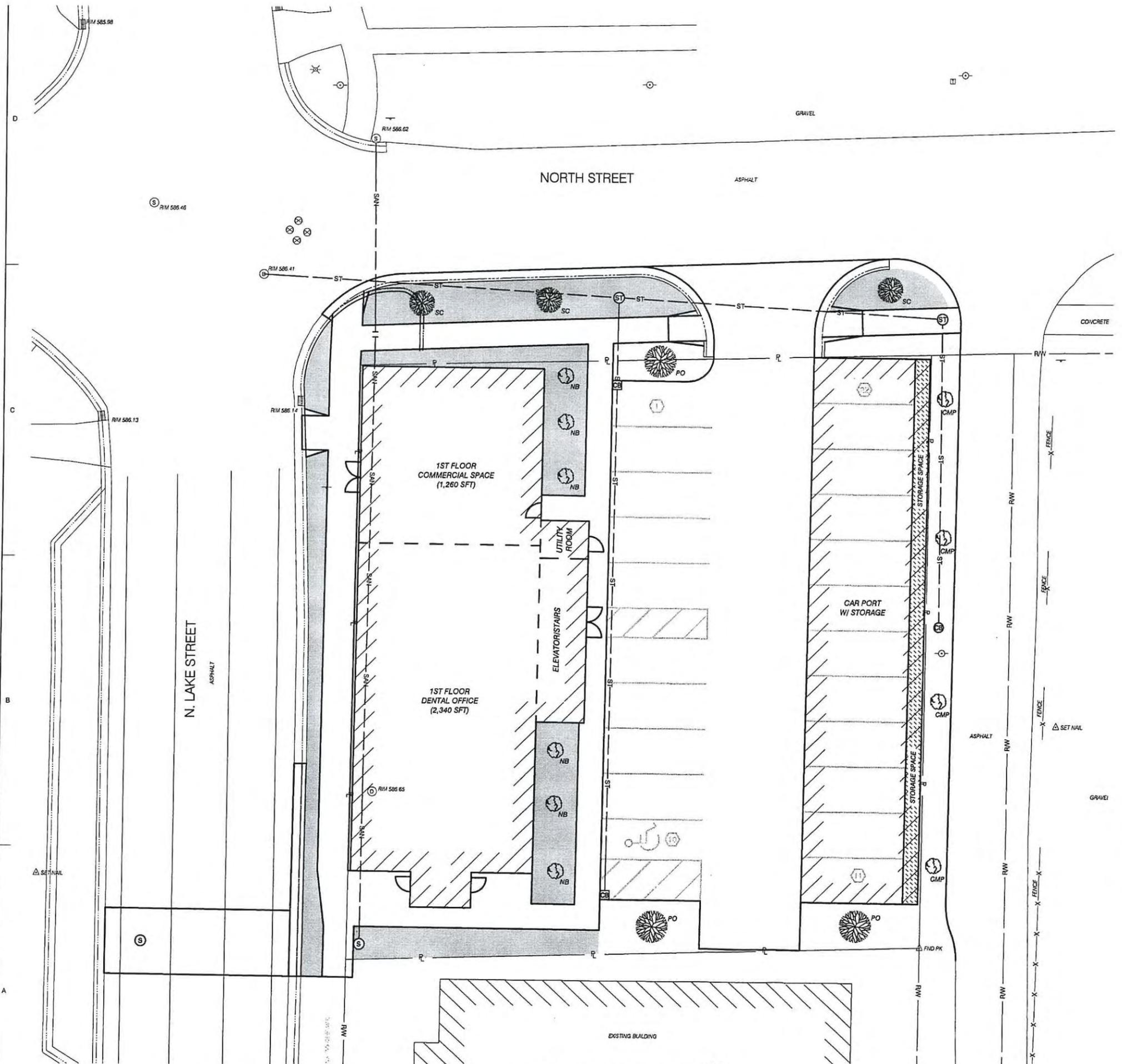
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1	02/11/19	ZONING APPROVAL

PROJECT NO:
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DESIGNED BY:
CHECKED BY:

SEAL

SHEET TITLE

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COORDINATE WORK WITH OTHER CONTRACTORS AND TRADES ON THE JOB, ESPECIALLY PERTAINING TO BURIED UTILITIES, ROOF DRAINS AND DRAINAGE SYSTEMS INSTALLED BY OTHER.

SOIL PREPARATION:
A 4" THICKNESS OF TOPSOIL WILL BE PLACED AND GRADED OVER ALL PLANTING AREAS BY OTHERS. BEFORE PROCEEDING WITH THE WORK, THE CONTRACTOR WILL NOTIFY THE OWNER'S AGENT IN WRITING OF SOIL OR GRADE CONDITIONS IMPACTING THE LANDSCAPE GUARANTEE. THE CONTRACTOR IS RESPONSIBLE FOR CREATING A PROPERLY PREPARED SEED OR SOD BED, INCLUDING TILLING AND LIGHT FINISH GRADING IF NEEDED.

TREE AND SHRUB PLANTING:
PLANTING HOLES SHALL BE TO A DEPTH THAT MATCHES THE TOP OF THE ROOT BALL AND A MINIMUM OF TWICE THE DIAMETER OF THE BALL. IF SOIL CONDITIONS FOUND ARE SUCH THAT POTENTIAL DROWNING OF THE PLANT ROOTS COULD OCCUR, THE CONTRACTOR SHALL NOTIFY THE OWNERS AGENT OF THE SITUATION SO THAT ALTERNATIVE PLANTING PROCEDURES CAN BE INVESTIGATED AND UTILIZED. SET PLANT MATERIAL IN THE PLANTING PIT TO PROPER GRADE, UPRIGHT, PLUMB, AND FACED TO GIVE THE BEST APPEARANCE. REMOVE WIRE, TWINE OR CONTAINER FROM THE BALL, AS APPLICABLE. REMOVE BURLAP FROM SIDES OF BALLS AND REMOVE EXCESS FROM PLANTING HOLE. BACKFILL AROUND EACH PLANT ROOT BALL WITH PLANTING SOIL MIXTURE OF 3 PARTS TOPSOIL TO ONE PART PEAT. EVENLY COMPACT THE PLANTING MIXTURE AROUND EACH PLANT ROOT BALL AND THOROUGHLY WATER TO FILL IN ALL VOIDS. FORM A RING OF SOIL AROUND THE EDGE OF EACH PLANT PIT TO RETAIN WATER. REMOVE ALL PLANT NAME TAGS, PLASTIC AND TWINE AFTER PLANTING. TREES AND SHRUBS WITH A LOOSE OR BROKEN ROOT BALL WILL BE REJECTED.

PERENNIAL PLANTING:
THE CONTRACTOR IS RESPONSIBLE FOR ENSURING APPROPRIATE DRAINAGE OF THE SUBSOIL AND A MINIMUM 8" THICKNESS OF A PROPER PLANTING MIX IN PERENNIAL AND ORNAMENTAL GRASS BEDS AND AREAS.

SEEDING, HYDROSEED:
THE SEED MIX SHALL BE APPROXIMATELY 50% BLUEGRASS OF TWO TYPES, 20% PERENNIAL RYE AND 30% FINE FESCUE. SELECT A SEED MIX CONSISTENT WITH THE SOD BLEND. ALL SEEDS SHALL BE CERTIFIED AND SPECIFIED SELECTIONS. SEED AND MULCH USING THE HYDRO-MULCH PROCESS AT RATES OF 250 LBS. PER ACRE FOR THE SEED AND MULCH RESPECTIVELY.

SOD:
USE A PREMIUM SUNNY BLEND BLUEGRASS PEAT SOD.

