

**NOTICE OF MEETING OF THE CHEBOYGAN COUNTY PLANNING AND ZONING COMMISSION ON
WEDNESDAY, AUGUST 19, 2020**

PLEASE TAKE NOTE THAT THE CHEBOYGAN COUNTY PLANNING AND ZONING COMMISSION WILL HOLD A MEETING SCHEDULED FOR WEDNESDAY AUGUST 19, 2020 at (7:00 P.M.) The meeting will be a “hybrid” meeting in that participants may attend remotely, telephonically or in-person (as permitted by Cheboygan County Resolution 2020-06 and Governor’s Executive Order subject to extension to prevent the spread of Coronavirus Disease COVID-19). The in-person meeting will be at the Cheboygan County Building at 870 S. Main Street, Cheboygan, Michigan. *Please note that if the Commissioners’ Room reaches occupancy capacity, physical attendees will be able to listen to and view meeting proceedings from the Circuit and District Court Rooms in the County Building.*

Also note that you may join the meeting remotely from your computer, tablet or smartphone via the following link. (Visit the County’s Website for additional remote participation instructions):

<https://global.gotomeeting.com/join/656358341>

The public may also access the meeting telephonically by dialing:
United States (Toll Free): [1 866 899 4679](tel:18668994679)
Access Code: 656-358-341

Those that are hearing impaired may dial 7-1-1. Please provide the operator the toll free number and meeting access code to be connected to the phone call with help from MI Relay. If other aids and services are needed for individuals with disabilities please contact the County Clerk. The Planning Commission packet is available for download at: www.cheboygancounty.net.

TELEPHONIC/ELECTRONIC PLANNING COMMISSION MEETING PARTICIPATION

The public will be asked to identify themselves. When you call please state your name until acknowledged for the record.

- Public comment—will be taken only during the Public Comment portion of the meeting agenda.
- Please make your public comment when called upon to do so or state no comment.
- The time limit for an individual’s public comments shall be 3 minutes.

The following Planning Commission members will be attending the meeting remotely:

- Patty Croft, pmattson@freeway.net
- Harold Borowicz, hborowicz@yahoo.com
- Michael Kavanaugh, kavandann@gmail.com
- Stuart Bartlett, sbartlett@cheboygancounty.net
- Sharon Lyon, sjl07@juno.com
- Karen Johnson, karenjohnson@sbcglobal.net
- Ed Delana, edelana@cheboygancounty.net
- Charles Freese
- Chum Ostwald
- Cheboygan County Director of Planning and Zoning – Michael Turisk mturisk@cheboygancounty.net



CHEBOYGAN COUNTY PLANNING COMMISSION

870 SOUTH MAIN ST. ■ PO BOX 70 ■ CHEBOYGAN, MI 49721
PHONE: (231) 627-8489 ■ FAX: (231) 627-3646

CHEBOYGAN COUNTY PLANNING COMMISSION MEETING & PUBLIC HEARING
WEDNESDAY, AUGUST 19, 2020 AT 7:00 PM
ROOM 135 - COMMISSIONERS ROOM
CHEBOYGAN COUNTY BUILDING, 870 S. MAIN ST., CHEBOYGAN, MI 49721

AGENDA

CALL TO ORDER

PLEDGE OF ALLEGIANCE

ROLL CALL

APPROVAL OF AGENDA

APPROVAL OF MINUTES

SCHEDULED PUBLIC HEARINGS

1.) BRANDT/BRANDT'S SPORTS CENTER - A special use permit application for an Indoor Storage Facility, per Section 9.3.24 of the zoning ordinance. The subject property is zoned Agriculture and Forestry Management (M-AF) and located at 6530 N. M-33 Hwy. in Benton Twp., parcel ID 104-033-100-008-01, Section 33.

2.) CHEBOYGAN, OTSEGO, PRESQUE ISLE EDUCATIONAL SCHOOL DISTRICT (COPESD) - A site plan review application under Section 6.2.15 (Offices) of the Zoning Ordinance. The subject property is located at 6065 Learning Lane in Tuscarora Twp., parcel ID 161-001-200-003-00, Section 1.

3.) CHEBOYGAN, OTSEGO, PRESQUE ISLE EDUCATIONAL SCHOOL DISTRICT (COPESD) - An application to rezone property from Agriculture and Forestry Management (M-AF) and Commercial Development (D-CM) to entirely Commercial Development (D-CM). The subject property is located at 6065 Learning Lane in Tuscarora Twp., parcel ID 161-001-200-003-00, Section 1.

