



City of Boyne City

Founded 1856

319 N. Lake Street

Boyne City, Michigan 49712
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AGENDA

BOYNE CITY PLANNING COMMISSION

Monday March 18, 2019 5:00 p.m.
Boyne City Hall



Scan QR code or go to
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click on Boards & Commissions for complete
agenda packets & minutes for each board

1. Call to Order
2. Roll Call - Excused Absences
3. Consent Agenda

The purpose of the consent agenda is to expedite business by grouping non-controversial items together to be acted upon by one Commission motion without discussion. Any member of the Commission, staff, or the public may ask that any item(s) on the consent agenda be removed to be addressed immediately following action on the remaining consent agenda items. Such requests will be respected.

Approval of minutes from the February 18, 2019 Boyne City Planning Commission meeting.

4. Hearing Citizens Present (*Non-Agenda Items*)
5. Reports of Officers, Boards, Standing Committees
6. Unfinished Business
 - A. Development Plan Review at 216 N Lake
7. New Business
 - A. Alley Vacation Request from Richard Wright
 - B. Recommendation for Planning Commission Appointment
8. Staff Report
9. Good of the Order
10. Adjournment – Next Meeting April 15, 2019

Individuals with disabilities requiring auxiliary aids or services in order to participate in municipal meetings may contact Boyne City Hall for assistance: Cindy Grice, City Clerk/Treasurer, 319 North Lake Street, Boyne City, MI 49712; phone (231) 582-0334

**Meeting of
February 18, 2019**

Record of the proceedings of the Boyne City Planning Commission meeting held at Boyne City Hall, 319 North Lake Street, on Monday February 18, 2019 at 5:00 pm.

Call to Order

Chair Place called the meeting to order at 5:00 p.m.

Roll Call

Present: Ken Allen, Jason Biskner, George Ellwanger, Tom Neidhamer, Aaron Place, Jeff Ross and Joe St. Dennis
Absent: Jim Kozlowski
Vacancy: One

2019-2-18-02

**Excused Absences
Motion

St. Dennis moved, Allen seconded, PASSED UNANIMOUSLY, a motion to excuse the absence of Kozlowski.

Meeting Attendance

City Officials/Staff: Planning and Zoning Administrator Scott McPherson, City Manager Michael Cain, City Commissioner Hugh Conklin, Sally Page and Ron Grunch, Assistant Planning and Zoning Administrator Patrick Kilkenny, Assistant Police Chief Kevin Spate, Main Street Manager Kelsie King-Duff and Recording Secretary Pat Haver
Public Present: Seventy eight

**Consent Agenda
Motion

2019-2-18-03

Ross moved, Ellwanger seconded, PASSED UNANIMOUSLY, a motion to approve the consent agenda, the Planning Commission minutes from January 21, 2019 as presented.

**Citizen comments on
Non-Agenda Items**

Leslie Pritchard - At the recent City Commission meeting held last week, I want to commend Commissioner Conklin for being willing to refer back to the Planning Commission the recent height ordinance amendments for another look, however was distressed that it went nowhere for a lack of a second. I was concerned that the communication from Todd Wright was not read into the minutes, and this item came to a vote with very little time for citizens to review and prep. The first floor height was amended, and the intention of the ½ story at the top did not refer to living space or penthouses; it was intended for parapets and concealing mechanicals.
Barb Borgeld: W. Main St. - For items of this importance, meetings should be held at 7:00 pm and not during the day or at 5:00 pm when most people are not able to attend.

**Reports of Officers,
Boards and Standing
Committees**

The Boyne Housing Solutions group recently met and had presentations from Ted Macksey, Scott Gillespie and Jane MacKenzie. This meeting was well attended; and the group has been tasked with coming up with solutions to find ways to help alleviate the housing shortage.

Unfinished Business

None

New Business

Planning Director McPherson reviewed his staff report that was included in the agenda packet, then turned over the presentation to Bob Grove, owner of the Dilworth.

**Preliminary review of
proposed renovation
at 300 Water St.**

Bob Grove - We are working on restoring the building back to how it was originally built. It was remodeled about 30 years ago, and we are tearing up and into those renovations to figure out the best plan of action. We will be downsizing the number of current rooms to 22; so will be high-end accommodations. The existing dining room has been restored to its original condition, and for the bar, we purchased one that is more fitting to the original building design. We are currently looking at removing and rebuilding the back area to be used for the kitchen extending it out approximately 10

feet. The basement will have a wine cellar, private dining area and the bar. Because of deterioration we will need to remove and replace all of the existing cast iron pipes. We would like to bury all of the incoming power lines, so have purchased the adjacent piece of property to accomplish that. We are not sure what we will be doing with that building, except redoing the garage. Not sure what the final intentions will be, but may use it for temporary staff housing.

Public comment opened at 5:16 pm

Melissa Casper – I understand there are some plumbing issues, will each of the rooms have their own bathroom? **Grove** – Yes

Scott MacKenzie – Thank you for the passionate meticulous work that you are doing to restore this building. Will the brick exterior be the same? **Grove** – we do not have enough original brick, so will be trying to match as closely as possible.

Leslie Pritchard – Yes, thank you as well, it was stated that this is a 4 story building; actually there are 3 floors and a basement right? **Grove** – Yes

Barbara Malpass Young – Thank you, I remember when my mother in law and grandmother worked there. Will you be using local suppliers and contractors? **Grove** – as much as possible.

Penny Hardy - Do you have a time frame for a grand opening? **Grove** – We have a lot of things to still fix and fix right, hopefully within 3 years.

Public comment closed at 5:20 pm

The board was pleased with the work done so far, and look forward to seeing it finished

**Development Plan
Review proposed
Mixed Use at 216 N.
Lake St.**

Planning Director McPherson reviewed his staff report that was included in the agenda packet, a 100' x 40' 3 story mixed use building is being proposed which will consist of a 2,340 sq. ft. dental office, and a 1,260 sq. ft. commercial space on the first floor and a total of 3 1,200 sq. ft. apartments on the second and third floor for a total of 6 dwelling units. Public entrances to the dental office and the commercial space will be on the west and south sides of the building, with the entrance to the residential units on the east side. The current plans are proposing 22 parking spaces behind the building with 11 to be carports with storage units. The parking demand for the proposed uses is calculated at 32 spaces with the dentist office requiring 16; the commercial use requiring 4; and a total of 12 for the 6 residential units. For this application to be approved, the planning commission would need to consider reducing or waiving the parking requirements. In making the determination the board can consider the zoning ordinance provisions of sections 24.20 F which allows for up to a 20% reduction for collective uses of the available parking spaces and/or 11.05 L which allows the commission to lessen the number of required spaces based on the availability of on street parking spaces, off-site parking lots, municipal parking lots, a finding that patrons will either walk to the site from nearby neighborhoods or will park at other sites and visit several uses at one time, or the placement and configuration of existing buildings.

Cliff Harvey: Case Construction – If you remember, we were here with preliminary plans for a one story dental office building. After discussion with this board and a request to possibly put in residential units above, this is the plan with we have come up with. The only difference is a little larger first floor foot print and the addition of the second and third residential floors. We have the same architectural design features, so will be using board and batten, wood shakes and stone as shown on their design board.

Nate Vohwinkle: developer – with the proposed plan, we are utilizing the best view of the area, and are proposing condo units with a lesser price point. We have removed the curb cut entrance from Lake Street, and have funneled all of the traffic into the parking lot from the North Street side. Because the building sits close to the sidewalk, the

commercial space door has been inset into the building to reduce any obstruction to the sidewalk and the 2nd floor residential unit balconies will be 12 feet from the ground, so will not be a problem with people walking down the sidewalk. The carports will be constructed along the eastern lot line back by the alley way and will have storage for the recreational needs of the residences. We are using high quality building materials for the building and the carport, and will not have any exposed HVAC or equipment units as the building will be 100% geo thermal.

Public comment opened at 5:35 pm with direction from the chair that the comments will be limited to 5 minutes, direct them to the board and everyone will be given an opportunity to speak if they so choose.

Michelle Cortright: 221 Water St. – Wondering about the condo units, how many will there be, will they be for rent or sale and will them be income based?

Skylar McNaughton – How tall will this building be? **McPherson** – 35 feet

Steven Groot: 214 State St. & 302 State St. – You can't keep giving away parking. How is that going to affect my properties on State St.?

Bruce Janssen: 111 N. East St. – Not sure when the additional stories came into play? The Main Street Design Committee looked at the proposal in December, and liked the overall design as it fits into the character of nearby structures.

Penny Hardy: North St. – I have major concerns for parking; I like the building design. Where are the parking space requirements for new developers that older businesses had to adhere to? Be careful in reducing the required parking spots.

Bob Kroondyk: Will there be signage designating private parking for the carports?

Cindy Banner: Spring St. – If you reduce the requirement on parking, it will have major implications. The recent parking study, you need to take a harder look when the study was done. There are growing businesses in the area that need to have ample parking for staff and visitors/patients. We have a huge issue during the 4th of July with people parking in our lot, even when we have it posted. The rehab center is already utilizing the parking spots on State Street. It would be a huge mistake to lessen parking.

Jim White: Lakeshore Dr. – For this area and business what is the setback? It should be 10 feet. **McPherson:** in the TRD there is a zero lot line setback. Planning Commission has the discretion up to zero for all businesses.

Todd Wright: Ray St. - The leeway that 24.20 gives the planning commission needs to be for different schedules; business and residential and complimentary uses. Do not lighten up the requirements.

Don Forbes – I agree that there is not enough parking, and this is not going to be affordable housing

Barb Malpass Young: 1001 Hull St. – My concern is also parking spaces. Will this increase the taxes for city residents, where is the benefit for retirees, as our taxes keep going up and up. There are a lot of vacant buildings downtown, use one of those, and there are low income housing units that are not filled; this will not be affordable for working city residents. We don't need this size of a building.

Woody Hardy: North St. – Can you purchase the property behind this site, eliminate the house and use it for the required parking?

Chris Christensen: 125 Stewart St. – For all of these proposed upcoming developments, how can you put angle parking in on Lake St. without giving up park space or move the road? Is there any design to manipulate the street or go into the park for the parking on any of these developments?

Scott MacKenzie: 847 W. Division St. – Our community has issues to figure out. We want to welcome developers. The 2006 Waterfront Master Plan indicated that we wanted a mix of residences and business opportunities along Lake Street. Everyone was invited to attend and participate, and several people did. It indicated ways we can grow

and this was one of them, as it stresses areas to live work and play; we need to address all of the voiced concerns and welcome developers.

Leslie Pritchard – You have a responsibility to the community and not to developers. I'm concerned with parking safety, yes the Master Plan gave us a vision and we need to look at what those considerations are for growth.

Christa Rau: E. Main St. – You want us to live work and play in our area, but any available housing is only occupied a couple of months and is not affordable for the working class. You want to bring in business, but the locals need to drive to Petoskey as we can't afford to work here.

Barb Malpass Young – 80% of the employees in town are paid between 10.00 and 15.00 per hour, they can't afford to live here as the wages don't match the cost of living, and kids don't want to go to our school. With the lack of parking, you have to think about people having to park so far away and falling. Think about our small town appeal.

Bob Kroondyk – I want to thank the developers and construction crews for such a beautiful building being proposed.

Penny Hardy: North St. – the 2 proposed projects are not addressing affordable housing. Still not going to provide workforce housing. I think the huge 4 story building is out of character for Boyne City, except for maybe downtown. Stop making exceptions and reducing parking for developers.

Barb Borgeld: Main St. – we are not against growth, I feel that we are not getting all of the information, let's have what works for everybody.

Public hearing was closed at 6:12 pm, with answers to the audiences questions

Condo pricing will be at market rate, unknown what the price point will be at this time. The parking study was done in the summer/fall of 2018 and compiled by Rich & Associates who did the counts, held meetings, met with businesses and put together the final analysis on the gathered data. The carport will have 6 spaces for residential owners, 2 for the doctor, 1 common space; the developer and contractor looked and spoke with neighbors about purchasing property for additional parking and the offers were shot down. The proposed building will be utilizing the same foot print as the restaurant, however will be approximately 3 foot closer to the road. The curb cut on Lake Street will be removed in order to increase the walkability in the area without having to worry about cars coming out on Lake Street. Dr. Larsen's business is growing, hence the reason for the building, local trades will be utilized during construction. To eliminate any of the above floors the project must be financially viable for the owner, contractor and developer. With the stairwell, elevator and ADA requirements all of the dimensions, floors and height must remain. We understand your concerns and if need be, we can go back to the original design proposals.

Board discussion

Chair Place facilitated discussion on the TCD Development Requirements, Section 11.04 The board indicated that the building placement maximized the parking and still provided sidewalks, street right of ways, and a nice looking project. Concerns were voiced over the vehicle flow in and out of the parking lot, how would emergency vehicles and trash removal vehicles get turned around, where would the dumpster placement be along with snow stored after being plowed? Concerns were raised about the time when the threshold were reached for shared parking. Although the recent parking study indicated that there was plenty of parking available in the city, it went block by block and indicated what parking, both private and public, were available. This current project would rely on available parking across the street in the municipal lot if the 20% reduction under section 24.20 or 11.04 were granted/waived. A couple of the commissioners did not want to see a sea of blacktop or empty asphalt. They did hear

the concerns raised from the citizens in the meeting about the lack of parking and have some concerns over that also, however, are currently looking at public parking spots that are available to use for this project, and not utilizing any private spots in the area.

****Motion**

After board discussion and while going through findings of fact 11.04; **motion by Neidhamer** to grant a 20% reduction in parking. This motion failed due to a lack of a second.

****Motion**

The board discussed various ways to alleviate parking by utilizing parking available on N. Lake Street and the municipal lot directly across the street from the project. The commission has used the 20% reduction as a tool very successfully in the past for other projects, and data has supported those decisions. At this point, **motion by Neidhamer seconded by Allen**, to allow the 20% reduction in parking based on compatible uses within this project.

2019-2-18-7B

Roll Call:

Ayes: Allen and Neidhamer

Nays: Biskner, Ellwanger, Place, Ross and St. Dennis

Absent: Kozlowski

Vacancy: One

Motion Fails

****Motion**

Motion by Neidhamer to waive 10 parking spaces from the required 32 spaces because of available public parking within 150 feet and the multi-use functions within the project. This motion failed due to a lack of a second

The board went no further through the findings of fact as the project does not meet the ordinance criteria.

****Motion**

Nate Vohwinkle and Cliff Harvey have requested a postponement so they can have time for plan reconsideration and a further presentation to this commission. **Motion by Ross seconded by Biskner, PASSED UNANIMOUSLY**, to accept the applicant's proposal to postpone.

**Preliminary Review
Proposed Mixed Use
100 N. Lake St.**

Chair Place advised the audience that this is just a preliminary review and nothing will be voted on at this time; the applicant, developer and architect are looking for input from the community. Planning Director McPherson reviewed his staff report that was included in the agenda packet.

Marilyn Crowley: Michigan Community Capital – we are a 501© 3 nonprofit organization that will be the owners of the project if it goes forward, our focus is investing in communities that have an underserved market, a need for and a variety of housing. Our focus is on workforce, middle income families for long term rentals. For a single individual in the wage range of 35,000 to 53,000 and a family of 2 from 40,000 to 60,000. 60% of the units will be for these clients and the remainder will not be regulated and will be uncapped, so the price of these units will be at market standards. None of these units will be low income housing. We specialize in mixed use developments, walkable communities. The soils are contaminated and it would be a difficult area to develop. We are here to gather concrete design ideas from the community. We are not locked into the design we have here, it was much easier with the computer to put in a square flat roof building.

Mike Corgin: Integrated Architecture – We have heard your concerns about parking, and know that we have to work on that, as these plans currently show 57 parking spots, with a dumpster area and snow removal staging areas, which all will be behind the

building. We will have a total of 48 units that consist of studio, 1 bedroom and 2 bedroom units. The building will be a mix of brick, stone, wood at the storefronts, possible area for outdoor dining, step back facades, cornices, and street scape on Lake Street.