MULCH, BEDS AND TREES:
PLACE A 2"-3" THICKNESS OF FINE-SHREDDED WOODBARK MULCH OVER ALL TREE RINGS AND PLANT BEDS. DO NOT COVER FOLIAGE OR BURY THE ROOT CROWNS.

CRUSHED AGGREGATE:
USE 8A AGGREGATE, OR SIMILAR CLEAN AND 100% CRUSHED STONE 1/2" TO 1-1/2" IN SIZE. CRUSHED AGGREGATE SHALL BE PLACED OVER 4 OZ. NON-WOVEN GEOTEXTILE FABRIC AND COMPACTED TO A MINIMUM 4" THICKNESS WITH ITS SURFACE AT THE FINISHED GRADE.

MAINTENANCE:
THE CONTRACTOR WILL MAINTAIN PLANT MATERIALS, INCLUDING WATERING, FERTILIZING AND MOWING SOD AND SEEDED TURF AREAS THROUGH THE SECOND MOWING OF THE SEEDED TURF. THE CONTRACTOR WILL NOTIFY THE OWNER TWO WEEKS PRIOR TO THE SECOND MOWING AND CONDUCT AN EVALUATION OF PLANT CONDITIONS AND PROVIDE WRITTEN INSTRUCTIONS FOR PLANT CARE.

GUARANTEE:
ALL PLANTS, TURFGRASS AND IRRIGATION SYSTEM COMPONENTS SHALL BE GUARANTEED TO BE HEALTHY, EXHIBITING PROPER GROWTH OR OPERATIONAL, WHICHEVER APPLIES, FOR A PERIOD OF 12 MONTHS FROM THE DATE OF COMPLETION. PLANT REPLACEMENTS AND IRRIGATION SYSTEM REPAIRS REQUIRED DURING THE WARRANTY PERIOD WILL BE MADE AT THE CONTRACTOR'S EXPENSE. THE OWNER IS RESPONSIBLE FOR NOTIFYING THE CONTRACTOR OF PROBLEMS PROMPTLY UPON OBSERVANCE. THE CONTRACTOR WILL NOT BE RESPONSIBLE FOR DAMAGE CAUSED BY THE ABUSE OR NEGLECT OF OTHERS.

LANDSCAPE REQUIREMENTS:

INTERIOR LANDSCAPING REQ'D: 10% LOT AREA = 1,350 sq. ft.

INTERIOR LANDSCAPING PROVIDED = 2,080 sq. ft.

PARKING LOT LANDSCAPING REQ'D=100sq.ft./10 SPACES = 230 sq. ft.

PARKING LOT LANDSCAPING PROVIDED = 1,360 sq. ft.

TOTAL LANDSCAPING REQ'D = 1570 sq.ft.
TOTAL LANDSCAPING PROVIDED = 3,420 sq.ft.

INTERIOR:
ONE DECIDUOUS OR ORNAMENTAL TREE OR EVERGREEN SHALL BE PROVIDED FOR EVERY 400 SFT OF REQUIRED INTERIOR LANDSCAPING AREA.

ONE 2" SHRUB SHALL BE PROVIDED FOR EVERY 250 SFT OR REQUIRED INTERIOR LANDSCAPING.

PARKING LANDSCAPING:
WITH EVERY PARKING AREA CONTAINING 10 OR MORE PARKING SPACES: 1 DECIDUOUS TREE AND ORNAMENTAL TREE WITH 100 SFT OF REQUIRED PLANTING AREA.

PLANT SCHEDULE

DECIDUOUS TREES	QTY.	BOTANICAL NAME	COMMON NAME	SIZE
PO	3	QUERCUS PALUSTRIS	PIN OAK	2 1/2" CAL. B&B
SHRUBS				
NB	8	MYRICA PENNSYLVANICA	NORTHERN BAYBERRY	3 GAL. CONTAINER
CMP	4	PINUS MUGO 'COMPACTA'	COMPACT MUGO PINE	2 GAL. CONTAINER
ORNAMENTALS				
SC	4	MALUS 'SNOWDRIFT'	SNOWDRIFT CRABAPPLE	2" CAL. B&B

LANDSCAPE PLAN

Performance

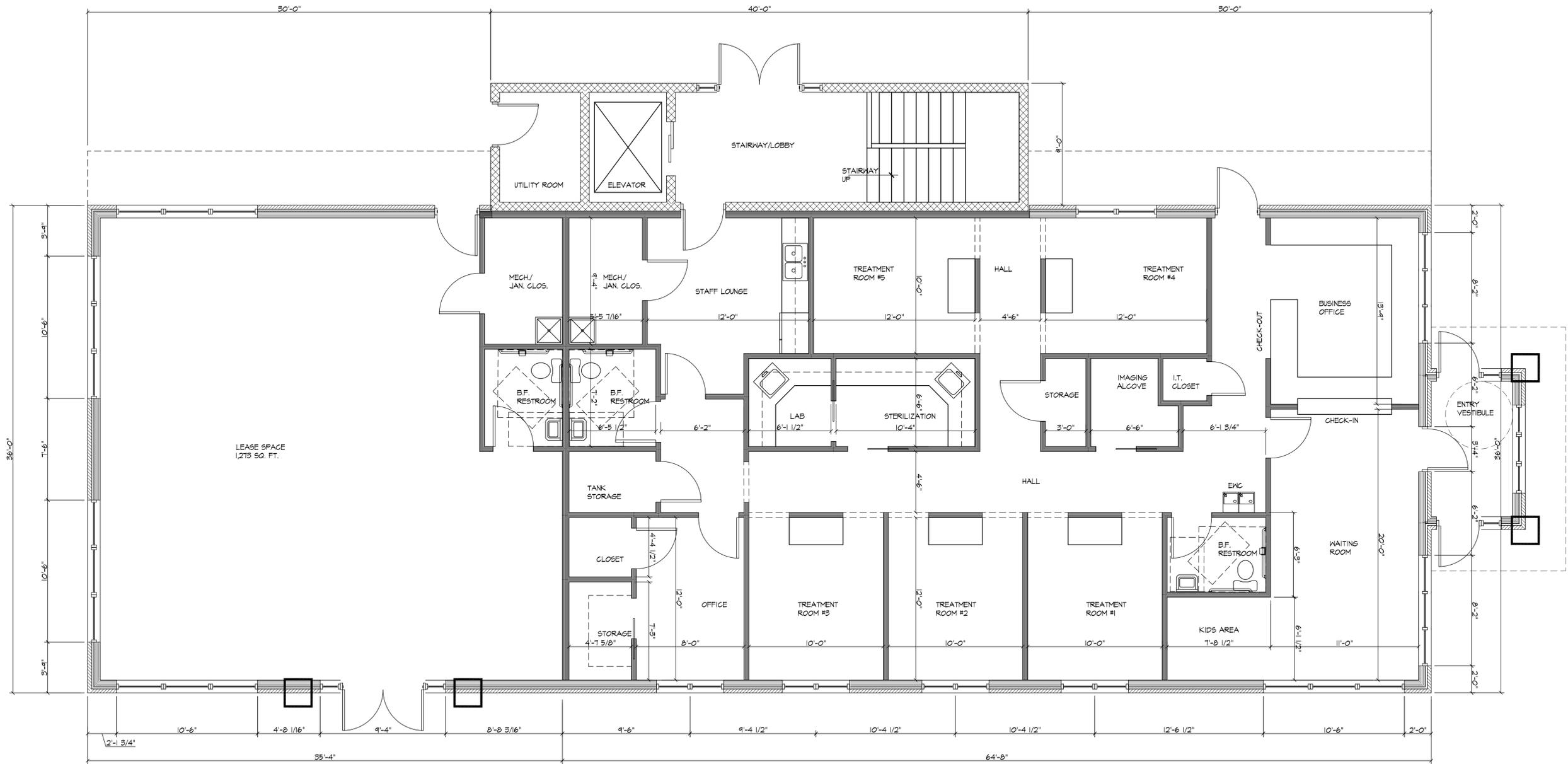
CONSULTANTS

216 LAKE

MARK	DATE	DESCRIPTION
0	01/03/19	CITY SUBMITTAL
1	02/11/19	ZONING APPROVAL

PROJECT NO:
CAD DWG FILE
DRAWN BY:
DESIGNED BY:
CHECKED BY:
SEAL

SHEET TITLE
LANC



N
 CONCEPTUAL
 FIRST FLOOR PLAN
 1/4" = 1'-0"