NEW BUSINESS

UNFINISHED BUSINESS

STAFF REPORT WITH UPDATE ON MASTER PLAN REVISION

PLANNING COMMISSION COMMENTS

PUBLIC COMMENTS

ADJOURNMENT

CHEBOYGAN COUNTY PLANNING COMMISSION

Bruce Brandt/Brandt's Sports Center

Exhibit List

1. Cheboygan County Zoning Ordinance
2. Cheboygan County Master Plan and Future Land Use Map
3. Special Use Permit Application (6 Pages)
4. Location Map/Aerial Photo (1 Page)
5. Zoning Map (1 Page)
6. Site Plan (1 Page)
7. Previous Site Plan dated 7/16/18 (1 Page)
8. Mailing List (1 Page)
9. Email Dated 8/10/2020 From Kyle Keller, District Health Department #4 (1 Page)
10. Final Approval of Onsite Sewage Disposal System dated 5/1/2019 (3 Pages)
11. Staff Report (4 Pages)
12. Draft Findings of Fact (11 Pages)
- 13.
- 14.
- 15.
- 16.
- 17.

Note: Planning Commission members have Exhibits 1 and 2.



CHEBOYGAN COUNTY PLANNING & ZONING DEPARTMENT

870 S. MAIN ST., RM. 103 ■ PO Box 70 ■ CHEBOYGAN, MI 49721
PHONE: (231)627-8489 ■ FAX: (231)627-3646

PROPERTY LOCATION

Address 6530 M-33	City / Village @Cheboygan	Twp / Sec. Beaumont	Zoning District M-AF
Property Tax I.D. Number 104-033-100-008-01	Plat or Condo Name / Lot or Unit No.		

APPLICANT

Name Bruce Brandt	Telephone 231-625-2587	Fax
Address 6530 M33	City, State & Zip Cheb -	E-Mail brandtsportctr@att.net

OWNER (If different from applicant)

Name [Signature]	Telephone	Fax
Address	City, State & Zip	E-Mail

PROPOSED WORK

Type (check all that apply) <input checked="" type="checkbox"/> New Building <input type="checkbox"/> Addition <input type="checkbox"/> Change in Use or Additional Use <input type="checkbox"/> Reconstruction <input type="checkbox"/> Relocated Building <input type="checkbox"/> Sign, Type: _____ <input type="checkbox"/> Other: _____	Building/Sign Information Overall Length: <u>200</u> feet Overall Width: <u>40</u> feet Floor Area: _____ sq. feet Overall Building Height: <u>9</u> feet Sign Area: _____ sq. feet Sign Height _____ feet
--	---

PROPOSED USE (check all that apply)

<input type="checkbox"/> Single-Family Residence	<input type="checkbox"/> Expansion / Addition	<input type="checkbox"/> Office	<input type="checkbox"/> Agricultural
<input type="checkbox"/> Duplex	<input type="checkbox"/> Garage or Accessory	<input type="checkbox"/> Commercial	<input type="checkbox"/> Institutional
<input type="checkbox"/> Multi-Family, # of units _____	<input checked="" type="checkbox"/> Storage	<input type="checkbox"/> Industrial	<input type="checkbox"/> Utility
<input type="checkbox"/> Other: _____			

Has there been a Site Plan or Special Use Permit approved for this parcel before? YES NO

If YES, date of approval: 12/5/2018 Approved Use: MOTOR VEHICLE AND/OR REPAIR FACILITY

Directions to site: M-33 - 3 mi South of 27133 Jct.
Brandt's Sport center

SPECIAL LAND USE PERMIT APPLICATION



CHEBOYGAN COUNTY PLANNING & ZONING DEPARTMENT

870 S. MAIN ST., RM. 103 ■ PO Box 70 ■ CHEBOYGAN, MI 49721
PHONE: (231)627-8489 ■ FAX: (231)627-3646

1. Describe all anticipated activities (e.g. type of business, hours of operation, number of employees, etc). Attach additional sheets if needed.

SELF STORAGE

Site Plan Standards.