Public comment opened at 7:45 pm

Barb Malpass Young: 1001 Hull St. – Will this development raise our taxes? I appreciate the traffic flow and parking. Height of the building concerns me, what is affordable rent, and have you looked at other areas to develop?

Steve Groot: 214 State St. – What is the overall number of units available? Will this building be tax exempt and what is the required number of parking spaces?

Skylar McNaughton: W. Morgan St. – Sheer size and width of the building is a big deal on the water.

Rose Newson: 214 State St. – Will the public be allowed to see the detailed description remediation plans for the contamination; how does the nonprofit have ownership, will you be transparent with the community? Is there any way that you can increase the number of capped units to increase affordable housing? What will be the turnaround time for someone who applies for one of the units?

Cindy Banner: 507 Spring St. – What will be the retail space sizes, what will be the number of units, the overall height of the building, what is the required number of parking spaces, will there be a natural area for families, are you looking at both the nearby public and private parking spaces to use for the development?

Penny Hardy: 437 North St. – All new developments must provide parking spots truly required to adequately serve the development. We need to be good neighbors, you as a Planning Commission need to use common sense and serve the whole community not just incoming developers.

Bruce Janssen: 111 N. East St. – with Martha Sulfridge who is a part of the Main Street Design Committee; who have not had an opportunity to review the designs prior to today, the following comments are our points of view and not the entire design committee board. No issue with intended use, comments only about design after our January meeting and asking for additional reference points. We stressed at the meetings that the building was too long and massive, roof is too flat, wrong colored brick, façade too flat looking, break it up. Doesn't fit the look or character of our downtown. Look at section bump outs, more variety to front of building, change in height in roof, window changes. It is too industrial in design, look at new façade and floor plans please.

Barb Borgeld: W. Main St. - I agree with what has previously been said. Façade looks too industrial needs to be softened, the building is too tall.

Jim Hawkins: N. Lake St. – Do not turn Veterans Park into overflow parking or a playground.

Scott MacKenzie: 847 W. Division St. – Thank you for coming to Boyne to help us address these issues. I think we can work out designs, the development design team is beginning to understand our wants. I personally do not have a problem with the 45 ft. height; you can't see the lake from the back side of a one story building. To make it economically feasible, there may have to be some compromise. Our parking issues are no more than other communities. We are stuck in what we feel is needed for parking; people want to park and walk right into the place they want to go, but do not hesitate to walk 4 acres at larger stores in other communities. We are driving out developments because we have hang ups about parking.

Melissa Casper: 503 Spring St. - I do not agree with the parking study results, people who visit from downstate do not follow our rules and I believe there are locals that do not, they are going to park where they want. I do not expect to park right in front, but I do expect to park within a reasonable distance. We can't keep cutting corners and getting rid of parking spaces. I do not like the design, I like the design of Café Sante,

which is more welcoming and not quite as massive, it is one building with different roof heights, but doesn't look like it.

Martha Sulfridge – Can you set the building back a bit, and put angle parking in front?

Jane MacKenzie: 847 W. Division St. – Maybe our parking ordinance requirements are too high for studio and 1 bedroom apartments, instead of 1.5 spaces for each of these, maybe it should only be 1.

Ted Macksey: 44 N. Lake St. – If the developer meets all of the development requirements under the ordinance, they are permitted to go 4 stories; if they stay within the height requirements? **Place - Yes**

Todd Wright: Ray St. - Thanks for being here, this is productive and giving us the opportunity for vetting our ideas. Someone brought up a program at one time the City had a Parking Fund – developers paid in a certain amount if you were short on spaces; the City could then use for parking upkeep. As a board, maybe you should be looking into this fund again.

Penny Hardy – If we are attempting to increase housing, why is the first floor not residential? **Corgin: Integrated Architecture** – Your zoning doesn't allow residential on grade.

Leslie Pritchard - This project is too big and doesn't fit in Boyne City. How does MCC who is 501©3 nonprofit working with a developer own the building and who approached you to bring housing into Boyne City? Medium income of \$35,000 to \$50,000 not in Boyne's workforce. If you purchase property will you get tax abatement and Brownfield for developers?

Jim White: Lake Shore Dr. – If MCC is a 501©3, who purchased the property?

Public hearing was closed at 8:21 pm, with answers to the audiences questions

There will be a total of 48 units, the studio size is 400 sq. ft; 1 bedroom will be 500 sq ft. and the 2 bedroom will be 750 sq. ft, with rents ranging from \$800 per month up to 1,500 per month depending on if it is an income restricted unit or not and location within the building. We are not an affordable housing developer, so not providing affordable housing, but middle income housing. Professional management company will be used for residence to apply, they ask for income validation and will do a back ground check, turn around timing is very quick. MCC is a 501©3 as an organization who will create an LLC who will own the property, and will be paying property taxes. We don't have to do it that way, but choose to in order for the community to get property tax payments. MCC owns 100% of the created LLC. Really appreciative to design feedback. Biggest concern is parking; we will have to continue to look to acquire other parcels, not sure if that will be economically feasible. We have to provide 90 parking spaces. The developer, construction crews and manager, architect and I all get paid, a nonprofit does not get any benefits as it will not make any money after the project is established, we build the project and then the building will be self-sustaining. We have projects in Cadillac, Grayling, Detroit, Ypsilanti, Grand Rapids and looking at projects in Mt. Pleasant and Flint. The mix use co-efficient in parking does work in a lot of communities, yours included. Local taxes for residents won't go up, the project will add to the tax base. As far as site contaminants Phase I environmental study is going on now; if there is a hint of contaminations Phase II is setting a "Do Care Plan" maybe taking contaminated soils off site, vapor barrier, or capping; we currently have site control, which is a purchase agreement, we currently do not own it. If the soils are really dirty, we will approach DEQ for grant assistance for remediation to help offset the costs. The soils are soft, so fountains/pilings/piers may need to go down 60 feet. The number of capped unit were determined to assist in making the project economically feasible, we need to find more parking, reduce the building footprint, so may have to shift some of the capped units to be less attainable to make the numbers work. For natural areas the

community desires to be walkable, there is a play area across the street. There is a desire for Urban Lifestyles.

Neidhamer – Young and old want to live downtown, and enjoy the urban lifestyle with retail, hospitality, industry, banking and restaurants within walking distances.

Place – As far as my opinion on design make façade different to make it look like multiple units, brick, coloring, have bump outs, inset doors, roof height changes, corbels on the building, break up the type and size of windows with different shapes and sizes maybe window ledges. The mechanics are hidden on the east side of the building screening from view above the highest floor. Balconies cantilever out.

Crowley – We are really going to be starting over, we need to maintain the shape of the building, but look at how we can break it up, add more detail and bring in charm. Parking is the limiting factor in your zoning ordinance. We understand we need to find the parking, and if this project does not happen, it will be because of the parking requirements. Maybe the city can help with this, but we know we need to find 90 parking spaces with the 20% reduction if applied, if not, we need to find 112 parking spots.

2019 – 2024 CIP Plan

Included in the agenda packet was the Capital Improvement Plan (CIP) for your review and comment. As time was running late, staff asked the commissioners to please review the plan and bring back any comments you may have at the next meeting for discussion.

Staff Report

We just received word that we have been recertified as a Redevelopment Ready Community.

Good of the Order

The commission discussed the need to look at parking requirements and restrictions with in the ordinance. Is it best for the commission to come up with a parking committee to look into the matter? Staff indicated that they will take a look first through the ordinance for parking requirements and restrictions and bring back to the board to review any possible changes.

James Kozlowski will be absent from the March meeting

The next regular meeting of the Boyne City Planning Commission is scheduled for Monday, March 18, 2019 at 5:00 p.m.

Adjournment
****Motion**

2019-2-18-10

Ross moved, Biskner seconded, PASSED UNANIMOUSLY a motion to adjourn the February 18, 2019 meeting at 9:20 p.m.

Chair Aaron Place

Recording Secretary Pat Haver

CITY OF BOYNE CITY

To: Chair Aaron Place, and fellow Planning Commissioners

From: Scott McPherson, Planning Director

Date: March 18, 2019

Subject: 216 N Lake Street



Background Information

The property located at 216 N Lake Ave, previously Roberts Restaurant, is owned by Woodward Real Estate LLC. The property is in the Transitional Commercial zoning district and is approximately 13,800 sqft with 120 feet of frontage on Lake Street and 115 feet of frontage on North Street. A 64' x 36' 1 story building is being proposed which will consist of a 2,300 square foot dental office. The building is proposed to be placed approximately 9 feet from the west (Lake St) property line. A 21 space parking area will be located on the east side the building. Entrances to the building will be located on the north and south sides. The developer is also resubmitting the 3 story option and is requesting the Planning Commission consider approving both plans and leaving the option to the developer of which plan is constructed.



Discussion

The proposed 1 story plan meets all ordinance criteria in regards to use, setbacks, parking and lot coverage. As noted in the staff report for the 3 story option that the parking did not meet the minimum ordinance requirements. However, there is a strong argument to be made the parking area as computed for the dentist office is twice as large as necessary. After the discussion about the parking requirements for last month's submittal a review of parking standards of other cities and villages was completed and it would appear that the parking requirements for a dental office in Boyne City are typically double of the 10 other reviewed municipalities. The parking ordinance standards for the municipalities listed below was applied for the proposed dental office and the required parking for each is as follows:

Dentist Office Parking

<u>Municipality</u>	<u>Ordinance Requirement</u>	<u>Required for Proposed</u>
Boyne City	7 spaces/1000 sqft gfa	16
East Jordan	4 per doctor + 1 per employee	7
Elk Rapids	1 per exam room + 1 per employee	9
Charlevoix	1 space/300 sqft ufa	6
Petoskey	1 space/250 sqft gfa	9
Gaylord	3+1 for each 300 sqft gfa over 1000	7
Cheboygan	1 space/100 sqft of waiting room + 1 per exam room	8
Traverse City	1 per 300 sqft gfa	8
Rogers City	1 each exam room +1 each employee	9
Alpena	1 per 150 sqft waiting room + 1 per exam room	7
Grayling	1 per 200 ufa	9

PROCESS

The Planning Commission should then review the applicable development plan requirements of article 19 and Transitional Commercial District requirements of Article 11 and make a determination based on the relevant facts if the standard is met, not met or met with conditions. If approved with conditions the conditions must be listed, if denied the reasons for denial must be stated.

**DEVELOPMENT SITE PLAN REVIEW STANDARDS
FINDINGS OF FACT
216 N LAKE ST**

Section 19.40 Development Plan Approval Criteria.

In order that buildings, open space and landscaping will be in harmony with other structures and improvements in the area, and to ensure that no undesirable health, safety, noise and traffic conditions will result from the development, the Planning Commission shall determine whether or not the development plan meets the following criteria, unless the Planning Commission determines that one or more of such criteria are inapplicable:

ORDINANCE REQUIREMENT	STATUS	FINDINGS
<p><u>A. General.</u> All elements of the development plan shall be designed to take into account the site's topography, the size and type of plot, the character of adjoining property, and the traffic operations of adjacent streets. The site shall be developed so as not to impede the normal and orderly development or improvement of surrounding property for uses permitted in this Ordinance. The development plan shall conform with all requirements of this Ordinance, including those of the applicable zoning district(s).</p>	<p>The subject parcel is located at 216 N Lake was the location of Robert Restaurant. The parcel is zoned TCD and is approximately 13,800 sqft. Site is completely paved has no significant vegetation or topography. The proposed project is a 3 story mixed use building comprised of a 2,300 sqft dental office. A gable roof is proposed that would be 14 feet in height. The building would be setback approximately 9 from the front(west) lot line, 30 feet from the north side, 20 feet from the south side and approximately 65 feet from the rear(east) lot line. 21 parking spaces are proposed.</p>	
<p><u>B. Building Design.</u> The building design shall relate to the surrounding environment in regard to texture, scale, mass, proportion, and color. High standards of construction and quality materials will be incorporated into the new development. In addition to following design guidelines adopted in specific district or sub-area plans, the building design shall meet the architectural and building material requirements of this Ordinance.</p>	<p>Building is a 1 story 64 x 36 with a gable roof. Conceptual elevations show mixture of materials to be used for façade. Design guidelines for TCD apply.</p>	
<p><u>C. Preservation of Significant Natural Features.</u> Judicious effort shall be used to preserve the integrity of the land, existing topography, and natural, historical, and architectural features as defined in this Ordinance, in particular wetlands designated /regulated by the Michigan Department of Environmental Quality, and, to a lesser extent, wetlands which are not regulated by the Department.</p>	<p>The proposal does not impact any significant natural features</p>	
<p><u>D. Streets.</u> All streets shall be developed in accordance with the City of Boyne City Subdivision Control Ordinance and City Municipal Standards, unless developed as a private road in accordance with the requirements of the City.</p>	<p>Not Applicable</p>	

**DEVELOPMENT SITE PLAN REVIEW STANDARDS
FINDINGS OF FACT
216 N LAKE ST**

<p><u>E. Access, Driveways and Circulation.</u> Safe, convenient, uncongested, and well defined vehicular and pedestrian circulation within and to the site shall be provided. Drives, streets, parking and other elements shall be designed to discourage through traffic, while promoting safe and efficient traffic operations within the site and at its access points. All driveways shall meet the design and construction standards of the City. Access to the site shall be designed to minimize conflicts with traffic on adjacent streets, particularly left turns into and from the site. For uses having frontage and/or access on a major traffic route, as defined in the City of Boyne City Comprehensive Plan, the number, design, and location of access driveways and other provisions for vehicular circulation shall comply with the access management provisions of this Ordinance.</p>	<p>Existing driveway on Lake street will be removed and replaced with sidewalk, nonconforming driveway on North street will be reconfigured to a 20' curbed driveway providing access to the site. Proposed plan meets the access management provisions.</p>	
<p><u>F. Emergency Vehicle Access.</u> All buildings or groups of buildings shall be arranged so as to permit necessary emergency vehicle access as required by the Fire Department, Ambulance Department and Police Department.</p>	<p>Site has Emergency vehicle access</p>	
<p><u>G. Sidewalks, Pedestrian and Bicycle Circulation.</u> The arrangement of public or common ways for vehicular and pedestrian circulation shall be connected to existing or planned streets and sidewalks/pedestrian or bicycle pathways in the area. There shall be provided a pedestrian circulation system which is separated from the vehicular circulation system. In order to ensure public safety, special pedestrian measures, such as crosswalks, crossing signals and other such facilities may be required in the vicinity of primary and secondary schools, playgrounds, local shopping areas, fast food/service restaurants and other uses which generate a considerable amount of pedestrian or bicycle traffic.</p>	<p>Existing sidewalk on Lake Street, sidewalk to be installed on North Street.</p>	
<p><u>H. Barrier-Free Access.</u> The site has been designed to provide barrier-free parking and pedestrian circulation.</p>	<p>Building has barrier free access.</p>	

**DEVELOPMENT SITE PLAN REVIEW STANDARDS
FINDINGS OF FACT
216 N LAKE ST**

<p><u>I. Parking.</u> The number and dimensions of off-street parking [spaces] shall be sufficient to meet the minimum required by this Ordinance. However, where warranted by overlapping or shared parking arrangements, the Planning Commission may reduce the required number of parking spaces, as provided in this Ordinance.</p>	<p>A 21 space parking lot is provided. Dental office requires 16 spaces.</p>	
<p><u>J. Loading.</u> All loading and unloading areas and outside storage areas, including refuse storage stations, shall be screened in accordance with this Ordinance.</p>	<p>Enclosed dumpster shown on plan.</p>	
<p><u>K. Landscaping, Screening, and Open Space.</u> The landscape shall be preserved in its natural state, insofar as practical, by removing only those areas of vegetation or making those alterations to the topography which are reasonably necessary to develop the site in accordance with the requirements of this Ordinance. Landscaping shall be preserved and/or provided to ensure that proposed uses will be adequately buffered from one another and from surrounding public and private property. Landscaping, landscape buffers, greenbelts, fencing, walls and other protective barriers shall be provided and designed in accordance with the landscaping provisions of this Ordinance. Recreation and open space areas shall be provided in all multiple-family residential and educational developments.</p>	<p>Landscaping plan provided.</p>	
<p><u>L. Soil Erosion Control.</u> The site shall have adequate lateral support so as to ensure that there will be no erosion of soil or other material. The final determination as to adequacy of, or need for, lateral support shall be made by the Planning Director or City Engineer, and have a valid Charlevoix County Soil Erosion permit.</p>	<p>Not applicable</p>	