REVISIONS

JOB NO: 018-043
 DATE: 1-14-2019
 DRAWN BY: JKC
 SCALE: AS NOTED
 SHEET NO:



CONCEPTUAL
2ND AND 3RD FLOOR PLANS
1/4" = 1'-0"

REVISIONS

JOB NO: 018-043
DATE: 1-14-2019
DRAWN BY: JKC
SCALE: AS NOTED
SHEET NO:

REVISIONS

▲	
▲	
▲	

JOB NO: 018-043
 DATE: 1-14-2019
 DRAWN BY: JKC
 SCALE: AS NOTED
 SHEET NO:



CONCEPTUAL
 EAST ELEVATION
 1/8" = 1'-0"



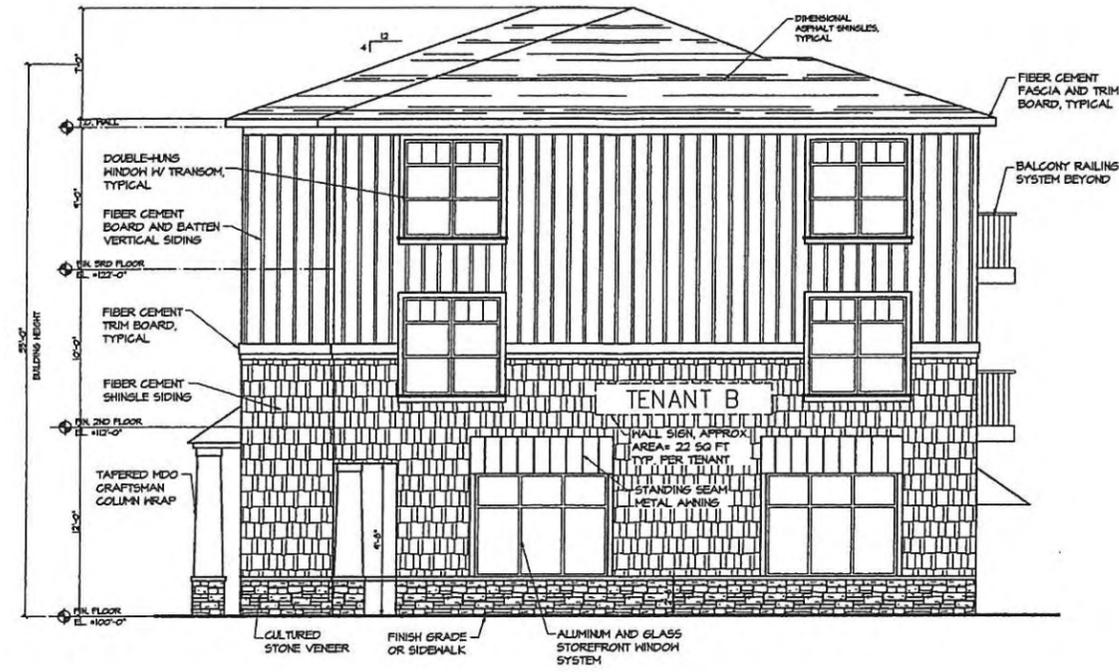
CONCEPTUAL
 NORTH ELEVATION
 1/8" = 1'-0"



CONCEPTUAL
 SOUTH ELEVATION
 1/8" = 1'-0"



CONCEPTUAL
 WEST ELEVATION
 1/8" = 1'-0"



CONCEPTUAL
 NORTH ELEVATION
 5/16" = 1'-0"



CONCEPTUAL
 EAST ELEVATION
 5/16" = 1'-0"

CONCEPTUAL
 EXTERIOR ELEVATION

REVISIONS	
▲	2-4-2014
▲	2-12-2014
▲	

JOB NO: 018-043
 DATE: 1-14-2014
 DRAWN BY: JKC
 SCALE: AS NOTED
 SHEET NO:

A3.1

CITY OF BOYNE CITY

To: Chair Aaron Place, and fellow Planning Commissioners

From: Scott McPherson, Planning Director

Date: February 18, 2019

Subject: 100 N Lake Street Pre-application meeting



A request for a pre-application meeting with the planning commission to discuss a proposed development plan for 100 N Lake has been received from The Gillespie Company. The property is located in the Central Business District. Conceptual site plans and building plans have been provided for discussion.



BOYNE CITY
LAKE STREET DEVELOPMENT

PRE-APPLICATION SITE PLAN SUBMITTAL
18 FEBRUARY 2019

T A B L E . O F . C O N T E N T S

EXISTING SITE AERIAL_____	1
EXISTING BOYNE ARCHITECTURE_____	2-5
PROPOSED SITE PLAN_____	6
PROPOSED FLOOR PLANS_____	7
PROPOSED EXTERIOR ELEVATIONS_____	8-11
EXTERIOR IMAGES_____	12-21
REFERENCE_____	22
UNIT PLANS_____	23-26