**DEVELOPMENT SITE PLAN REVIEW STANDARDS
FINDINGS OF FACT
216 N LAKE ST**

<p><u>M. Stormwater Management.</u> Appropriate measures shall be taken to ensure that removal of surface waters will not adversely affect neighboring properties or the public storm drainage system. Provisions shall be made to accommodate stormwater which complements the natural drainage patterns and wetlands, prevent erosion and the formation of dust. Sharing of stormwater facilities with adjacent properties shall be encouraged. The use of detention/retention ponds may be required. Surface water on all paved areas shall be collected at intervals so that it will not obstruct the flow of vehicular or pedestrian traffic or create standing water. All such measures shall comply with the Charlevoix County Stormwater Ordinance.</p>	<p style="text-align: center;">Storm water will continue to be directed towards existing storm sewer.</p>	
<p><u>O. Lighting.</u> Exterior lighting shall be arranged so that it is directed preferably downward onto the subject site and deflected away from adjacent properties. Lighting shall not impede the vision of traffic along adjacent streets. Flashing or intermittent lights shall not be permitted.</p>	<p style="text-align: center;">Lighting not shown on provided plan.</p>	
<p><u>P. Noise.</u> The site has been designed, buildings so arranged, and activities/equipment programmed to minimize the emission of noise, particularly for sites adjacent to residential districts.</p>	<p style="text-align: center;">Proposed use are not anticipated to increase existing noise emissions for the area. Site is not adjacent to any residential district.</p>	
<p><u>Q. Mechanical Equipment.</u> Mechanical equipment, both roof and ground mounted, shall be screened in accordance with the requirements of this Ordinance.</p>	<p style="text-align: center;">Site will use Geo Thermal No exterior HVAC systems</p>	
<p><u>R. Signs.</u> The standards of the City of Boyne City's Sign Ordinance are met.</p>	<p style="text-align: center;">No signage shown on plan.</p>	

**DEVELOPMENT SITE PLAN REVIEW STANDARDS
FINDINGS OF FACT
216 N LAKE ST**

<p><u>S Hazardous Materials or Waste.</u> For businesses utilizing, storing or handling hazardous material such as automobile service and automobile repair stations, dry cleaning plants, metal plating industries, and other industrial uses, documentation of compliance with state and federal requirements shall be provided.</p>	<p style="text-align: center;">No hazardous materials or waste</p>	
<p><u>T. Other Agency Reviews.</u> The applicant has provided documentation of compliance with other appropriate agency review standards, including, but not limited to, the Michigan Department of Natural Resources, Michigan Department of Environmental Quality, Michigan Department of Transportation, Charlevoix County Drain Commissioner, Northwest Michigan Community Health Agency, Charlevoix County Building Department, and other federal and state agencies, as applicable.</p>	<p style="text-align: center;">City W/WWW and DPW approval required.</p>	
<p><u>U. Approval Process.</u> The development plan shall be reviewed by the Planning Commission. If disapproval is recommended, the Planning Commission shall cite reasons for such disapproval. If the Planning Commission finds a development plan not in conformity with this section, it may, at its discretion, return the development plan to the applicant with a written statement of the modifications necessary to obtain approval. Upon resubmission of the modified development plan, the Planning Commission shall review the plan. The Commission may approve, disapprove or approve subject to compliance with such modifications and conditions as may be deemed necessary to carry out the purpose of this Ordinance and other ordinances and resolutions of the City. If disapproved, the Planning Commission shall cite reasons for such disapproval.</p>		

**TCD DEVELOPMENT REQUIREMENTS
FINDINGS OF FACT
216 N LAKE**

Section 11.04 Development Requirements.
Buildings in the TCD should possess architectural variety, but must enhance the overall cohesiveness of the district's character and appearance as determined by the Planning Commission. Building heights, story levels, window sizes and proportions, architectural features, and building materials must remain consistent with those of existing or adjacent buildings within the immediate vicinity.

ORDINANCE REQUIREMENT	FACTS	FINDING
<u>Development Plan.</u> Development plan approval for all uses as specified in Article XIX of this Ordinance.	Development Plan Provided	
<u>Building Placement.</u> Buildings may be built at lot lines with no setbacks, or the average setback of other buildings on the block as determined by the Planning Commission. The Commission may require greater setbacks if such space, in their determination, is needed for off-street parking or other requirements. The intent of the placement is to provide for a visual as well as use transition between the CBD and other adjacent districts.	Proposed use to be placed approximately 9' from front lot line.	
<u>Architectural Features.</u> Building façades greater than thirty-three (33) feet in length shall contain architectural features, details and ornaments that are consistent with predominating architectural styles found within the district such as: arches; roof cornices; contrasting bases; contrasting masonry courses, water tables, or molding; pilasters or columns; corbeling; contrasting bands or color; stone or ceramic accent tiles; colonnades; or porches. Elements such as wall clocks, decorative light fixtures, and door or window canopies are recommended. Blank, windowless walls are prohibited. All non-residential buildings must have interior downspout and gutter systems; exterior downspouts and gutters are not permitted for non-residential buildings, except for those originally constructed for single-family residential purposes.	Building is 64' x 36'. Elevations show contrasting masonry, Canopies are not proposed. Color elevations provide No exterior downspouts or gutters shown.	
<u>Fenestration.</u> All façades visible from the street must contain glazed glass windows. Windows shall be recessed and include visually obvious sills. Spaces between windows shall be formed by columns, mullions, or material found elsewhere on the façade. Clear window glass is recommended; green, blue, bronze, or smoke tints are permitted. Window shapes shall be rectangular, square, or Palladian (mostly rectangular with semi-circular top). Circular, octagonal, or diamond shaped windows are not permitted. Glazing on the first floor shall occupy a minimum sixty percent (60%) and a maximum of seventy percent (70%) of the façade. No glazing on first floor shall be placed less than two (2) feet six (6) inches above the sidewalk. No glazing on the first floor shall be placed more than	West Façade-First floor glazing is approximately 51%, South Façade-66%, North Façade- 1%, East Façade-42%, second and third floor 24% The proposed windows meet width-height requirement.	

**TCD DEVELOPMENT REQUIREMENTS
FINDINGS OF FACT
216 N LAKE**

<p>eight (8) feet above sidewalk. Glazing on the second of higher floors shall be a minimum thirty percent (30%) and a maximum of sixty percent (60%) of the façade. Vertical window orientation shall have a width-to-height ratio of at least one (1) to (2), and shall be consistent with adjacent buildings. Horizontal windows with a width-to-height ratio of between one (1) to one (1) and four (4) to one (1) may be permitted by the Planning Commission if they determine such window orientation is consistent with the appearance and character of the district.</p>		
<p><u>Building Materials.</u> Building materials must be consistent with the surrounding neighborhood character, as determined by the Planning Commission. Building materials on the front façade or any façade visible from a public right-of-way must be primarily of natural materials conveying permanence, as determined by the Planning Commission. Each front façade, any façade visible from a public right-of-way, and any façade with a dedicated public entrance into the building should contain at least sixty percent (60%) of the recommended materials listed below, excluding window areas. <u>Recommended Materials.</u> Brick; stone; wood siding; concrete slab (poured-in-place, tilt-up construction). <u>Acceptable Materials.</u> Split face, scored, or ground face block; beveled wood siding (lap, board and batter, shake); exterior insulation finish systems (EIFS) <u>Discouraged Materials.</u> Smooth face block; vinyl siding; metal siding (standing seam panels, aluminum siding); clear and reflective glass; T-111 and other wood panel siding.</p>	<p>Building materials include cultured stone, split faced CMU veneer, fiber cement board vertical siding.</p>	
<p><u>Exterior Colors.</u> Exterior colors shall be compatible with the colors on adjacent buildings, subject to review and approval by the Planning Commission. The following natural colors are encouraged for the main portions of building façades and roof forms: neutral earth tones (sand to brown); shades of gray; traditional colors (e.g., brick red, forest green, navy blue); light, subdued hues (e.g., salmon); or white. Contrasting, accent colors which are compatible with the primary colors listed above are encouraged for trim, accent, and other decorative architectural features. The use of bright or fluorescent colors (e.g., purple, orange, pink, lime, yellow) is discouraged. Colors should be natural to the material or pigmented, and not painted on the material whenever possible. Proposed colors shall be specified on</p>	<p>Color renderings provided.</p>	

**TCD DEVELOPMENT REQUIREMENTS
FINDINGS OF FACT
216 N LAKE**

<p>the development plan. Samples of building materials and colors are required at the time of development plan review for review and approval of the Planning Commission. Development plan reviews may be tabled for lack of building samples.</p>		
<p><u>Side or Rear Façade Design.</u> All sides of a building shall be similar in design, detail, and material to present a cohesive appearance to neighboring properties. Wherever a side or rear facade is visible from a public street, or if parking is located at the side or rear of a building, the facade shall be designed to create a pleasing appearance, in accordance with the following design criteria:</p> <ol style="list-style-type: none"> 1. Materials and architectural features similar to those present on the front of the building shall be used on the side or rear façade. All visibly exposed sides of a building shall have an articulated base course and cornice. The base course shall align with either the kickplate or sill level of the first floor. The cornice shall terminate or cap the top of a building wall, and may project out horizontally from the vertical building wall plane and may be ornamented with moldings, brackets and other details. The middle section of a building may be horizontally divided at floor, lintel, or sill levels with belt or string courses. 2. Waste receptacle and service areas shall be completely screened with a decorative masonry wall as approved by the Planning Commission. 3. Open areas shall be landscaped with lawn, ground cover, ornamental shrubs and trees. On every site involving new development or redevelopment, foundation plantings adjacent to the building shall be provided. 	<p>Facades of all sides use similar materials and design.</p>	
<p><u>Building Entrances.</u> All buildings shall have at least one (1) primary public entrance that faces a public street. Rear entrances are permitted, only if there is a primary entrance from a public street. Main entrances to buildings shall incorporate devises such as canopies, recessed entrance ways, larger door openings and display windows, accent colors, and architectural details such as tile work, moldings, and distinctive door pulls. Doors measuring seven (7) and eight (8) feet high are highly recommended. Doors measuring six (6) feet eight (8) inches high shall have a glass transom with a minimum height of twelve (12) inches.</p>	<p>Primary public entrance on Lake Street.</p>	
<p><u>Rooflines.</u> Rooflines shall be consistent with adjacent buildings and the surrounding neighborhood character as determined by the</p>	<p>Gable roof with 6/12 pitch</p>	

**TCD DEVELOPMENT REQUIREMENTS
FINDINGS OF FACT
216 N LAKE**

<p>Planning Commission. Flat roofs may be used in the TCD. Distinctively shaped roof forms, detailed parapets, and exaggerated cornice lines shall be incorporated into rooflines along building façades greater than thirty-three (33) feet. Mansard, mock mansard, or barrel roofs are prohibited. Pitched roof forms (gable, hip, shed) with overhanging eaves and between four (4) inches of vertical rise to twelve (12) inches of horizontal run and twelve (12) inches of vertical rise to twelve (12) inches of horizontal run may be used within the TCD if similar rooflines are used on adjacent buildings, or if the Planning Commission determines such a roof will be consistent with the appearance and character of the district.</p>		
<p><u>Lighting.</u> Exterior lighting must be placed and shielded so as to direct the light onto the site, preferably downward and away from adjoining properties. The lighting source shall not be directly visible from adjoining properties. Floodlights, wall pack units, other types of unshielded lights, and lights where the lens is visible outside of the light fixture shall be prohibited, except where historic-style lighting is used that is compatible with existing historic-style lamps approved by the Planning Commission. Sidewalks and parking areas shall be properly lit to facilitate the safe movement of pedestrians and vehicles and provide a secure environment. In parking areas, the light intensity shall average a minimum of one (1) foot candle, measure five (5) feet above the surface. Parking lot lighting shall be consistent and/or similar with other fixtures used throughout the district, as determined by the Planning Commission, and no greater than twenty (20) feet. In pedestrian areas, the light intensity shall average a minimum of two (2) foot candles, measured five (5) feet above the surface.</p>	<p>Exterior lighting plan not provided.</p>	
<p><u>Canopies and Awnings.</u> Canopies and awnings shall be permitted on buildings as follows: 1. All awnings must be made from canvass fabric or similar water-proofed material, rather than metal, aluminum, plastic, vinyl, or rigid fiberglass. 2. All awnings shall be attached directly to the building, rather than supported by columns or poles. 3. In buildings with multiple storefronts, compatible awnings shall be used as a means of unifying the structure.</p>	<p>Awnings not proposed</p>	
<p><u>Signs.</u> Signs for all uses shall be permitted as specified in the Boyne City Sign Ordinance.</p>	<p>Proposed sign areas within ordinance standards.</p>	

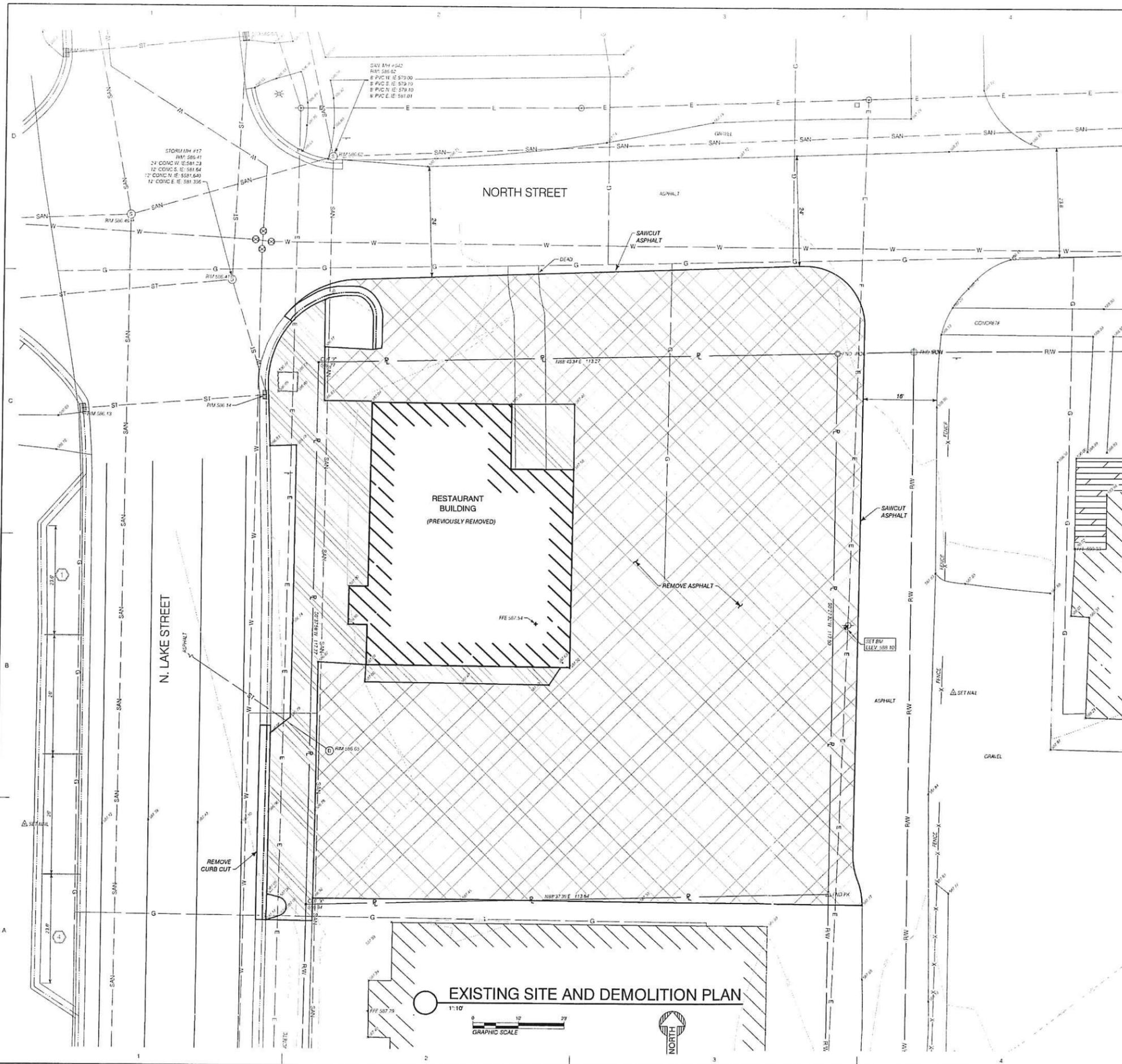
**TCD DEVELOPMENT REQUIREMENTS
FINDINGS OF FACT
216 N LAKE**

<p><u>Mechanical Equipment.</u> All units and appliances for air conditioning, HVAC systems, exhaust pipes or stacks, elevator housing and satellite dishes or other telecommunications receiving devices shall be thoroughly screened from view from the public right-of-way and from adjacent properties, by using walls, fences, roofline elements, penthouse-type screening devices or landscaping. Fire escapes shall not be permitted on a building's front façade. In buildings requiring a second means of egress pursuant to the local building codes, internal stairs or other routes of egress shall be used. Solid metal security gates or solid roll-down metal windows shall be prohibited. Link or grill type security devices shall be permitted only if installed from inside, within the window or door frames; or if installed on the outside, if the coil box is recessed and concealed behind the building wall. Security grills shall be recessed and concealed during normal business hours. Models which provide a sense of transparency by colors, are encouraged. Other security devices fastened to the exterior walls are prohibited.</p>	<p style="text-align: center;">No exterior HVAC systems. No security gates.</p>	
<p><u>Parking and Loading.</u> The Planning Commission shall determine if specific sites may be parking exempt if the number of off-street parking and loading/unloading spaces required per Articles XXIV of this Ordinance shall be met, or if a lesser number spaces or no spaces are required due to the following: the availability of on-street parking spaces, off-site parking lots, or municipal parking lots; a finding that patrons will either walk to the site from nearby neighborhoods, or will park at other sites and visit several uses at one time; or the placement and configuration of existing buildings.</p>	<p style="text-align: center;">22 parking spaces provided, 18 required.</p>	
<p><u>Service Access.</u> A service alley or designated loading space shall be reserved at the rear of the building. Loading from secondary streets may be permitted by the Planning Commission upon demonstration by the applicant that through traffic flow and access to neighboring uses will not be disrupted.</p>	<p style="text-align: center;">Loading from parking lot.</p>	
<p><u>Landscaping.</u> Landscaping shall comply with the provisions of Article XXIII of this Ordinance, in addition to the standards below: On every site involving new development or redevelopment, street trees with a minimum caliper of two-and-a-half (2 1/2) inches shall be provided at twenty-five (25) foot intervals. Any of the following street trees with a minimum caliper of two-</p>	<p style="text-align: center;">Landscaping plan provided.</p>	

**TCD DEVELOPMENT REQUIREMENTS
FINDINGS OF FACT
216 N LAKE**

<p>and-a-half (2 1/2) inches shall be planted within the road right-of-way at twenty-five (25) foot intervals: Red Maple, Green Ash, Bradford Pear, or Little Leaf Linden, White Ash or Honey Locust, subject to review and approval by the Planning Commission. On every site involving new development or redevelopment, a landscape plan shall be submitted for review and approval. The landscape design shall compliment the character of the district.</p> <p>Lots for apartment and non-residential uses shall balance the functional requirements of parking with the provision of pedestrian amenities. Transition areas between parking and civic, commercial or residential uses shall be designed with textured paving, landscaping and street furniture.</p>		
<p><u>Screening.</u> Where a new or expanded use occurs in this District, after the effective date of this Zoning Ordinance, which new or expanded use abuts directly upon a single family residential district, protective screening shall be provided.</p>	<p>Property does not abut residential district.</p>	
<p><u>Enclosed Buildings.</u> Within the TCD, all activities shall be conducted entirely within an enclosed building.</p>	<p>All activities within enclosed building</p>	

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LEGEND		
DESCRIPTION	PROPOSED	EXISTING
BUILDING		
STORM SEWER	ST	ST
SANITARY SEWER	SAN	SAN
WATER	W	W
NATURAL GAS	G	G
UNDRGRND ELEC.	U-E	U-E
OVERHEAD ELEC.	E	E
UNDRGRND TEL.	UT	UT
WELL		
MANHOLE		
CATCH BASIN		
FIRE HYDRANT		
UTILITY POLE		
LIGHT POLE		
CLEANOUT		
WATER VALVE		
DECIDUOUS TREE		
CONIFEROUS TREE		
BUSH		
TREELINE		
DITCH OR SWALE		
ELEVATION		
CONTOUR		
PROPERTY LINE		
UNIT LINE		
FENCE		

ABBREVIATIONS	
ASPH - ASPHALT	IE - INVERT ELEVATION
BF - BARRIER FREE	LFT - LINEAR FEET
BC - BACK OF CURB	MH - MANHOLE
BLDG - BUILDING	PVC - POLYVINYLCHLORIDE
B.M. - BENCH MARK	PIPE
CBT - CUBIC FEET	R - RADIUS
C/C - CENTER TO CENTER	RCP - REINFORCED CONCRETE PIPE
CMP - CORRUGATED METAL PIPE	RR - RAILROAD
CONC - CONCRETE	SAN - SANITARY
DIP - DUCTILE IRON PIPE	STL - STEEL
FDN - FOUNDATION	STM - STORM
FFE - FINISH FLOOR ELEVATION	T/C - TOP OF CURB
F.G. - FINISH GRADE	T/W - TOP OF WALK
HDPE - HIGH DENSITY POLYETHYLENE	T/WALL - TOP OF WALL
	TE - TOPRIM ELEVATION
	TYP - TYPICAL

DEMO SHEET PATTERNS	
REMOVING PAVEMENT (HMA)	
REMOVING (CONCRETE) PAVEMENT/DRIVEWAY/SIDEWALK	



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CONSULTANTS

216 LAKE
 MIXED USE DEVELOPMENT

OWNER
 CASE CONSTRUCTION CO.
 6025 COLMAN RD/D

MARK	DESCRIPTION	DATE
0	CITY SUBMITTAL	01/03/19
1	ZONING APPROVAL	02/11/19
2	CITY SUBMITTAL	03/15/19

PROJECT NO: 18-5191
 CAD DWG FILE: 5191ST.E.DWG
 DRAWN BY: C.STEIN
 DESIGNED BY: J.MALEWITZ
 CHECKED BY:

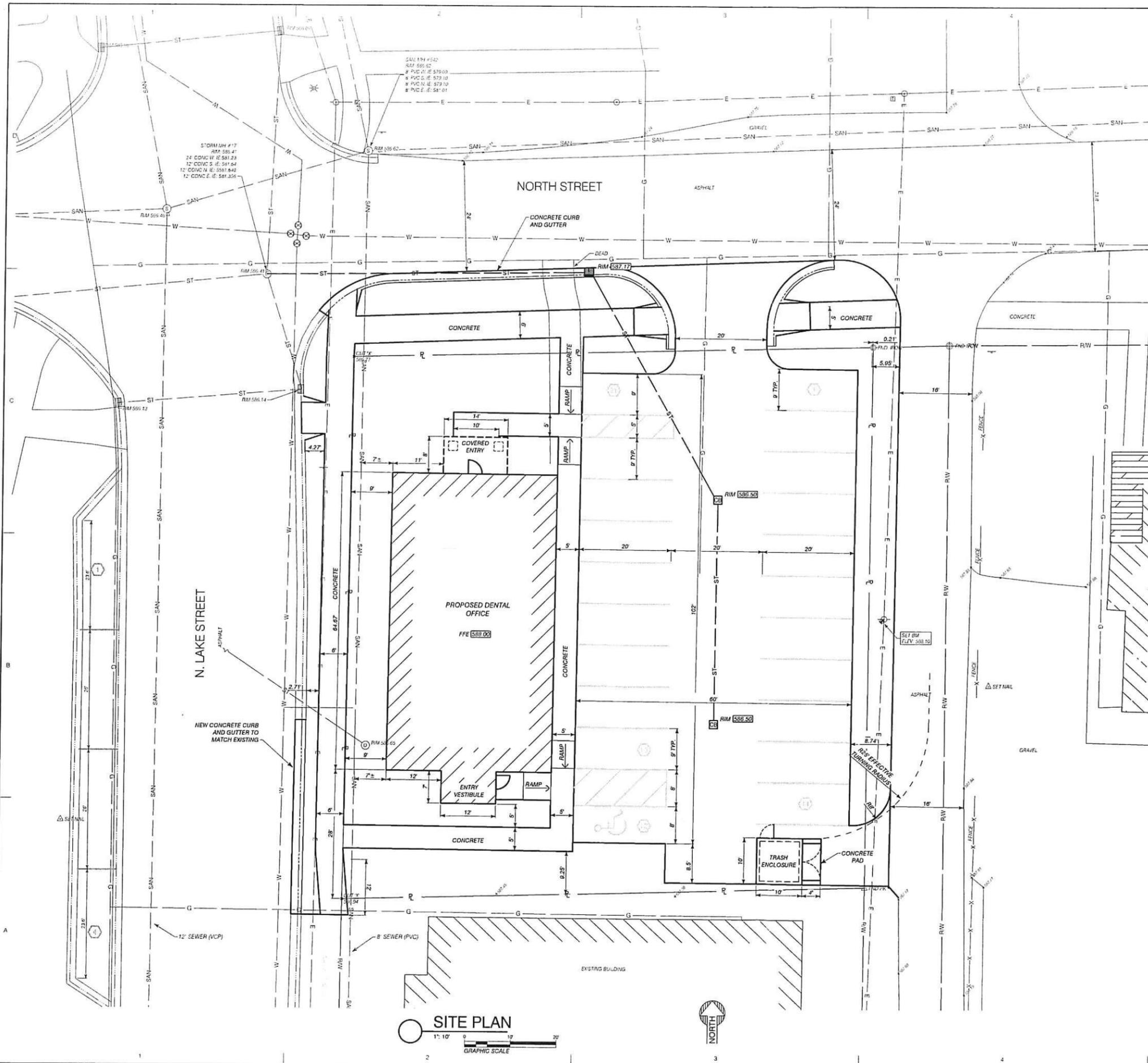
SEAL

SHEET TITLE
 EXISTING CONDITION
 & DEMOLITION PLAN

C-100
 SHEET 1 OF 5

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ZONING INFORMATION	
ZONING	TCD (TRANSITIONAL COMMERCIAL DISTRICT)
PROPOSED USE	DENTAL OFFICE
AREAS	
PARCEL LAND AREA	0.31 ACRES
BUILDING AREA	2,524 SQ. FT.
COVERAGE AREA	28.6%
PARKING	
REQUIRED SPACES	
DENTAL AREA	8 SPACES
* VALUE USED IN ACCORDANCE WITH OTHER REGIONAL ZONING CRITERIA AND CLIENT OPERATIONS	
8 REQUIRED PARKING SPACES	
PROVIDED SPACES:	
HANDICAP ACCESSIBLE SPACES	1
PARKING SPACES	20
SUBTOTAL	21
PARKING SPACES ADJACENT	4
GRAND TOTAL	25

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216 LAKE STREET
 MIXED USE DEVELOPMENT
 216 N. LAKE ST.
 BOYNE CITY, MI 49712
 OWNER
 CASE CONSTRUCTION CO.
 6535 COPPIN ROAD

MARK	DATE	DESCRIPTION
0	01/03/19	CITY SUBMITTAL
1	02/11/19	ZONING APPROVAL
2	03/13/19	CITY SUBMITTAL

PROJECT NO: 18-5191
 CAD DWG FILE: 5191SITE.DWG
 DRAWN BY: M.WISSMAN
 DESIGNED BY: J.MALEWITZ
 CHECKED BY:

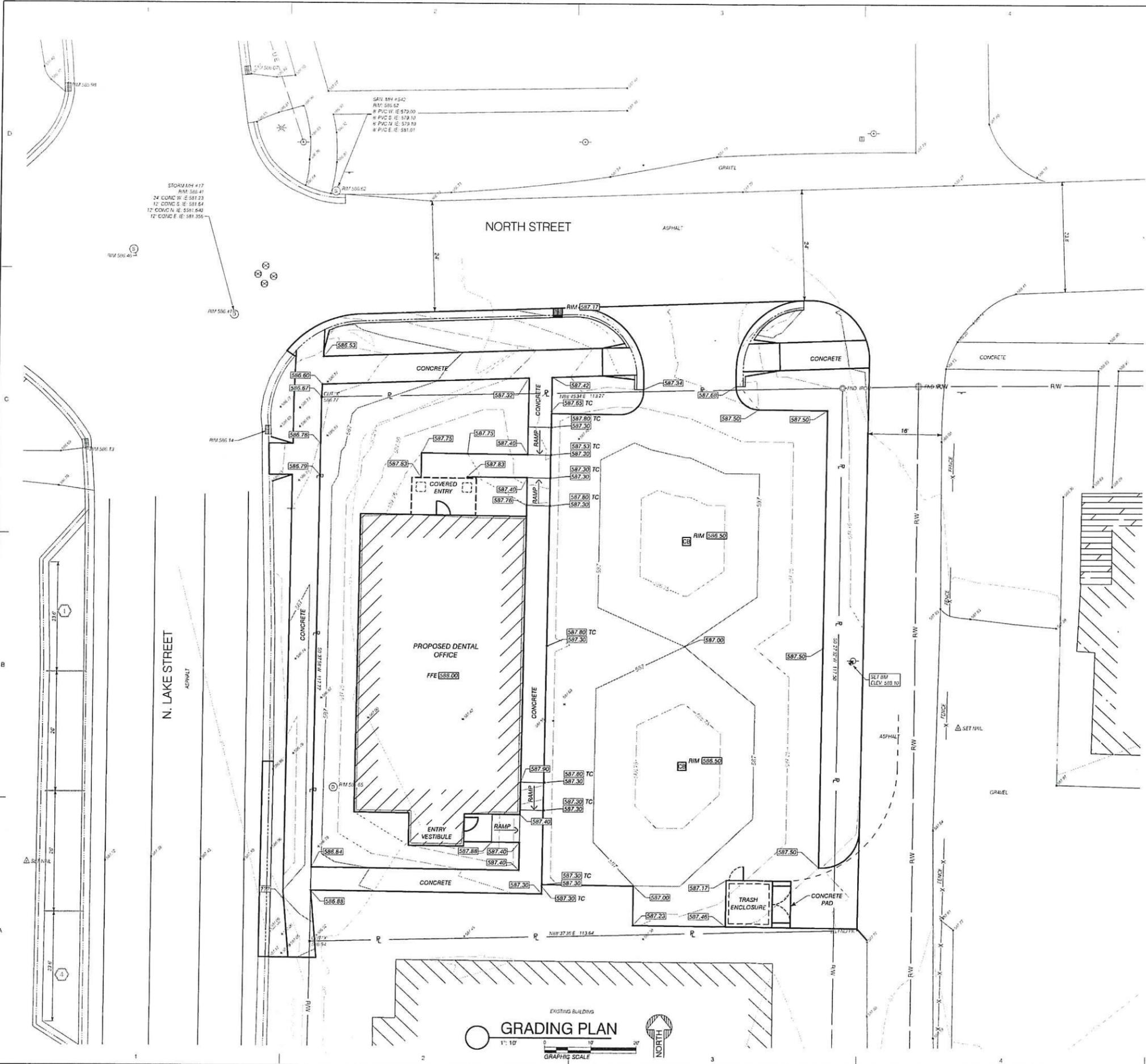
SEAL

SHEET TITLE
SITE PLAN

C-101
 SHEET 2 OF 5

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SOIL EROSION NOTES

THE CONTRACTOR SHALL POST THE SOIL EROSION PERMIT PRIOR TO CONSTRUCTION AND IT SHALL REMAIN IN A VISIBLE LOCATION DURING CONSTRUCTION.