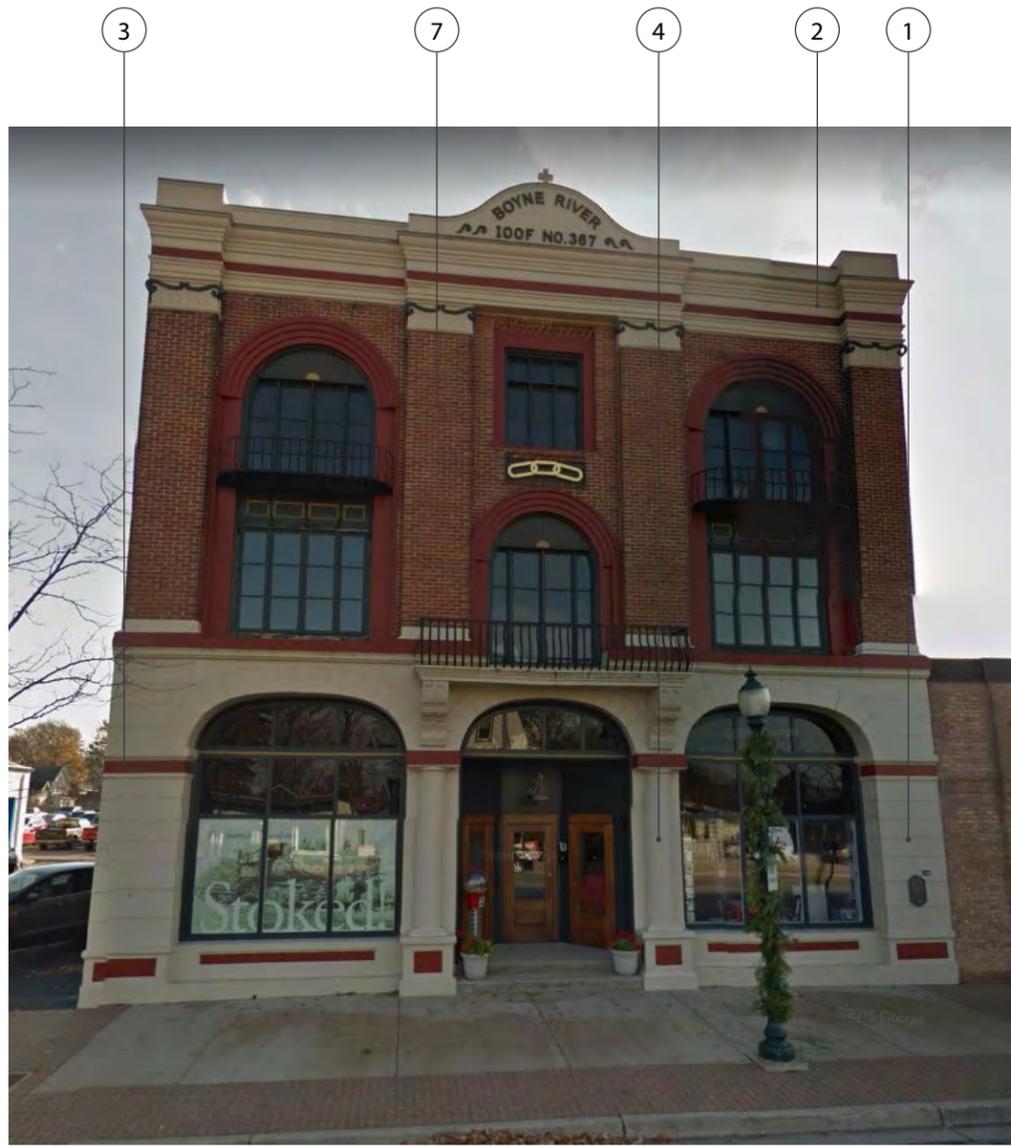




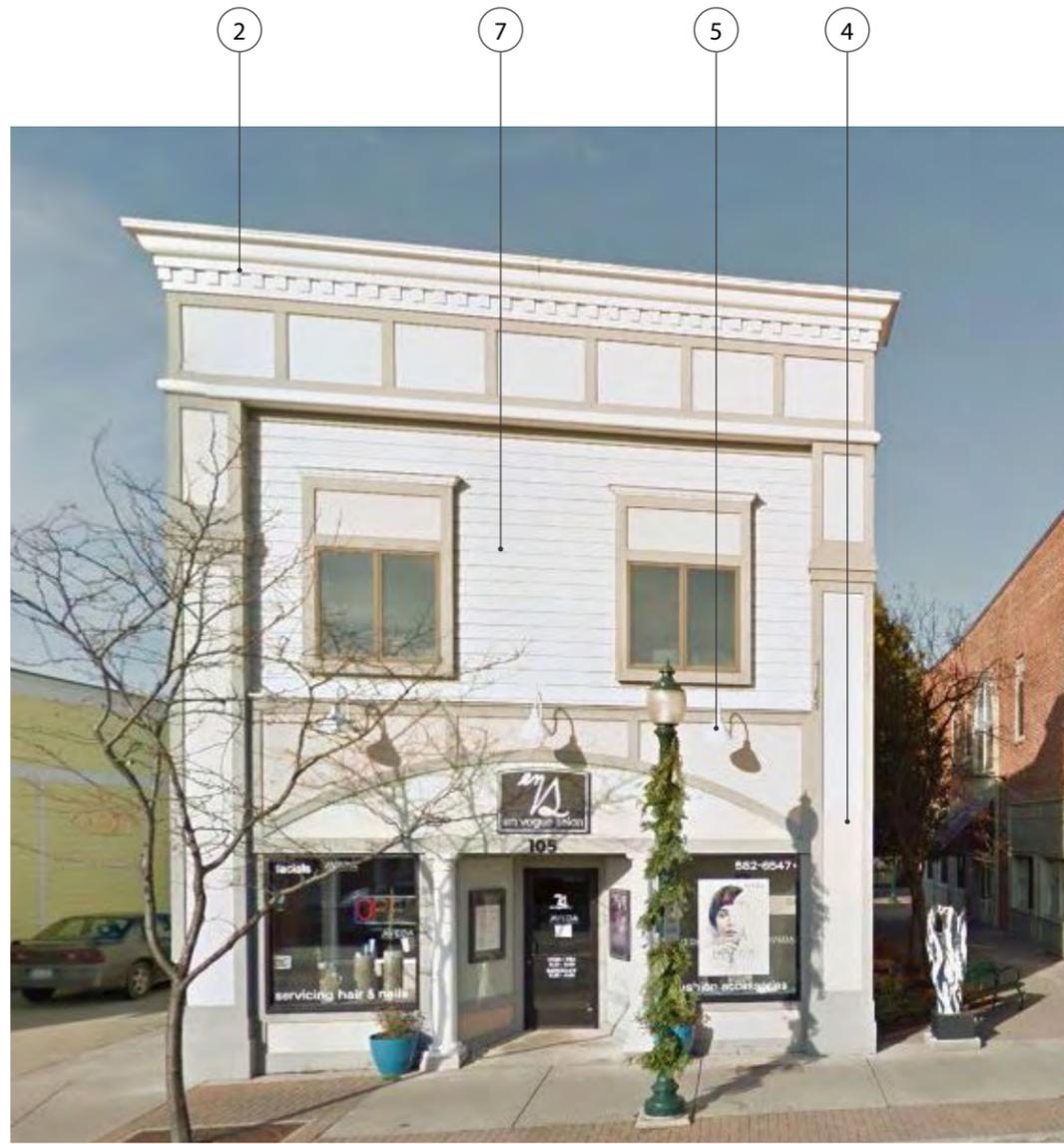
WATERS STREET

**BOYNE CITY EXISTING ARCHITECTURE
DEVELOPMENT REQUIREMENTS**

- ① Contrasting base
- ② Roof cornice
- ③ Contrasting masonry courses
- ④ Columns / Collonade
- ⑤ Decorative light fixtures
- ⑥ Door / Window canopies
- ⑦ Brick / Stone / Wood facade material



WATERS STREET



WATERS STREET

BOYNE CITY EXISTING ARCHITECTURE
DEVELOPMENT REQUIREMENTS

- ① Contrasting base
- ② Roof cornice
- ③ Contrasting masonry courses
- ④ Columns / Collonade
- ⑤ Decorative light fixtures
- ⑥ Door / Window canopies
- ⑦ Brick / Stone / Wood facade material



WATERS STREET



BOYNE AVENUE



WATERS STREET



LAKE STREET



LAKE STREET



WEST MAIN



LAKE STREET



PARKING SUMMARY	
retail parking required	35
residential parking required	77*
total parking required	112
variance for collective uses 20% reduction	90
total parking provided	57
additional public/street parking available	220**

*1.5 space per each efficiency or one-bedroom dwelling unit and 2 per each unit with two or more bedrooms
 **see page 16 for public parking count diagram



	studio	1br	2br
first floor	0	0	0
second floor	2	11	3
third floor	2	11	3
fourth floor	2	11	3

total	6	33	9	48 units
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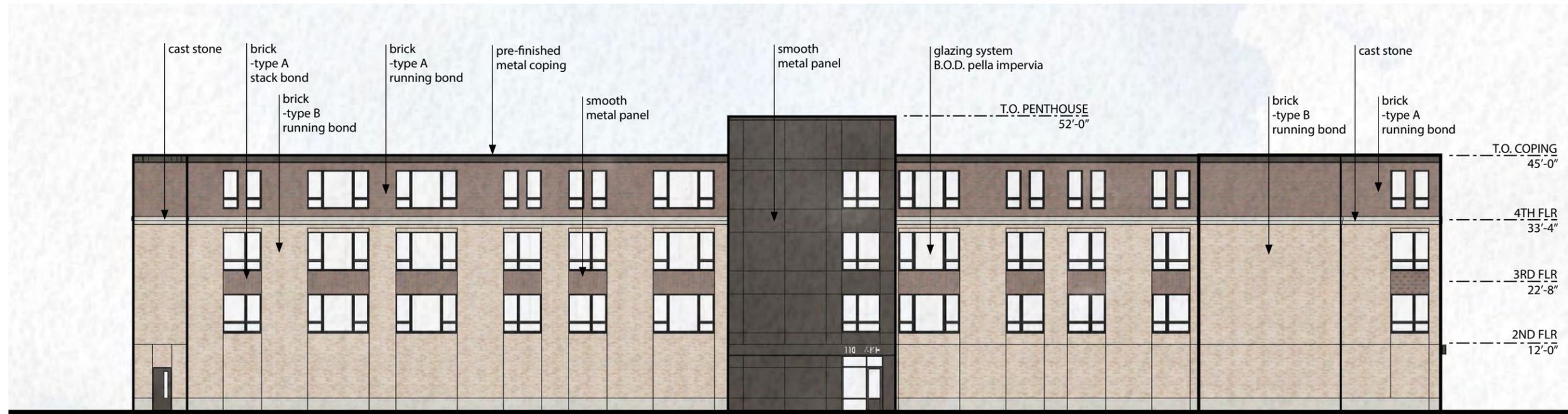