THE CONTRACTOR SHALL ADHERE TO ALL TERMS AND CONDITIONS AS SHOWN ON THE EROSION CONTROL PERMIT. THESE MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE.

ALL EROSION CONTROL MEASURES SHALL MEET THE STANDARDS AND SPECIFICATIONS OF THE MICHIGAN DEPARTMENT OF TRANSPORTATION SOIL EROSION AND SEDIMENTATION CONTROL MANUAL.

ALL UNSURFACED AREAS DISTURBED BY CONSTRUCTION OPERATIONS SHALL RECEIVE 4" OF TOPSOIL. CONTRACTOR SHALL SEED DISTURBED AREAS IN ACCORDANCE WITH SPECIFICATIONS.

ALL SEEDED AREAS SHALL BE CHECKED REGULARLY TO MAINTAIN A HEALTHY STAND OF GRASS. AREAS SHALL BE FERTILIZED AND RESEED AS REQUIRED.

ALL EROSION CONTROL MEASURES SHALL BE DISPOSED OF WITHIN 30 DAYS AFTER FINAL STABILIZATION. FINAL STABILIZATION IS DEFINED AS WHEN ALL SOIL DISTURBING ACTIVITIES ARE COMPLETED AND A UNIFORM VEGETATIVE COVER WITH A DENSITY OF 70% OF THE COVER FOR UNPAVED AREAS AND AREAS NOT COVERED BY PERMANENT STRUCTURES HAS BEEN EMPLOYED.

IF SOIL STOCKPILING IS UTILIZED, SILT FENCES SHALL BE USED TO HELP CONTAIN THE SEDIMENT AND AVOID EROSION.

THE CONSTRUCTION ENTRANCE SHALL BE MAINTAINED TO A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHT-OF-WAY.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING SEDIMENT IN THE RETENTION AREA AFTER THE STABILIZATION OF THE SITE.

SEDIMENT SHALL BE REMOVED FROM THE SILT FENCES WHEN IT REACHES ONE-THIRD THE HEIGHT OF THE SILT FENCE.

ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE CHECKED BY A QUALIFIED PERSON AT LEAST ONCE EVERY 7 CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF A RAINFALL EVENT. THE MEASURES SHALL BE REPAIRED, REPLACED, OR SUPPLEMENTED AS NEEDED.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING THE EROSION AND SEDIMENTATION CONTROL MEASURES AS NECESSARY TO BE MAINTAINED IN FULLY FUNCTIONAL CONDITION THROUGHOUT THE ENTIRE PROJECT.

CONSTRUCTION MANAGER MAY ADJUST LOCATIONS OF EROSION CONTROL MEASURES AS REQUIRED THROUGHOUT THE PROJECT.

RETENTION AREAS AND SLOPES SHALL BE SEEDED IMMEDIATELY AFTER GRADING OPERATIONS TO MINIMIZE EROSION.

ALL EXISTING TREES TO BE SAVED SHALL HAVE SOIL EROSION FENCING PLACED AROUND THE BASE.

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CONSULTANTS

216 LAKE
 MIXED USE DEVELOPMENT

OWNER
 CASE CONSTRUCTION CO.
 6235 COPPIN ROAD
 BOYNE CITY, MI 49712

MARK	DESCRIPTION	DATE
0	CITY SUBMITTAL	01/03/19
1	ZONING APPROVAL	02/11/19
2	CITY SUBMITTAL	03/13/19

PROJECT NO: 18-5191
 CAD DWG FILE: 5191SITE.DWG
 DRAWN BY:
 DESIGNED BY:
 CHECKED BY:

SEAL

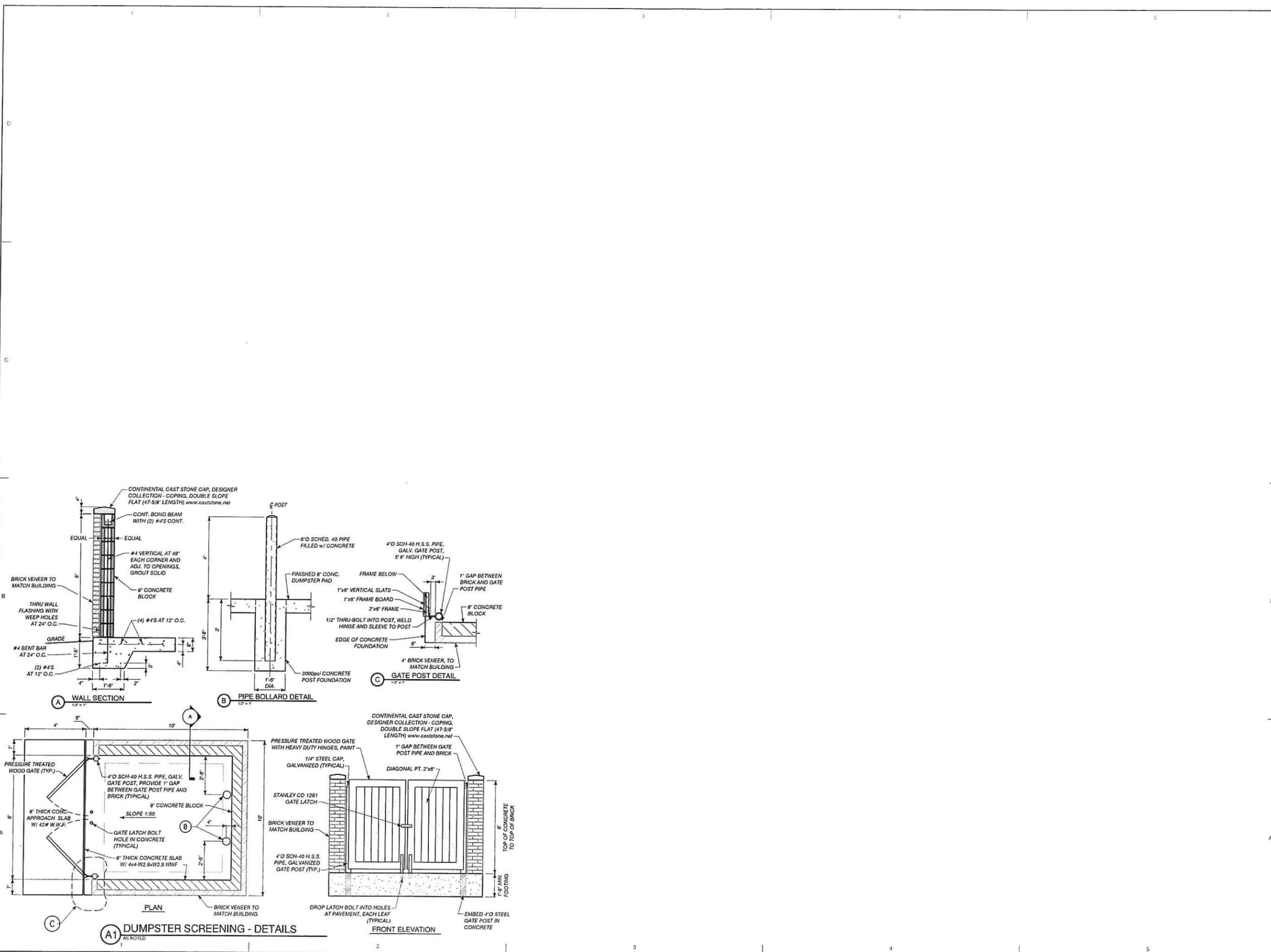
SHEET TITLE
GRADING AND DRAINAGE PLAN

C-102

SHEET 3 OF 5

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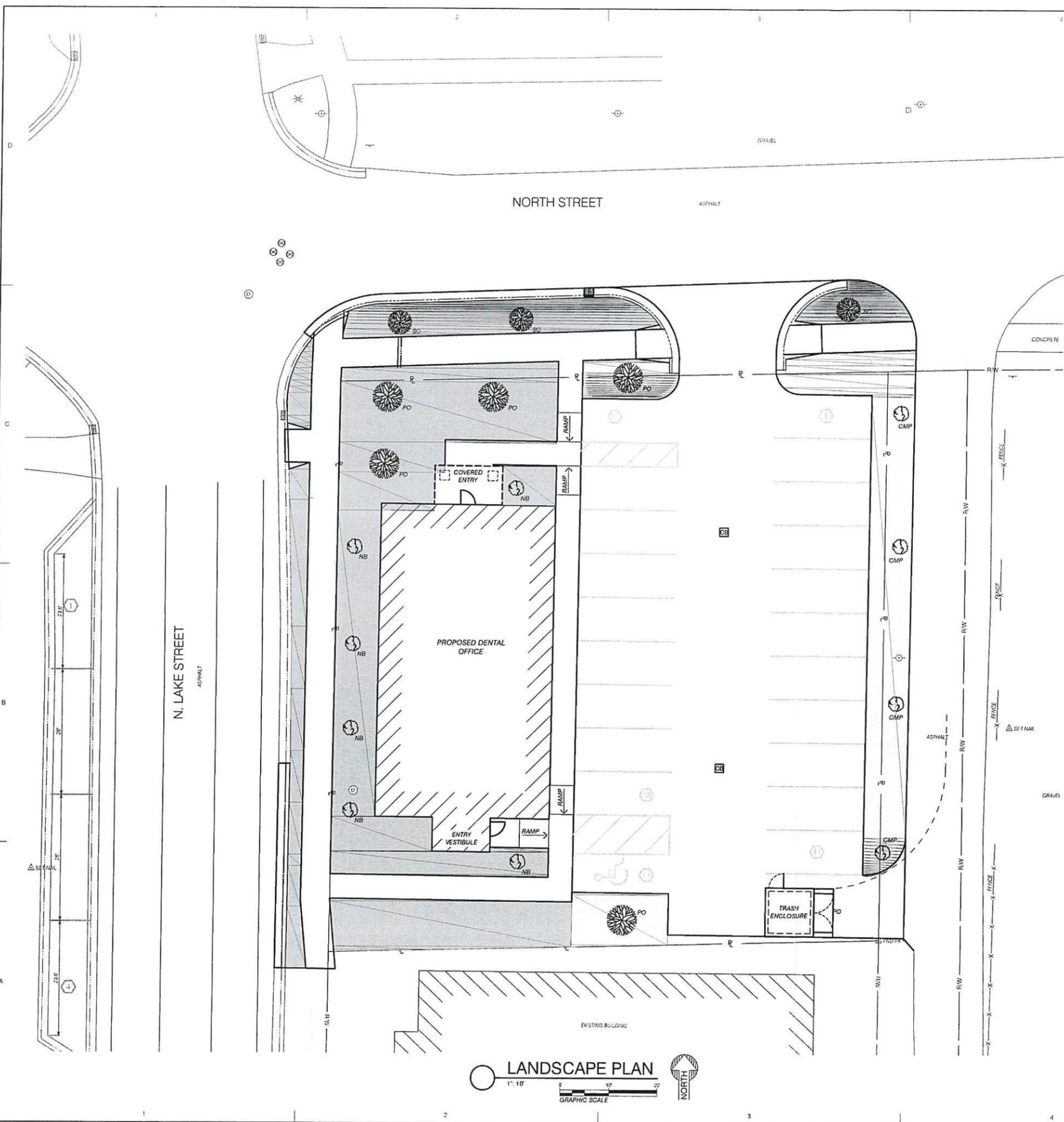
216 LAKE
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 216 N. LAKE ST.
 BOYNE CITY, MI 49712
 OWNER
 CASE CONSTRUCTION CO.
 6235 COPLAN ROAD

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0	01/03/19	NOT ISSUED
1	02/11/19	NOT ISSUED
2	03/13/19	CITY SUBMITTAL

PROJECT NO: 18-5191
 CAD DWG FILE: 191DET.DWG
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 DESIGNED BY:
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LANDSCAPE GENERAL NOTES:

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COORDINATE WORK WITH OTHER CONTRACTORS AND TRADES ON THE JOB, ESPECIALLY PERTAINING TO BURIED UTILITIES, ROOF DRAINS AND DRAINAGE SYSTEMS INSTALLED BY OTHER.

SOIL PREPARATION:
A 4" THICKNESS OF TOPSOIL WILL BE PLACED AND GRADED OVER ALL PLANTING AREAS BY OTHERS. BEFORE PROCEEDING WITH THE WORK, THE CONTRACTOR WILL NOTIFY THE OWNER'S AGENT IN WRITING OF SOIL OR GRADE CONDITIONS IMPACTING THE LANDSCAPE GUARANTEE. THE CONTRACTOR IS RESPONSIBLE FOR CREATING A PROPERLY PREPARED SEED OR SOD BED, INCLUDING TILLING AND LIGHT FINISH GRADING IF NEEDED.

TREE AND SHRUB PLANTING:
PLANTING HOLES SHALL BE TO A DEPTH THAT MATCHES THE TOP OF THE ROOT BALL AND A MINIMUM OF TWICE THE DIAMETER OF THE BALL. IF SOIL CONDITIONS FOUND ARE SUCH THAT POTENTIAL DROWNING OF THE PLANT ROOTS COULD OCCUR, THE CONTRACTOR SHALL NOTIFY THE OWNER'S AGENT OF THE SITUATION SO THAT ALTERNATIVE PLANTING PROCEDURES CAN BE INVESTIGATED AND UTILIZED. SET PLANT MATERIAL IN THE PLANTING PIT TO PROPER GRADE, UPRIGHT, PLUMB AND FACED TO GIVE THE BEST APPEARANCE. REMOVE WIRE, TWINE OR CONTAINER FROM THE BALL, AS APPLICABLE. REMOVE BURLAP FROM SIDES OF BALLS AND REMOVE EXCESS FROM PLANTING HOLE. BACKFILL AROUND EACH PLANT ROOT BALL WITH PLANTING SOIL MIXTURE OF 3 PARTS TOPSOIL TO ONE PART PEAT. EVENLY COMPACT THE PLANTING MIXTURE AROUND EACH PLANT ROOT BALL AND THOROUGHLY WATER TO FILL IN ALL Voids. FORM A RING OF SOIL AROUND THE EDGE OF EACH PLANT PIT TO RETAIN WATER. REMOVE ALL PLANT NAME TAGS, PLASTIC AND TWINE AFTER PLANTING. TREES AND SHRUBS WITH A LOOSE OR BROKEN ROOT BALL WILL BE REJECTED.

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SOD:
USE A PREMIUM SUNNY BLEND BLUEGRASS PEAT SOD.

MULCH, BEDS AND TREES:
PLACE A 2"-3" THICKNESS OF FINE, SHREDDED WOODBARK MULCH OVER ALL TREE RINGS AND PLANT BEDS. DO NOT COVER FOLIAGE OR BURY THE ROOT CROWNS.

CRUSHED AGGREGATE:
USE #8 AGGREGATE, OR SIMILAR CLEAN AND 100% CRUSHED STONE 1/2" TO 1-1/2" IN SIZE. CRUSHED AGGREGATE SHALL BE PLACED OVER 4 OZ. NON-WOVEN GEOTEXTILE FABRIC AND COMPACTED TO A MINIMUM 4" THICKNESS WITH ITS SURFACE AT THE FINISHED GRADE.

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LANDSCAPE REQUIREMENTS:

INTERIOR LANDSCAPING REQ'D: 10% LOT AREA = 1,350 sq. ft.
 = INTERIOR LANDSCAPING
INTERIOR LANDSCAPING PROVIDED: = 3,255 sq. ft.

PARKING LOT LANDSCAPING REQ'D: 100sq.ft./10 SPACES = 230 sq. ft.
 = PARKING LOT LANDSCAPING
PARKING LOT LANDSCAPING PROVIDED: = 1,458 sq. ft.

TOTAL LANDSCAPING REQ'D: = 1570 sq. ft.
TOTAL LANDSCAPING PROVIDED: = 4,713 sq. ft.