WEST ELEVATION

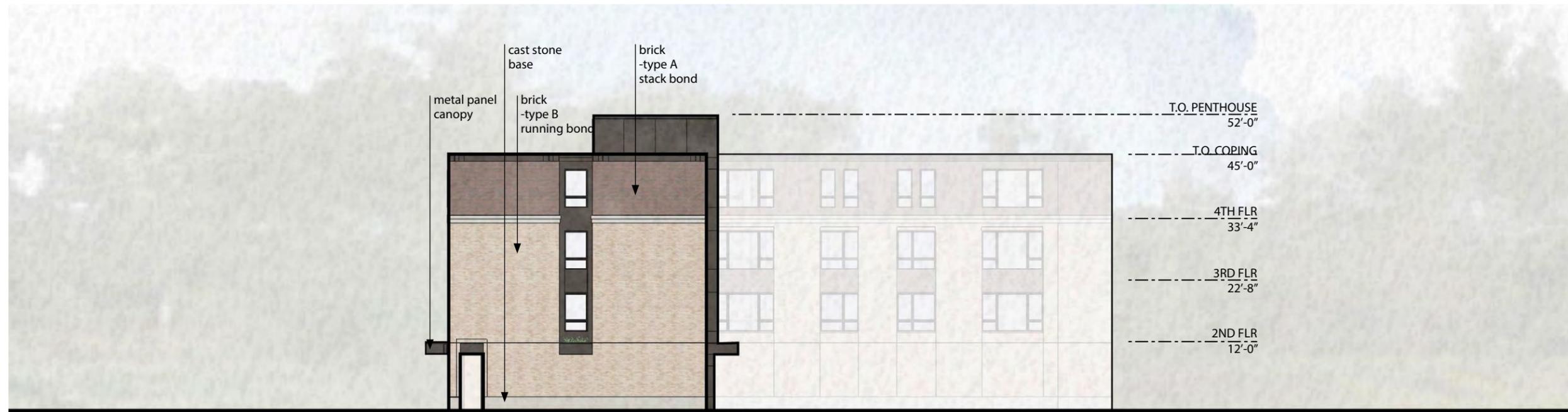
ENLARGED ELEVATION PG.10



NORTH ELEVATION



EAST ELEVATION



SOUTH ELEVATION























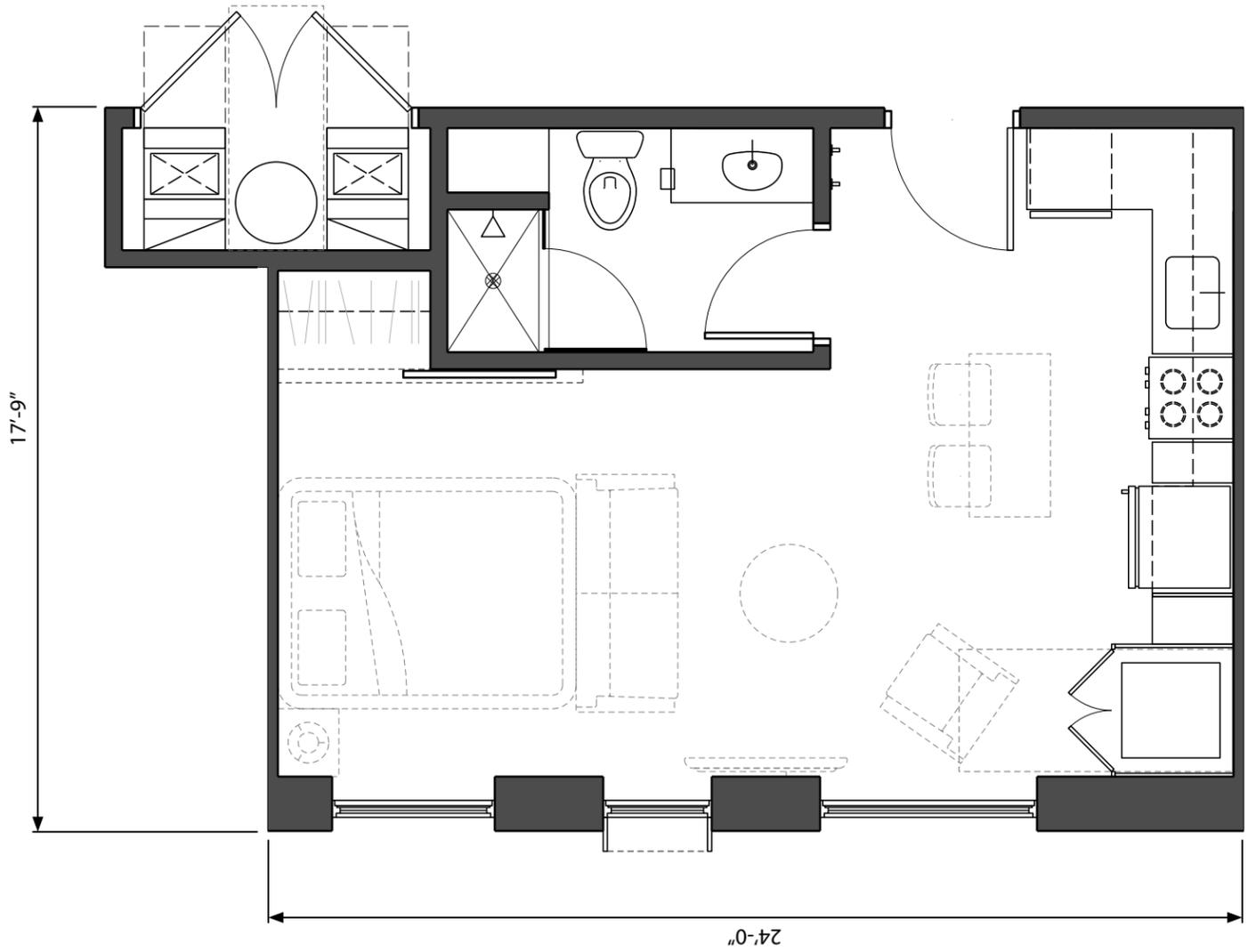


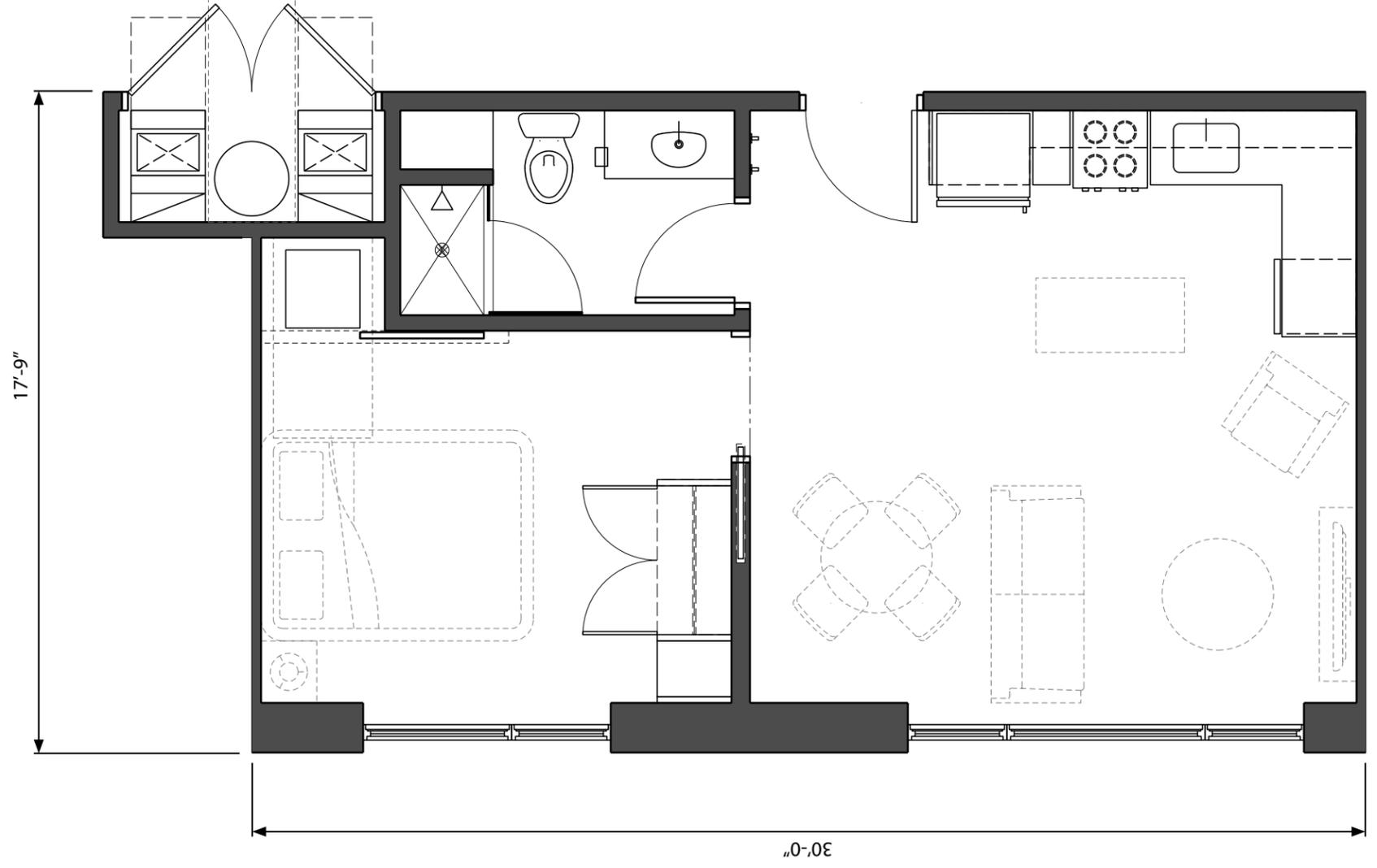


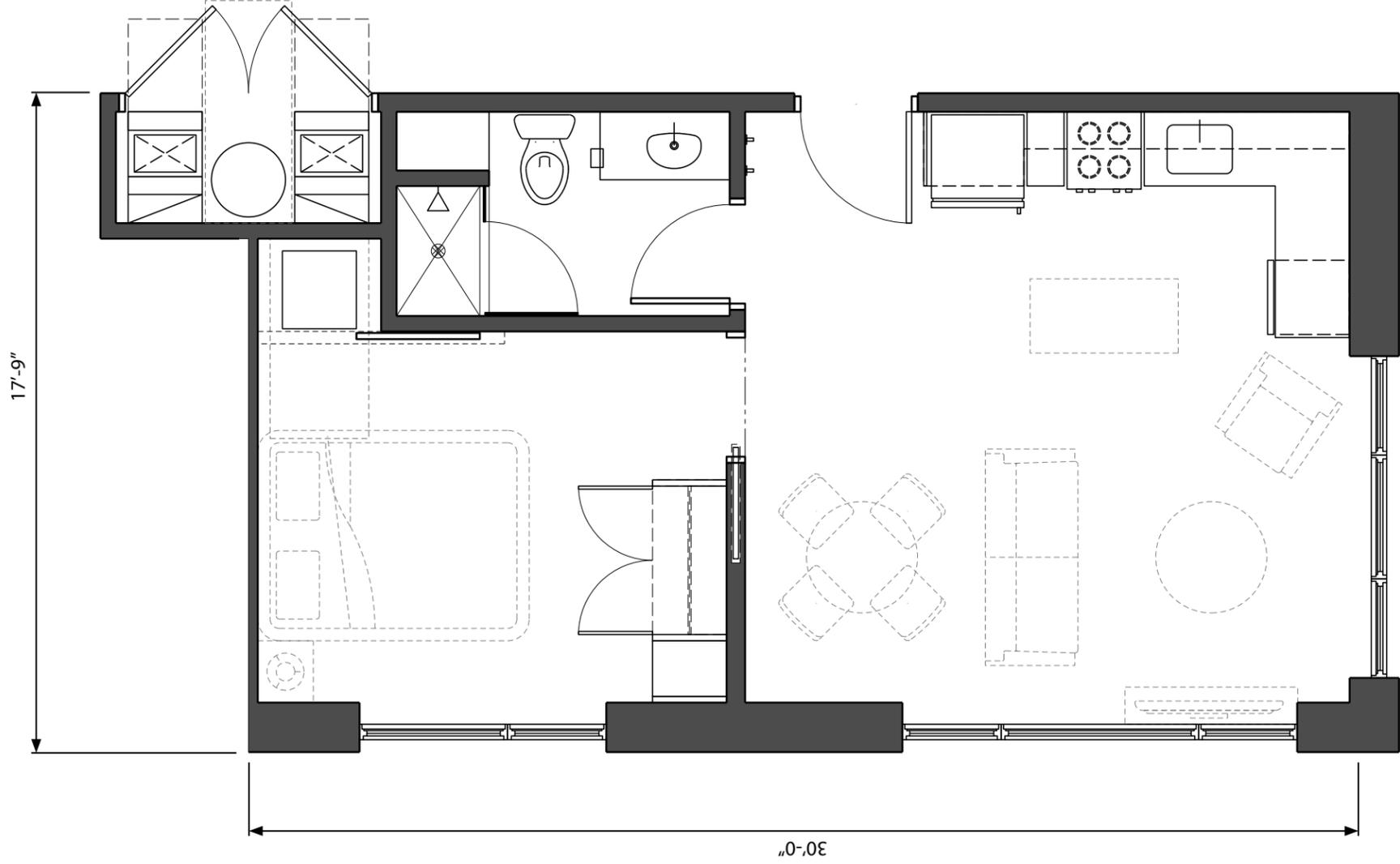
<p>CITY OF BOYNE PARKING STUDY</p> <p>Boyne City, Michigan</p>	<p>RICH & ASSOCIATES PARKING CONSULTANTS</p> <p>2007 Northwindsign Hwy. Suite 208 Southfield, MI 48033</p> <p>Southfield, MI Lake 24 248.253.3250 973.945.8968</p> <p>ARCHITECTS • ENGINEERS • PLANNERS</p>	<p>LEGEND:</p> <p>STUDY AREA</p> <p>CORE STUDY AREA</p> <p>PRIVATE / RESERVED LOTS</p> <p>PUBLIC / RESERVED LOTS</p> <p>PUBLIC ON-STREET (UNLIMITED)</p> <p>2 HOUR - ON STREET</p> <p>15 MINUTE - ON STREET</p> <p>BARRIER FREE</p>
	<p>BLOCK FACE KEY PLAN:</p> <p>A D # B C</p> <p># BLOCK NUMBER</p>	<p>09-14-18 sar</p>

scale

0'
2'
4'
8'







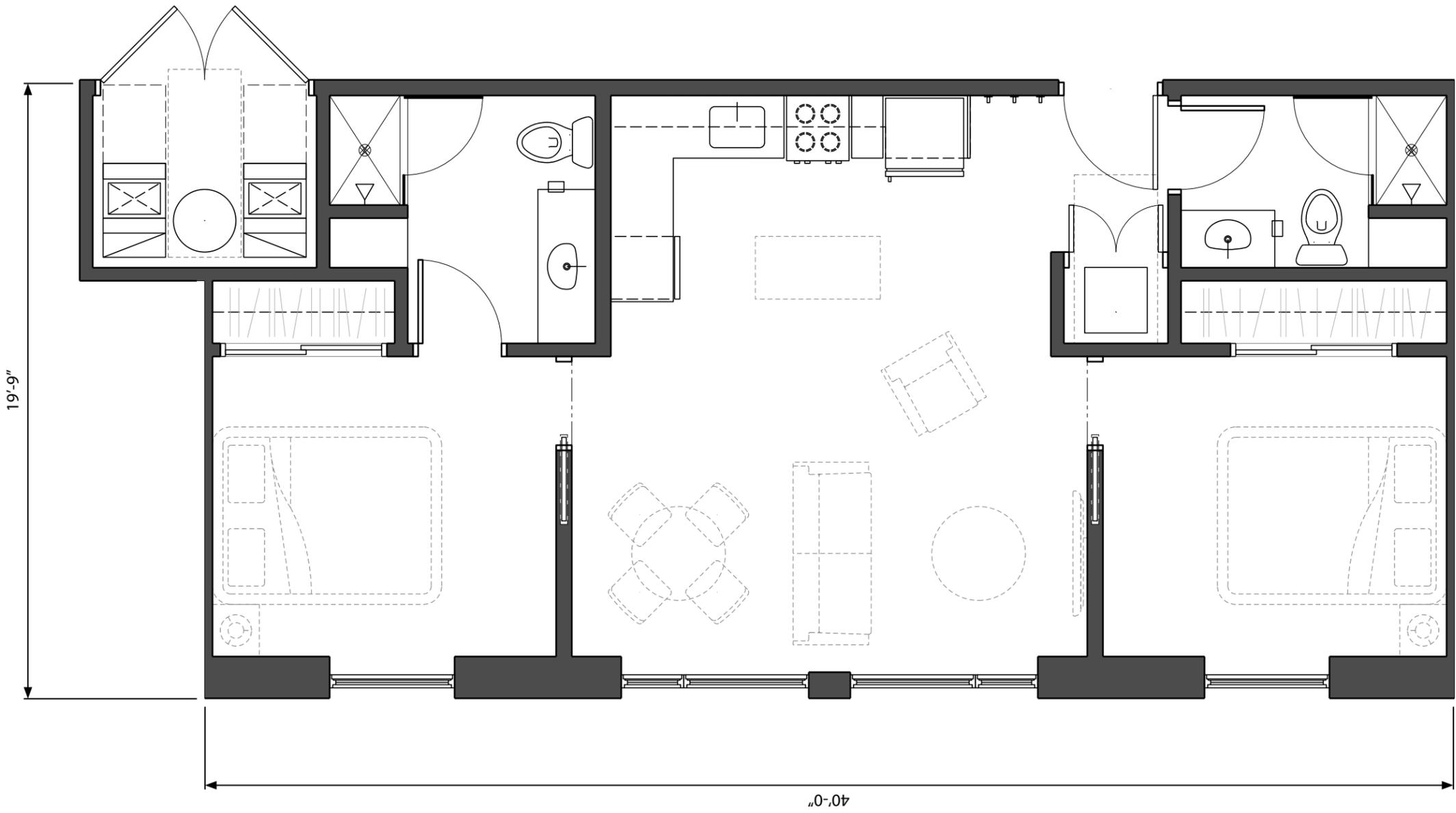
scale

0'

2'

4'

8'



City of Boyne City



Capital Improvement Plan 2019-2024

CIP Overview

The Capital improvement Program is a six-year schedule of proposed major capital projects, cost estimates and financing methods. The requirement for capital budgeting is found in Act 33 of the Michigan Public Acts of 2008 being the Michigan Planning Enabling Act.

The Capital Improvements Program (CIP) establishes the City's blueprint for investment in its capital infrastructure. This document is used as a tool to help ensure that the City's long and short-term capital investments are made in the context of careful consideration of the City's needs as well as the resources available to fund all projects.

The financial guidelines used in the preparation of the CIP will provide assurance that the City can meet, in a full and timely manner, both our debt service obligations and all other obligations competing for available resources. It is our objective to complete as many needed capital improvement projects as financially possible while maintaining flexibility and the ability to adapt to changes as they occur.

Capital Improvement Program vs. Annual Operating Budget

The Capital Improvement Program and Annual Operating Budget are two critical documents prepared each year. The relationship between these two documents is summarized by the following points:

Capital Improvement Program

- Represents a long-term financial plan, including funding sources.
- Establishes priorities and serves as a planning document or blueprint for the City's investment in capital infrastructure.
- Provides a breakdown of major project costs and their phasing.
- Does not appropriate money.
- As indicated by the above points, the Annual Operating Budget is the document which authorizes the actual funding for the major and non-major capital projects.

Annual Operating Budget

- Appropriates money to implement the first year of the Six-Year Capital Improvement Program.
- Appropriates money to implement current year's phase of a major, multi-year project.
- Appropriates money for operating expenditures and expenditures of a continuing nature.

Capital Improvement Program Guidelines and Benefits

There are several key guidelines the Administration utilized in determining the City's fiscal capacity to complete capital projects over the next six years. These are summarized as follows:

- The Capital Improvement Program will be reviewed and updated annually.
- The City has determined that paying cash for projects where financially possible (pay-as-you-go financing) reduces long term costs and maintains financial flexibility for the future. In utilizing pay-as-you-go financing, revenue projections and estimated fund balances will be reviewed and evaluated to assure that sufficient reserves are maintained.
- It is not economically feasible to issue debt for some projects, nor do all projects have a projected lifespan long enough to warrant the issuance of debt.
- Under current economic conditions, the ability to complete many projects will depend on identifying and obtaining outside sources of funding.
- The City's philosophy for projecting property tax revenues is conservative. Over the past few years taxable value remained relatively static. In 2018 there was a \$6 million increase in the Cities taxable value, this increase is expected to increase revenues by approximately \$90,000.
- As a matter of general policy, the City will pursue, when feasible, federal, state and local assistance in the form of grants, low-interest loans, cost-sharing, etc.

There are many benefits of an effective and ongoing Capital Improvement Program, including:

- Coordination of the community's physical planning with its fiscal planning capabilities;
- Ensuring that public improvements are undertaken in the most desirable order of priority;
- Assisting in stabilization of tax and utility rates and other charges over a period of years;
- Producing savings in total project costs by promoting a "pay as you go" policy of capital financing thereby reducing interest expense and financing costs;
- Providing adequate time for planning and engineering of proposed projects;

- Ensuring the maximum benefit of the monies expended for public improvements; and
- Scheduling municipal construction activities to be better coordinated with those of other public agencies within the community.

Funding Sources

The City of Boyne City primarily uses the general fund, enterprise funds or special revenue funds for capital project funding. Outside sources of funding have also significantly contributed to capital projects and this is reflected in the current capital plan as well. Projects that identify outside funding sources have a more uncertain time-frame, but staff has attempted to be realistic with projections based on the need for a match in local funding.