INTERIOR:
ONE DECIDUOUS OR ORNAMENTAL TREE OR EVERGREEN SHALL BE PROVIDED FOR EVERY 400 SFT OF REQUIRED INTERIOR LANDSCAPING AREA.
 ONE 24" SHRUB SHALL BE PROVIDED FOR EVERY 250 SFT OF REQUIRED INTERIOR LANDSCAPING.

PARKING LANDSCAPING:
WITH EVERY PARKING AREA CONTAINING 10 OR MORE PARKING SPACES: 1 DECIDUOUS TREE AND ORNAMENTAL TREE WITH 100 SFT OF REQUIRED PLANTING AREA.

PLANT SCHEDULE

DECIDUOUS TREES	QTY.	BOTANICAL NAME	COMMON NAME	SIZE
PO	5	QUERCUS PALUSTRIS	PIN OAK	2 1/2" CAL. B&B
SHRUBS				
NB	4	MYRICA PENNSYLVANICA	NORTHERN BAYBERRY	3 GAL. CONTAINER
CMP	4	PINUS MUGO 'COMPACTA'	COMPACT MUGO PINE	2 GAL. CONTAINER
ORNAMENTALS				
SC	3	MALUS 'SNOWDRIFT'	SNOWDRIFT CRABAPPLE	2" CAL. B&B

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 406 Potoskey Avenue
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 BOYNE CITY, MI 49712
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 CASE CONSTRUCTION CO.
 625 COE AVE. N.W. CAD

MARK	DATE	DESCRIPTION
0	01/01/19	CITY SUBMITTAL
1	02/11/19	ZONING APPROVAL
2	03/10/19	CITY SUBMITTAL

PROJECT NO: 18-5191
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 DESIGNED BY: J.MALEVITZ
 CHECKED BY:

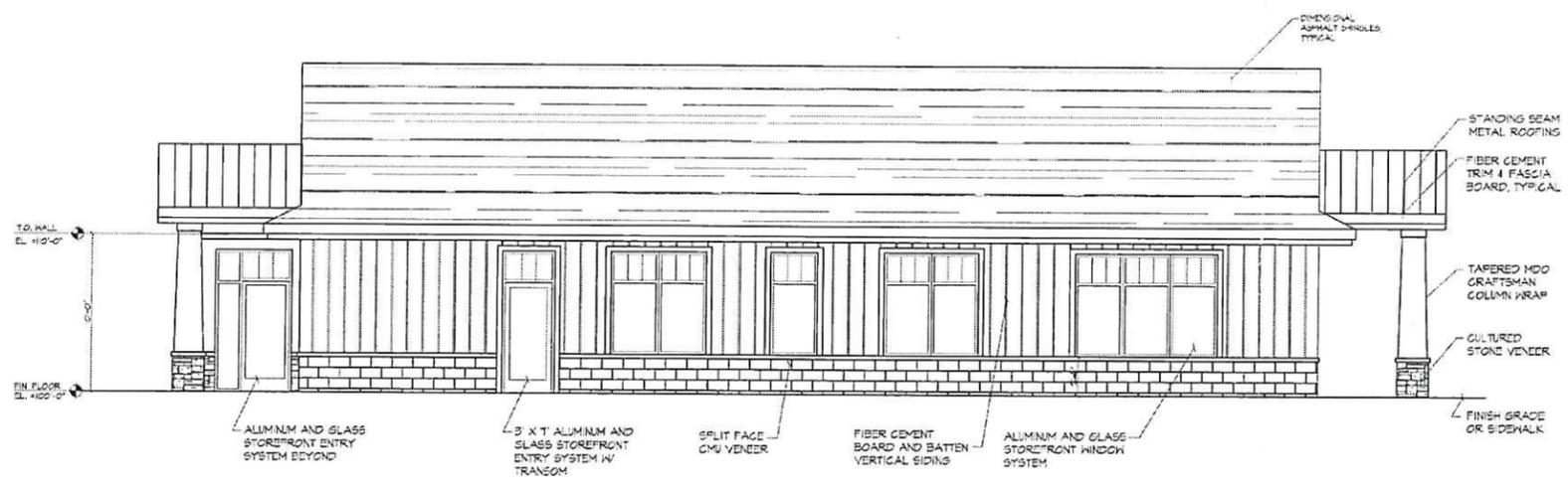
SEAL

SHEET TITLE
LANDSCAPE PLAN
 L-100
 SHEET 5 OF 5

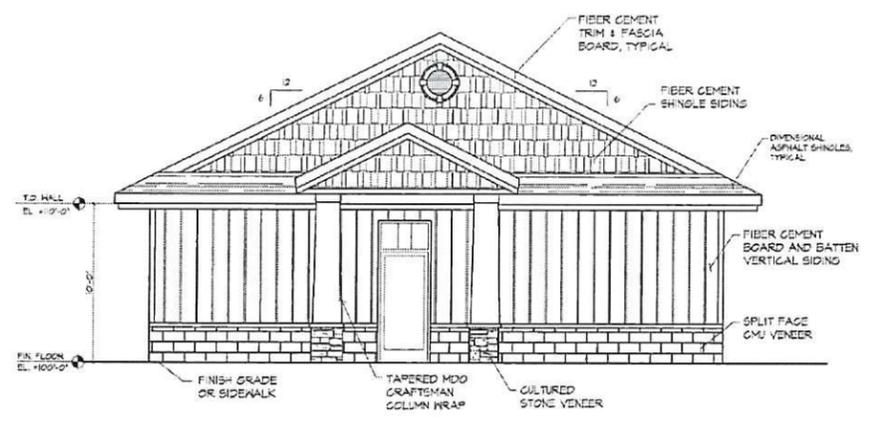
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REVISIONS	
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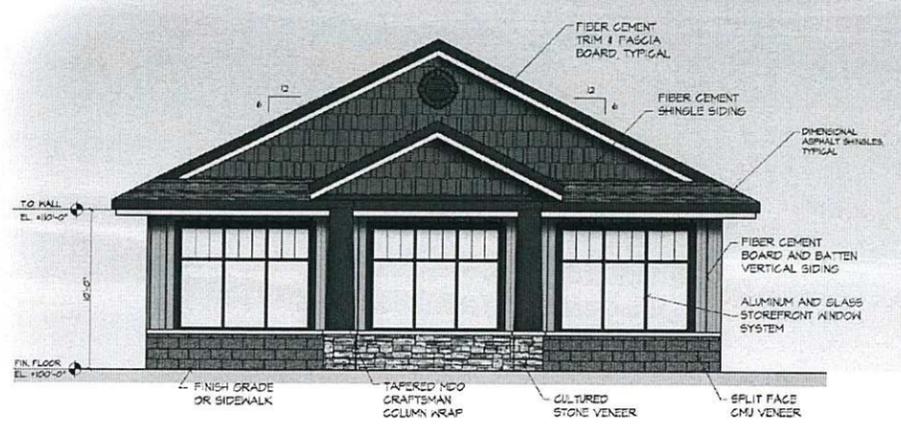
JOB NO: 018-045
 DATE: 5-11-2014
 DRAWN BY: JKC
 SCALE: AS NOTED
 SHEET NO:



CONCEPTUAL
 EAST ELEVATION
 3/16" = 1'-0"



CONCEPTUAL
 NORTH ELEVATION
 3/16" = 1'-0"

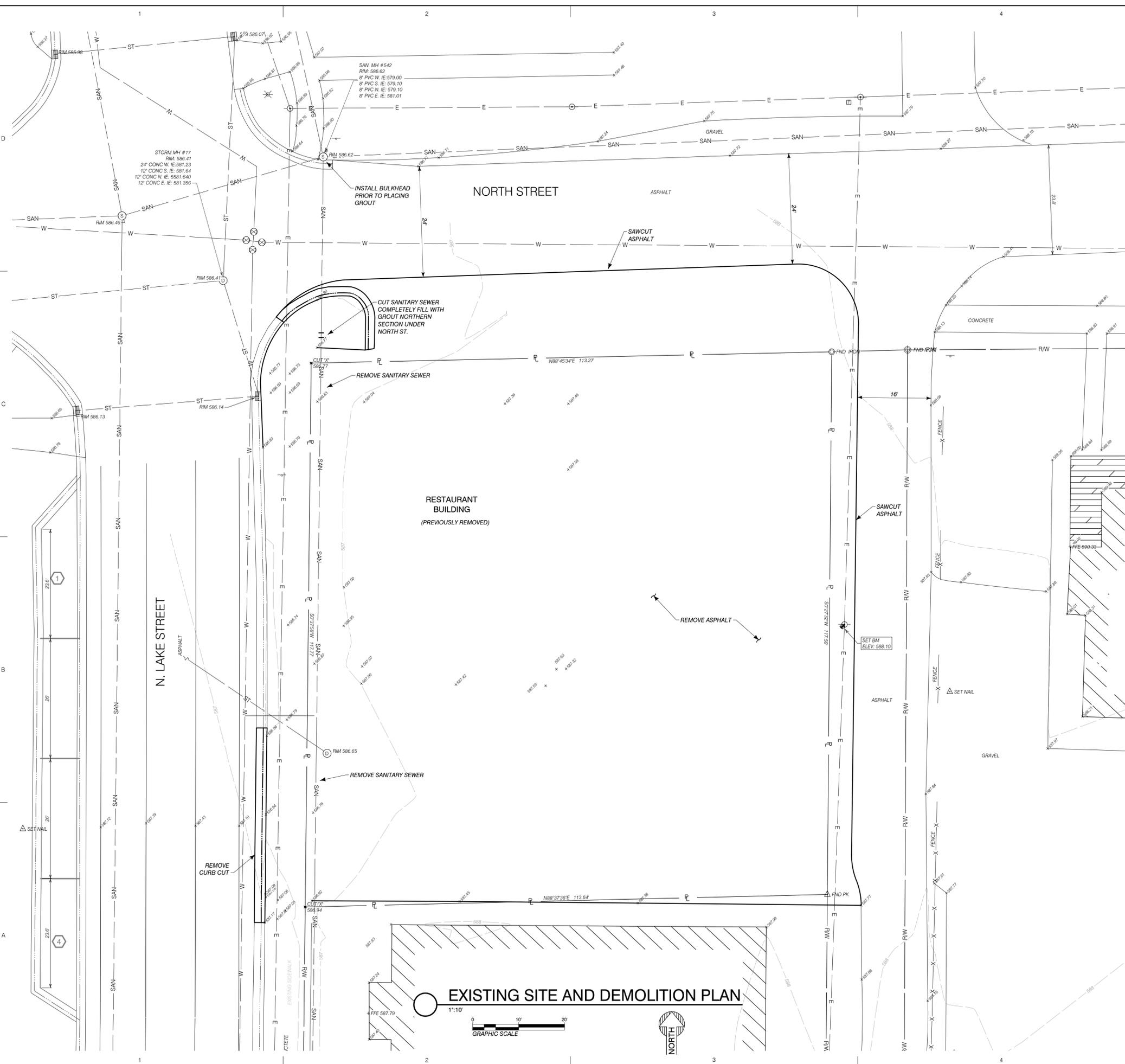


CONCEPTUAL
 SOUTH ELEVATION
 3/16" = 1'-0"



CONCEPTUAL
 WEST ELEVATION
 3/16" = 1'-0"

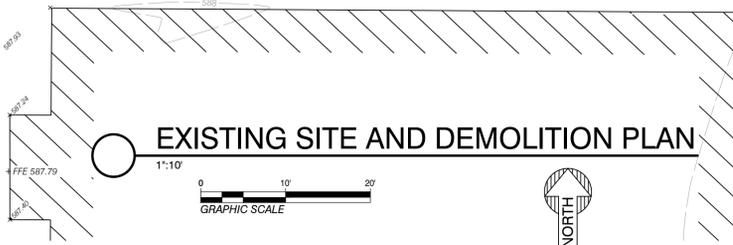
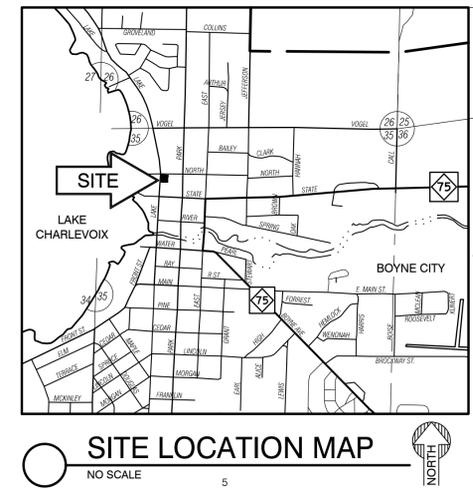
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LEGEND		
DESCRIPTION	PROPOSED	EXISTING
BUILDING		
STORM SEWER	ST	ST
SANITARY SEWER	SAN	SAN
WATER	W	W
NATURAL GAS	G	G
UNDRGRND ELEC.	U/E	U/E
OVERHEAD ELEC.	E	E
UNDRGRND TEL.	U/T	U/T
WELL		
MANHOLE		
CATCH BASIN		
FIRE HYDRANT		
UTILITY POLE		
LIGHT POLE		
CLEANOUT		
WATER VALVE		
DECIDUOUS TREE		
CONIFEROUS TREE		
BUSH		
TREELINE		
DITCH OR SWALE		
ELEVATION		
CONTOUR		
PROPERTY LINE		
UNIT LINE		
FENCE		

ABBREVIATIONS			
ASPH	- ASPHALT	IE	- INVERT ELEVATION
BF	- BARRIER FREE	LFT	- LINEAR FEET
BC	- BACK OF CURB	MH	- MANHOLE
BLDG	- BUILDING	PVC	- POLYVINYLCHLORIDE PIPE
B.M.	- BENCH MARK	R	- RADIUS
CFT	- CUBIC FEET	ROP	- REINFORCED CONCRETE PIPE
C/C	- CENTER TO CENTER	RR	- RAILROAD
CMP	- CORRUGATED METAL PIPE	SAN	- SANITARY
CONC	- CONCRETE	STM	- STEEL
DIP	- DUCTILE IRON PIPE	T/C	- TOP OF CURB
FDN	- FOUNDATION	T/W	- TOP OF WALK
FFE	- FINISH FLOOR ELEVATION	T/WALL	- TOP OF WALL
F.G.	- FINISH GRADE	TE	- TOP/RIM ELEVATION
HDPE	- HIGH DENSITY POLYETHYLENE	TYP	- TYPICAL

DEMO SHEET PATTERNS	
REMOVING PAVEMENT (HMA)	
REMOVING (CONCRETE) PAVEMENT/DRIVEWAY/ SIDEWALK	





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OWNER
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 8235 COPPINNA ROAD

MARK	DATE	DESCRIPTION
0	01/05/19	CITY SUBMITTAL
1	02/11/19	ZONING APPROVAL

PROJECT NO.:	18-5191
CAD DWG FILE:	5191SITE.DWG
DRAWN BY:	C.STEIN
DESIGNED BY:	J.MALEWITZ
CHECKED BY:	