Capital Improvements Program and Structure

A capital expenditure is defined as an item that has a significant value and a useful life greater than three years. Expenditures for building construction and renovation, land purchases and improvements, and major equipment are generally capital expenditures in contrast to operating costs such as salaries, supplies and services that are budgeted annually in the various department operating budgets. Significant value is defined for purposes of the Plan as any infrastructure project that costs \$25,000 or more and any equipment, materials or vehicles that cost \$10,000 or more. Minor capital purchases such as office furniture, computers, etc. are not included in this document.

Projects that correspond with City priorities and have a potential funding source available, are included in the Plan. The Capital Improvement Program is then presented to both the Planning Commission and then City Council. The CIP is designed to be amended on an annual basis, as projects scheduled in later years are identified on a needs basis, and may not have an available funding source. Projects can be added or subtracted as the needs and resources of the community change.

The 2019-2024 CIP provides capital expenditure information on seven major program areas including: Administration, Police, Fire, Ambulance, Parks, Streets and Sidewalks and Wastewater Treatment and Water Production.

2019 Capital Improvements			Fund Sources					
Program Area	Project	Project Scope	General	Streets	DDA	LDFA	Water-Sewer	Grants/Other
Streets and Sidewalks	Sidewalk Construction	to 2019	\$10,000		\$10,000			
Streets and Sidewalks	Local & Major Street Capital Preventative Maintenance DEFERRED to 2019	Crush and shape streets (Front, First, Trent, Ann & Wilson)		\$204,000				
Streets and Sidewalks	Major Street Capital Preventative Maintenance	Pavement Rehabilitation on North Lake Street (City boat launch to West Michigan)		\$250,000				\$235,000
Streets and Sidewalks/Wastewater Treatment/Water	Street Reconstruction DEFERRED to 2019	Cedar Street Reconstruction (Lake Street to Douglas Street) including utilities		\$475,000			\$196,000	
Streets and Sidewalks	Major Street Capital Preventative Maintenance	Pavement Rehabilitation on North Lake Street (State Street to the City boat launch)		\$28,100				\$234,461
Water/Wastewater	Equipment Replacement	Purchase new 3/4 ton pickup with plow to replace truck 12					\$32,000	
Fire	Equipment Replacement	24 Sets Bunker Gear	\$24,000					
Streets and Sidewalks/Wastewater and Water Production	Street Reconstruction	Terrace Street Reconstruction (Pleasant Avenue to Second Street) including utilities		\$400,000			\$200,000	
Parks	Trail Construction	Boyne City to Boyne Falls Trail	\$35,000					\$750,000
Parks	Park Improvements	General Improvements	\$97,000					
Parks	Trail Construction	Develop City Trail System (Open Space, Avalanche Park, BV Trail, Boyne City to Charlevoix Trail)	\$200,000					\$150,000
Ambulance	Equipment Replacement	Phelps MRX cardiac monitor defibrillator	\$28,000					

2020 Capital Improvements			Fund Sources					
Program Area	Project	Project Scope	General	Streets	DDA	L DFA	Water-Sewer	Grants/Other
Parks	Park Improvement	Develop new ball diamond at Rotary Park	\$80,000					
Street and Sidewalks	Sidewalk Construcion	Replace sidewalks in poor condition as identified	\$30,000					
Street and Sidewalks	Major & Local Street Capital Preventative Maintenance	Mix of Fixes		\$200,000				
Streets and Sidewalks	Street Reconstruction	Reconstruct Ann Street (Pleasant Avenue to Second Street)		\$400,000				
Parks	Park Improvements	General Improvements	\$100,000					
Police	Equipment Replacement	Purchse new Police Interceptor to replace Vehicle 330	\$34,000					
Police	Equipment Replacement	Purchse new body cameras	\$5,000					
Ambulance	Equipment Replacement	Phelps MRX cardiac monitor defibrillator	\$28,000					
Ambulance	Equipment Replacement	Stryker Stretcher	\$20,000					
Ambulance	Equipment Replacement	Purchase Echo nontransport rapid response	\$45,000					

2021 Capital Improvements			Fund Sources					
Program Area	Project	Project Scope	General	Streets	DDA	LDFA	Water-Sewer	Grants/Other
Parks	Parks Capital Maintenance	Repair and renovate Old City Park Gazebo	\$40,000					\$30,000
Streets and Sidewalks	Sidewalk Construction	Replace sidewalks in poor condition and identified		\$30,000				
Streets and Sidewalks	Major & Local Street Capital Preventative Maintenance	Mix of Fixes		\$210,000				
Motorpool	Equipment Replacement	Purchase Trackless mower/blower	\$140,000					
Waster Water Treatment and Water Production	Equipment Replacement	Replace Vector Truck					\$350,000	
Streets and Sidewalks	Street Reconstruction	Court Street Reconstruction (Lynn Street to Charlevoix Ave)		\$500,000			\$200,000	
Parks	Park Improvements	Riverside Park Bathrooms & Pump Station Rehabilitation	\$200,000				\$250,000	
Police	Equipment Replacement	Purchase Computer Server	\$10,000					
Ambulance	Equipment Replacement	Phelps MRX cardiac monitor defibrillator	\$32,000					

2022 Capital Improvements			Fund Sources					
Program Area	Project	Project Scope	General	Streets	DDA	LDFA	Water-Sewer	Grants/Other
Street and Sidewalks/Wastewater Treat/Water Production	Street Reconstruction	Reconstruct Lincoln Street (East Street to Lake Street)		\$400,000			\$150,000	
Streets and Sidewalks	Major & Local Street Capital Preventative Maintenance	Mix of Fixes		\$220,000				
Parks	Park Improvements	Renovate Peninsula Beach Bathrooms	\$100,000					
Motorpool	Equipment Replacement	Replacement of Plow Truck #3	\$145,000					
Fire	New Equipment	Fire Dept 12,500gal pumper truck	\$100,000					
Parks	Park Improvements	Construct Phase 3 of the planned Open Space Park	\$100,000					
Parks	Park Improvements	General Improvements	\$100,000					
Ambulance	Equipment Replacement	Purchase New Ambulance	\$180,000					

2023 Capital Improvements			Fund Sources					
Program Area	Project	Project Scope	General	Streets	DDA	LDFA	Water-Sewer	Grants/Other
Fire								
Police	Equipment Replacement	Purchase New Police Vehicle to replace 331	\$36,000					
Motorpool	Equipment Replacement	Replacement of Trackless Snow Blower/Plow	\$75,000					
Water/Waste Water								
Streets and Sidewalks	Major & Local Street Capital Preventative Maintenance	Mix of Fixes		\$225,000				
Parks	Parking Lot Improvement	Pave Rotary Park parking lot	\$250,000					
Streets and Sidewalks	Street Reconstruction	Reconstruct Silver Street (Lynn Street to Charlevoix Ave)		\$300,000				\$200,000
Parks	Park Improvements	Construct Phase 4 of the planned Open Space Park	\$100,000					

2024 Capital Improvements			Fund Sources					
Program Area	Project	Project Scope	General	Streets	DDA	LDFA	Water-Sewer	Grants/Other
Streets and Sidewalks	Major & Local Street Capital Preventative Maintenance	Mix of Fixes		\$230,000				
Streets and Sidewalks	Street Reconstruction	Arthur Street (East Street to Jeremy) and Jeremy Street (Vogel Street to Arthur Street)		\$250,000			\$250,000	
Motor Pool	Equipment Replacement	General Equipment Replacements	\$50,000					
Motorpool	Equipment Replacement	Replacement of Plow Truck #1	\$150,000					
Parks	Park Improvements	General Improvements	\$120,000					
	1							
	1							
	1							