SEAL

SHEET TITLE

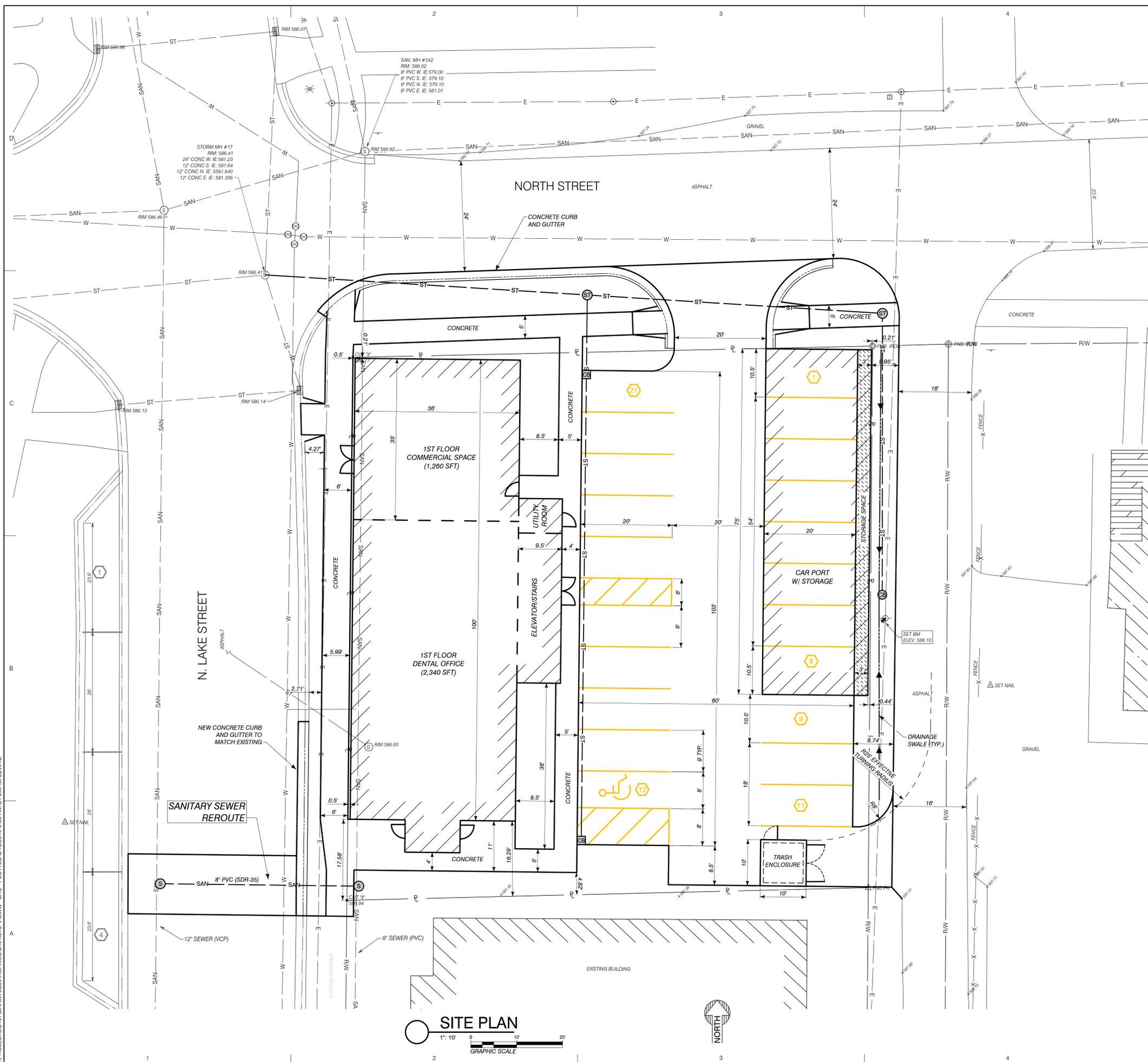
**EXISTING CONDITION
& DEMOLITION PLAN**

C-100

SHEET 1 OF 4

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ZONING INFORMATION

ZONING TCD
(TRANSITIONAL COMMERCIAL DISTRICT)

PROPOSED USE: DENTAL OFFICE

AREAS

PARCEL LAND AREA 0.31 ACRES
BUILDING AREA 3,600 SQ. FT.
COVERAGE AREA = 26.6%

PARKING
REQUIRED SPACES

DENTAL AREA = 8 SPACES
* VALUE USED IN ACCORDANCE WITH OTHER REGIONAL ZONING CRITERIA AND CLIENT OPERATIONS

COMMERCIAL AREA = 4 SPACES
* 1 SPACE PER 350 SQ. FT. FLOOR AREA

SIX PROPOSED LIVING UNITS = 12 SPACES
* 2 SPACES PER LIVING UNIT

24 REQUIRED PARKING SPACES

PROVIDED SPACES:

HANDICAP ACCESSIBLE SPACES	1
PARKING SPACES	20
SUBTOTAL = 21	

PARKING SPACES ADJACENT 4
GRAND TOTAL = 25

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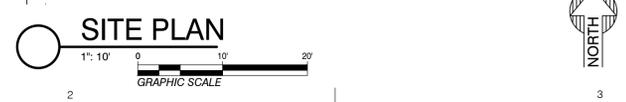
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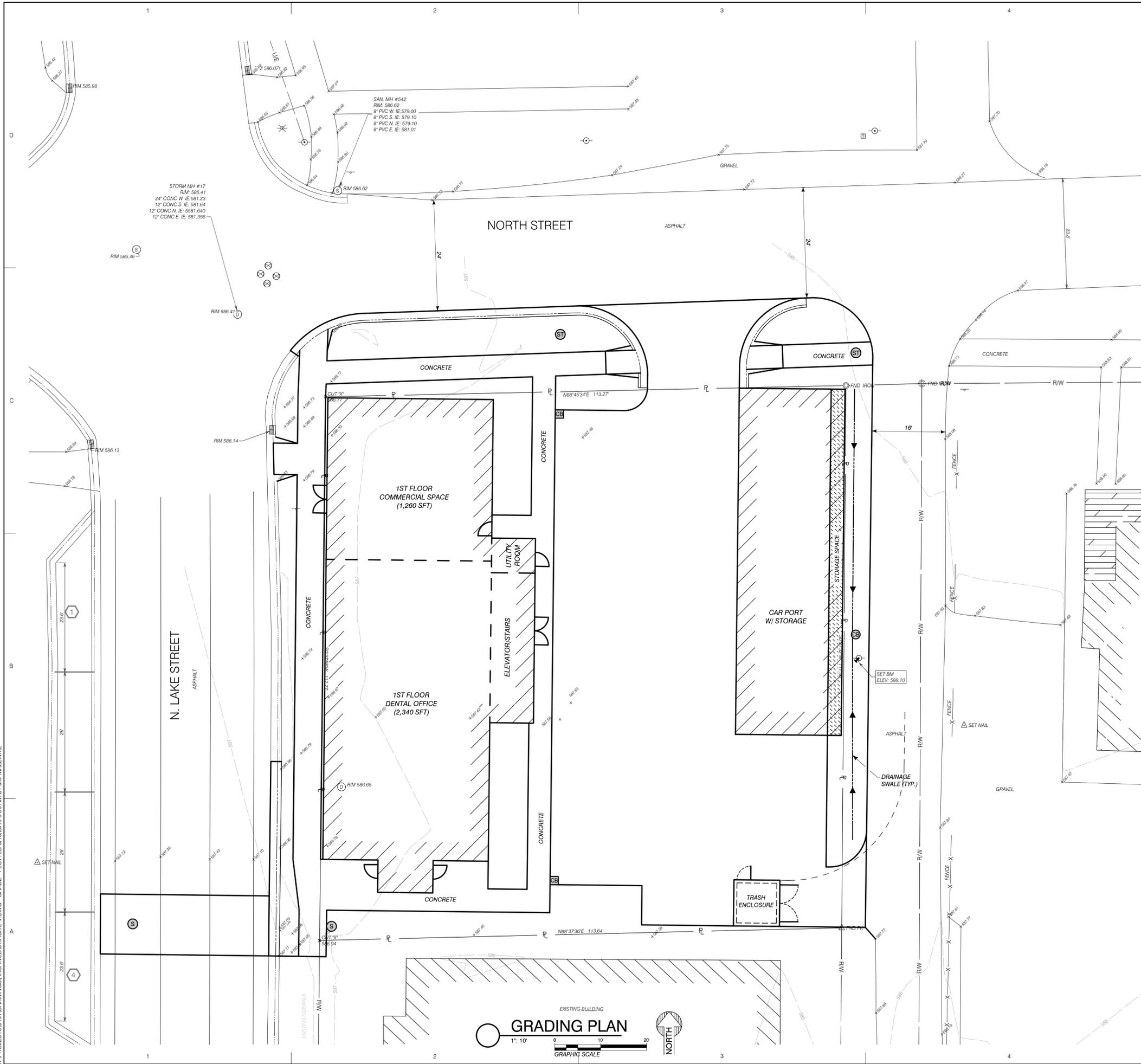
SHEET TITLE
SITE PLAN

C-101
SHEET 2 OF 5



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SOIL EROSION NOTES

THE CONTRACTOR SHALL POST THE SOIL EROSION PERMIT PRIOR TO CONSTRUCTION AND IT SHALL REMAIN IN A VISIBLE LOCATION DURING CONSTRUCTION.

THE CONTRACTOR SHALL ADHERE TO ALL TERMS AND CONDITIONS AS SHOWN ON THE EROSION CONTROL PERMIT. THESE MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE.

ALL EROSION CONTROL MEASURES SHALL MEET THE STANDARDS AND SPECIFICATIONS OF THE MICHIGAN DEPARTMENT OF TRANSPORTATION SOIL EROSION AND SEDIMENTATION CONTROL MANUAL.

ALL UNSURFACED AREAS DISTURBED BY CONSTRUCTION OPERATIONS SHALL RECEIVE 4" OF TOPSOIL. CONTRACTOR SHALL SEED DISTURBED AREAS IN ACCORDANCE WITH SPECIFICATIONS.

ALL SEEDS AREAS SHALL BE CHECKED REGULARLY TO MAINTAIN A HEALTHY STAND OF GRASS. AREAS SHALL BE FERTILIZED AND RESEED AS REQUIRED.

ALL EROSION CONTROL MEASURES SHALL BE DISPOSED OF WITHIN 30 DAYS AFTER FINAL STABILIZATION. FINAL STABILIZATION IS DEFINED AS WHEN ALL SOIL DISTURBING ACTIVITIES ARE COMPLETED AND A UNIFORM VEGETATIVE COVER WITH A DENSITY OF 70% OF THE COVER FOR UNPAVED AREAS AND AREAS NOT COVERED BY PERMANENT STRUCTURES HAS BEEN EMPLOYED.

IF SOIL STOCKPILING IS UTILIZED, SILT FENCES SHALL BE USED TO HELP CONTAIN THE SEDIMENT AND AVOID EROSION.

THE CONSTRUCTION ENTRANCE SHALL BE MAINTAINED TO A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHT-OF-WAY.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING SEDIMENT IN THE RETENTION AREA AFTER THE STABILIZATION OF THE SITE.

SEDIMENT SHALL BE REMOVED FROM THE SILT FENCES WHEN IT REACHES ONE-THIRD THE HEIGHT OF THE SILT FENCE.

ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE CHECKED BY A QUALIFIED PERSON AT LEAST ONCE EVERY 7 CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF A RAINFALL EVENT. THE MEASURES SHALL BE REPAIRED, REPLACED, OR SUPPLEMENTED AS NEEDED.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING THE EROSION AND SEDIMENTATION CONTROL MEASURES AS NECESSARY TO BE MAINTAINED IN FULLY FUNCTIONAL CONDITION THROUGHOUT THE PROJECT.

CONSTRUCTION MANAGER MAY ADJUST LOCATIONS OF EROSION CONTROL MEASURES AS REQUIRED THROUGHOUT THE PROJECT.

RETENTION AREAS AND SLOPES SHALL BE SEED IMMEDIATELY AFTER GRADING OPERATIONS TO MINIMIZE EROSION.

ALL EXISTING TREES TO BE SAVED SHALL HAVE SOIL EROSION FENCING PLACED AROUND THE BASE.

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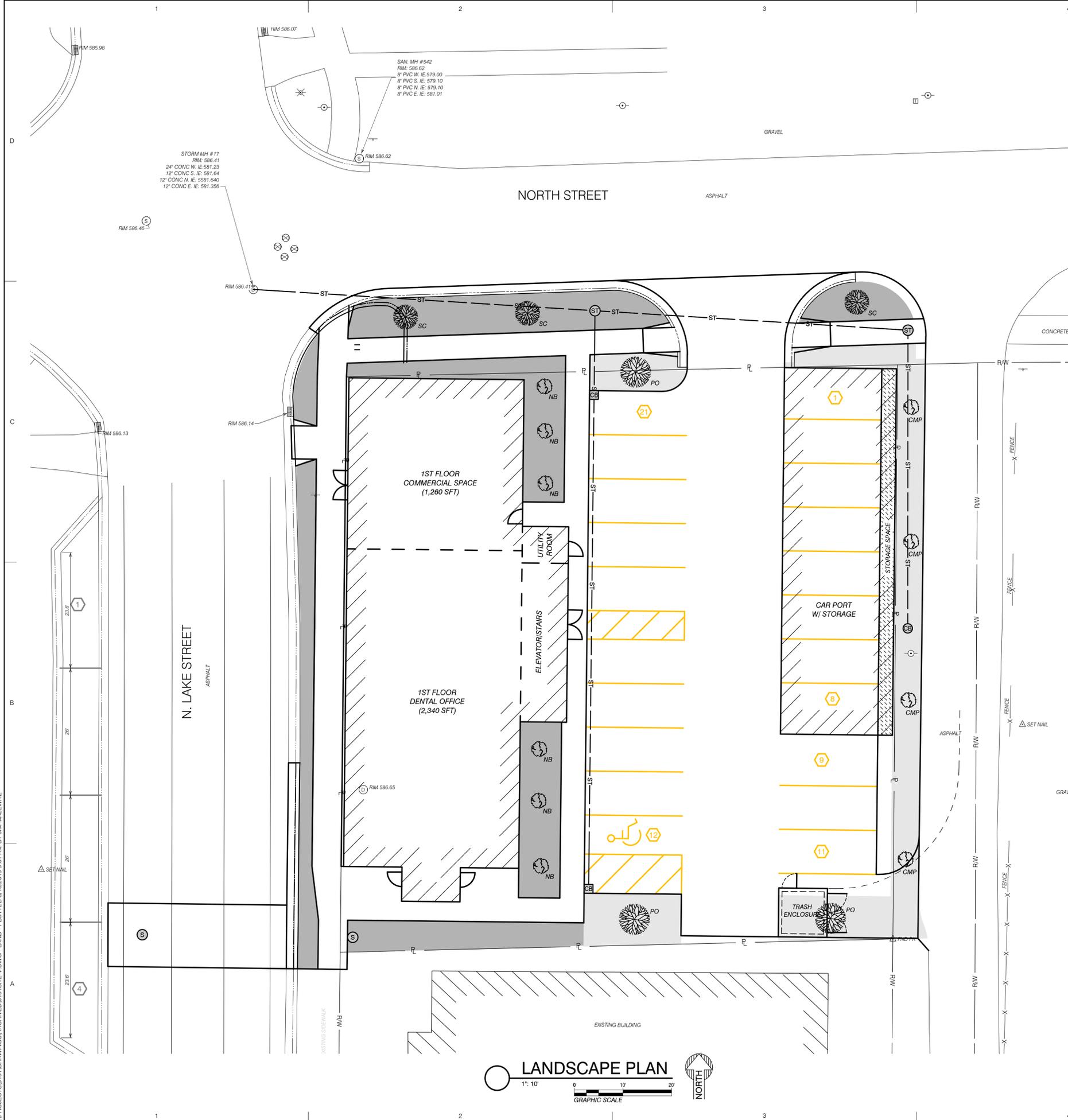
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 SHEET 3 OF 4

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PARKING LOT LANDSCAPING PROVIDED = 1,360 sq. ft.

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PROJECT NO: 18-5191

CAD DWG FILE: 5191SITE.DWG

DRAWN BY: M.WISSMAN

DESIGNED BY: J.MALEWITZ

CHECKED BY:

SEAL

SHEET TITLE

LANDSCAPE PLAN

L-100

SHEET 4 OF 4

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CITY OF BOYNE CITY

To: Chair Aaron Place and fellow Planning Commissioners

From: Scott McPherson, Planning Director

Date: March 18, 2019

Subject: Application for alley vacation



Background

An application for the vacation of a public way has been submitted by Richard Wright 920 Edmund Street. He is requesting the portion of the alley between Edmund and Division, 132' west of Hull be vacated. The alley as platted provided access between Hull Street and Houghtlin Street, however the alley is now a dead end as Houghtlin Street and the westerly 66 feet of the alley have been previously vacated. The portion of the alley that is proposed to be vacated is 16.5 wide and 198 feet in length. The alley is undeveloped and is not maintained by the City and no City utilities are located in the alley. The proposal has been reviewed by City staff and no future need of the alley for access or city infrastructure is anticipated.

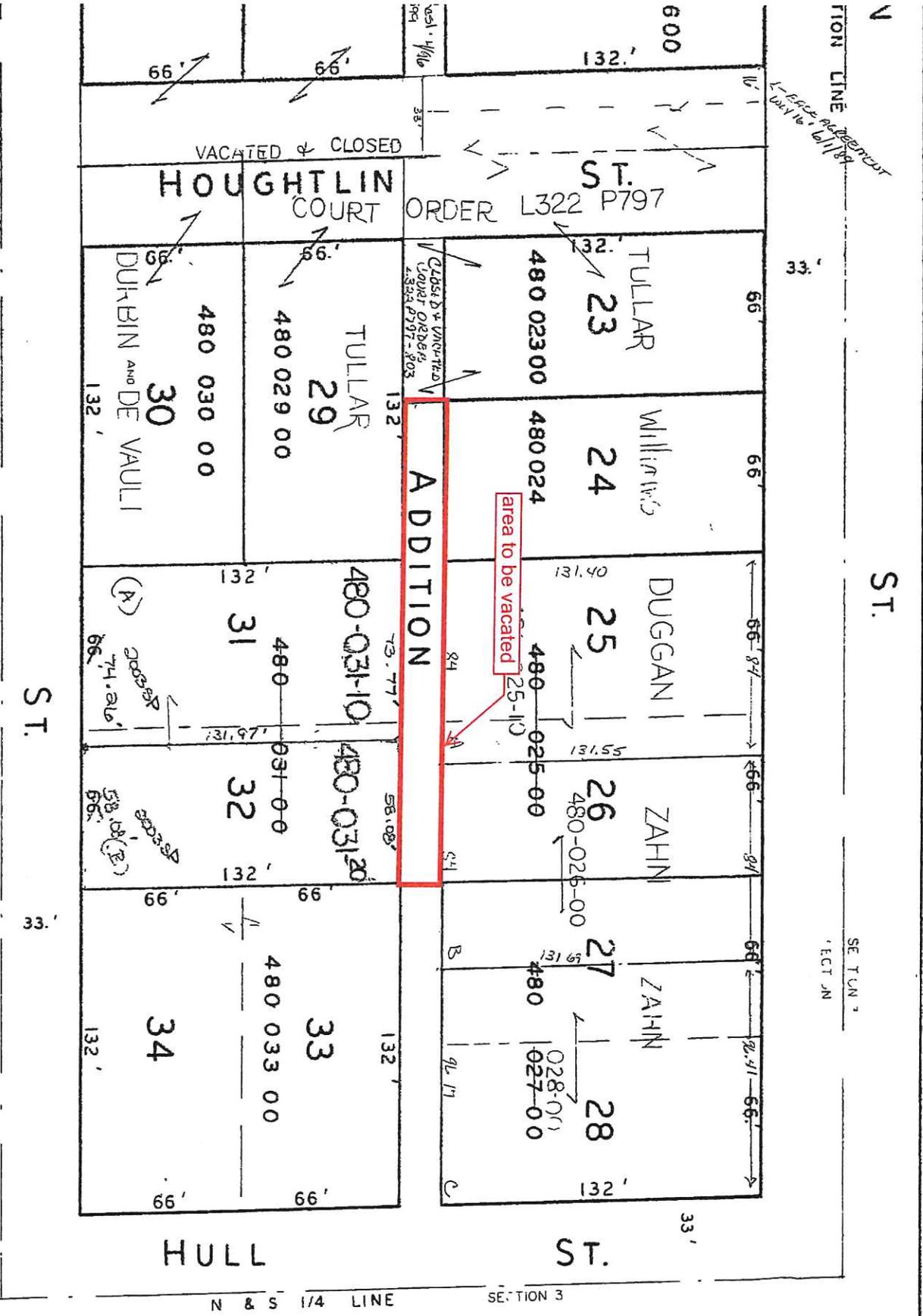


Process

Before an alley can be vacated by the City Commission a recommendation on the proposed vacation request from the Planning Commission is required.

Action

Review the proposed request and make a recommendation to the City Commission



N

SECTION LINE

← RECORDED ORDER L322 P797

33'

ST.

SECTION 4

SECTION

600

132'

66'

VACATED & CLOSED

HOUGHTLIN COURT

ORDER L322 P797

ST. TULLAR

TULLAR 23

480 02300

WILLIAMS 24

480 024

DUGGAN 25

480-025-00

ZAHN 26

480-025-00

ZAHN 27

480 027-00

28

028-00

TULLAR 29

480 029 00

DUHRIN AND DE VALLI 30

480 030 00

480-031-10

31

480-031-20

32

33

480 033 00

34

132'

ST.

33'

HULL

ST.

N & S 1/4 LINE

SECTION 3

Proposed Property Vacation Is In the Public Interest

Currently the undeveloped alley abutting the properties in this petition is a no-man's land. Years of City maintenance neglect compounded by a lack of no personal pride of ownership has yielded a narrow strip of land posing safety, land management and aesthetic concerns for the City of Boyne City and the adjacent land owners.

Public safety overrides all other property vacation concerns. Unattended to for several decades evergreen trees on the property considered for vacation are adjacent to Consumer's Energy power poles. Those trees now completely engulf the poles, transformers and power lines. Additionally the property under consideration is one block from the shore of Lake Charlevoix and completely exposed to gusty prevailing west winds. Left unattended to, the potential for an electrical disruption by felled trees and branches cannot be ignored. Beyond posing a power loss inconvenience to the adjacent home owners', fire safety precautions through prudent City land management must rule. With property vacation and private land ownership power line and fire safety concerns are mitigated. The burden for primary land management and safety concerns shifts from the City of Boyne City to those persons who, for reasons of ownership, have the incentive for careful landscaping and prudent land management.

Some portions of the City owned property is clearly visible from Division Street and is characterized by a steep escarpment. Although the current adjacent property owner has made attempts to control soil erosion those attempts are metered by the cost of landscaping City owned property at private citizen expense. Following City property vacation Boyne City Citizens will enjoy an aesthetically pleasing view of that area from Division Street. Guided by professional landscaper advisement, prudent owner plantings will net a greater Boyne City public appeal.

The west end of the proposed alley was previously vacated. No through traffic is possible. Granting the petitioners request underscores the City's commitment to ethical and responsible local government.

No Property Will Be Denied Direct Access

The City of Boyne City, citizens and property owners will not suffer direct property access when the City vacates the property in this petition.

The following properties; 23 and 29 – Tullar, 24 Williams, 25 Duggan and 26 Zahn currently and after property vacation will access their property directly from Division Street.

Properties 31 and 32 will directly access their property from Edmund Street.

Ref. Charlevoix County Equalization Department, City of Boyne City, Sheet 4-15, dtd. March 1985

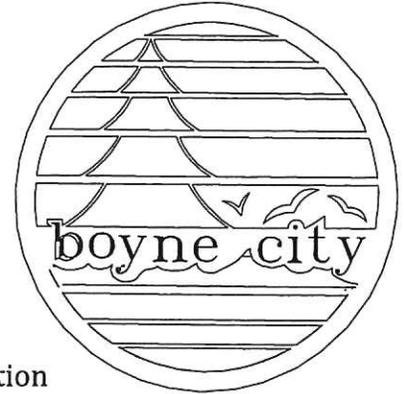
CITY OF BOYNE CITY

To: Chair Aaron Place and fellow Planning Commissioners

From: Scott McPherson, Planning Director

Date: March 18, 2019

Subject: Planning Commission Appointment Recommendation



Background Information

There is currently a vacancy on the Planning Commission for a term ending on May 31, 2021.

Process

The procedures for the appointments to the planning commission are regulated by Ordinance A - 21. The ordinance stipulates that planning commissioners are appointed by the Mayor subject to the majority vote of the City Commission. In accordance with past practice the Planning Commission makes recommendations on planning commission appointments prior to submission to the City Commission for appointment. Applicants for the vacancy all have been invited to the meeting to meet and speak with the planning commission.

CITY OF BOYNE CITY

319 North Lake Street Boyne City, MI 49712 (231) 582-6597

RECEIVED
MAR 07 2017
BY: _____



BOARD MEMBER APPLICATION

The City understands you are interested in becoming a member on one of the City Advisory Boards/Commissions. We appreciate your interest and future dedication to Boyne City. In order for the City to have information on file as reference when the next board has an opening, we ask you please complete the following and return to City Hall.

Name: Jerry Douglas
Address: 130 Cherry St. B.C.
Telephone: 330-6723 (daytime) _____ (evening) +
Email: bcjerry@yahoo.com
Occupation: Artist

Please check any Advisory Board or Commission you may be interested in.

- | | |
|--|---|
| <input type="checkbox"/> Airport Advisory Board | <input type="checkbox"/> Economic Development Corporation |
| <input type="checkbox"/> Historical Commission | <input type="checkbox"/> Main Street / DDA Program |
| <input checked="" type="checkbox"/> Planning Commission | <input checked="" type="checkbox"/> Parks and Recreation Commission |
| <input type="checkbox"/> Board of Review | <input type="checkbox"/> Housing Commission |
| <input type="checkbox"/> Local Development | <input type="checkbox"/> Zoning Board of Appeals |
| <input type="checkbox"/> Finance Authority | <input type="checkbox"/> District Library Board |
| <input type="checkbox"/> Historic District Commission | |

Reason(s) you wish to serve:
I have experience serving on both of these boards and I'd be happy to fill the two vacancies.

Other community or civic service activities:

Signature Jerry Douglas Date 3/7/17

CITY OF BOYNE CITY

319 North Lake Street Boyne City, MI 49712 (231) 582-6597



BOARD MEMBER APPLICATION

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Name: ADAM GRAEF

Address: 1296 MARSHALL ROAD BOYNE CITY, MI 49712

Telephone: 317.840.0077 (daytime) SAME (evening)

Email: ADAMGRAEF@MAC.COM

Occupation: BUSINESS OWNER

Please check any Advisory Board or Commission you may be interested in.

- | | |
|---|---|
| <input type="checkbox"/> Airport Advisory Board | <input type="checkbox"/> Economic Development Corporation |
| <input type="checkbox"/> Historical Commission | <input type="checkbox"/> Main Street / DDA Program |
| <input checked="" type="checkbox"/> Planning Commission | <input type="checkbox"/> Parks and Recreation Commission |
| <input type="checkbox"/> Board of Review | <input type="checkbox"/> Housing Commission |
| <input type="checkbox"/> Local Development | <input type="checkbox"/> Zoning Board of Appeals |
| <input type="checkbox"/> Finance Authority | <input type="checkbox"/> District Library Board |
| <input type="checkbox"/> Historic District Commission | |

Reason(s) you wish to serve:

I want to serve the community I have decided to make home. I believe in the strategic planning of use of space for positive long term community effects. The compromise of budget and design is essential in attracting business investment, while still maintaining the look and feel of Boyne City.

Other community or civic service activities:

BOYNE CITY DESIGN COMMITTEE CHAIR

GAYLORD DMA, CHAMBER, AND ROTARY MEMBER

Signature 

Date 3.14.19

CITY OF BOYNE CITY

319 North Lake Street

Boyne City, MI 49712

(616) 582-6597



BOARD MEMBER APPLICATION

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See reverse for a list of Boyne City Advisory Boards or Commissions, term of appointment, and meeting schedule.

Name: Skylar MacNaughton

Address: 112 West Morgan

Telephone: 231-675-2659 (daytime) _____ (evening)

Occupation: Local Handyman/Artist

Please check any Advisory Board or Commission you may be interested in.

- | | |
|--|---|
| <input type="checkbox"/> Airport Advisory Board | <input type="checkbox"/> Economic Development Corporation |
| <input type="checkbox"/> Historical Commission | <input type="checkbox"/> Downtown Development Authority |
| <input checked="" type="checkbox"/> Planning Board | <input type="checkbox"/> Parks and Recreation Commission |
| <input type="checkbox"/> Board of Review | <input type="checkbox"/> Housing Commission |
| <input type="checkbox"/> Local Development | <input type="checkbox"/> Zoning Board of Appeals |
| <input type="checkbox"/> Finance Authority | <input type="checkbox"/> District Library Board |

Reason(s) you wish to serve: I was born and raised in Boyne City and would like to join the Planning Board. As a member of the Boyne Community, I'd like to be informed and become more involved with long-term planning for Boyne City

Other community or civic service activities: I donate some time at Boyne Concord, just using my skills as a handyman to help with what they need - done on and around the school grounds

Signature:  Date: 3-12-19

CITY OF BOYNE CITY

319 North Lake Street

Boyne City, MI 49712

(231) 582-6597



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Name: Rose Newton

Address: 214 State Street, Boyne City MI

Telephone: 231.631.0142

Email: Rose.Newton@Alpine45.com

Occupation: Realtor

Please check any Advisory Board or Commission you may be interested in.

- | | |
|---|---|
| <input type="checkbox"/> Airport Advisory Board | <input type="checkbox"/> Economic Development Corporation |
| <input type="checkbox"/> Historical Commission | <input type="checkbox"/> Main Street / DDA Program |
| <input checked="" type="checkbox"/> Planning Commission | <input type="checkbox"/> Parks and Recreation Commission |
| <input type="checkbox"/> Board of Review | <input checked="" type="checkbox"/> Housing Commission |
| <input type="checkbox"/> Local Development | <input type="checkbox"/> Zoning Board of Appeals |
| <input type="checkbox"/> Finance Authority | <input type="checkbox"/> District Library Board |
| <input type="checkbox"/> Historic District Commission | |

Reason(s) you wish to serve:

I wish to serve in part with my other volunteer work for Boyne City because it is my personal belief and conviction to serve others and my community to lead a fulfilled life. After sitting in on the recent meeting and learning of the vacancy on the planning commission I believed that I could help to be objective and fact-based in helping make tough decisions for the community and would additionally like to help with the framework of a new Master Plan for Boyne City

Other community or civic service activities:

Boyne City Rotary, Create: Community Arts Center of Boyne City, Raven Hill Discovery Center, recently offered to assist Boyne City Music Department as well. Also renovating 114 E Main Street and learning a lot about rehabilitating Boyne properties in line with my profession.

Signature _____ Date 02/20/2019

CITY OF BOYNE CITY

319 North Lake Street Boyne City, MI 49712 (231) 582-6597



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Name: ROBERT D. WEICK
Address: 600 CALL STREET, Boyne City, MI 49712
Telephone: (402) 639-0450 (daytime) SAME (evening)
Email: rdweick@gmail.com
Occupation: CONSULTANT (ENGINEER)

Please check any Advisory Board or Commission you may be interested in.

- | | |
|---|--|
| <input type="checkbox"/> Airport Advisory Board | <input checked="" type="checkbox"/> Economic Development Corporation |
| <input type="checkbox"/> Historical Commission | <input type="checkbox"/> Main Street / DDA Program |
| <input checked="" type="checkbox"/> Planning Commission | <input checked="" type="checkbox"/> Parks and Recreation Commission |
| <input type="checkbox"/> Board of Review | <input type="checkbox"/> Housing Commission |
| <input type="checkbox"/> Local Development | <input checked="" type="checkbox"/> Zoning Board of Appeals |
| <input type="checkbox"/> Finance Authority | <input type="checkbox"/> District Library Board |
| <input type="checkbox"/> Historic District Commission | |

Reason(s) you wish to serve:

INTERESTED IN SUPPORTING THE COMMUNITY, GETTING INVOLVED WITH BUILDING AND IMPROVING THE LOCAL AREA, AND BECOMING CLOSER TO KEY ISSUES NEEDING RESOLUTION.

Other community or civic service activities:

CHAIR OF MICH. STATE UNIVERSITY SCHOOL OF PACKAGING ADVISORY BOARD
BOARD MEMBER - MSU FOOD PROCESS INNOVATION CENTER

Signature

Date 12-7-18