PLEASE EXPLAIN HOW YOUR REQUEST MEETS EACH OF THE FOLLOWING STANDARDS

- a. The site plan shall be designed so that there is a limited amount of change in the overall natural contours of the site and shall minimize reshaping in favor of designing the project to respect existing features of the site in relation to topography, the size and type of the lot, the character of adjoining property and the type and size of buildings. The site shall be developed so as not to impede the normal and orderly development or improvement of surrounding property for uses permitted in this Ordinance.

NO CHANGE

- b. The landscape shall be preserved in its natural state, insofar as practical, by minimizing tree and soil removal, and by topographic modifications which result in smooth natural appearing slopes as opposed to abrupt changes in grade between the project and adjacent areas.

NO CHANGE

- c. Special attention shall be given to proper site drainage so that removal of storm waters will not adversely affect neighboring properties.

NO CHANGE

- d. The site plan shall provide reasonable, visual and sound privacy for all dwelling units located therein. Fences, walls, barriers and landscaping shall be used, as appropriate, for the protection and enhancement of property and for the privacy of its occupants.

All Land Already Fenced

- e. All buildings or groups of buildings should be so arranged as to permit emergency vehicle access by some practical means.

YES

- f. Every structure or dwelling unit shall have access to a public street, walkway or other area dedicated to common use.

YES

- g. For subdivision plats and subdivision condominiums, there shall be a pedestrian circulation system as approved by the Planning Commission.

N/A

- h. Exterior lighting shall be arranged as follows:

NO LIGHTING

- i. It is deflected away from adjacent properties.

N/A

- ii. It does not impede the vision of traffic along adjacent streets.

N/A

- iii. It does not unnecessarily illuminate night skies.

N/A

SPECIAL LAND USE PERMIT APPLICATION



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SPECIAL LAND USE PERMIT APPLICATION

- i. The arrangement of public or common ways for vehicular and pedestrian circulation shall respect the pattern of existing or planned streets and pedestrian or bicycle pathways in the area. Streets and drives which are part of an existing or planned street pattern which serves adjacent development shall be of a width appropriate to the traffic volume they will carry and shall have a dedicated right-of-way equal to that specified in the Master Plan.

_____ NO CHANGE _____

- j. Site plans shall conform to all applicable requirements of state and federal statutes and the Cheboygan County Master Plan, and approval may be conditioned on the applicant receiving necessary state and federal permits.

_____ NO CHANGE _____

3. Size of property in sq. ft. or acres: 3.69 AC

4. Present use of property: RETAIL + STORAGE

5. SUP Standards:

- a. Is the property located in a zoning district in which the proposed special land use is allowed?

_____ YES _____

- b. Will the proposed special land use involve uses, activities, processes, materials, or equipment that will create a substantially negative impact on the natural resources of the County or the natural environment as a whole? **Explain.** _____

_____ NO _____

- c. Will the proposed special land use involve uses, activities, processes, materials, or equipment that will create a substantially negative impact on other conforming properties in the area by reason of traffic, noise, smoke, fumes, glare, odors, or the accumulation of scrap material that can be seen from any public highway or seen from any adjoining land owned by another person? **Explain.** _____

_____ NO _____

- d. Will the proposed special land use be designed, constructed, operated, and maintained so as not to diminish the opportunity for surrounding properties to be used and developed as zoned? **Explain.** _____

_____ YES _____

- e. Will the proposed special land use place demands on fire, police, or other public resources in excess of current capacity? **Explain.** _____

_____ NO _____

- f. Will the proposed special land use be adequately served by public or private streets, water and sewer facilities, and refuse collection and disposal services? **Explain.** _____

_____ NO _____



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SPECIAL LAND USE PERMIT APPLICATION

- g. Will the proposed special land use will be adequately served by water and sewer facilities, and refuse collection and disposal services? NO
- h. Will the proposed special land use comply with all specific standards required under this Ordinance applicable to it (i.e. parking, setbacks, etc)? YES
- 6. Does the proposed use of the property include or involve either:
 - Junk or salvage yard (Section 3.6) YES NO
 - Mineral extraction (Section 17.17) YES NO
 If YES, this application must include a written plan as described in the Zoning Ordinance.
- 7. Attach a copy of Warranty Deed or other proof of ownership.
- 8. Attach a copy of certified Property Survey or dimensioned property land plat.

AFFIDAVIT

The undersigned affirms that the information and plans submitted in this application are true and correct to the best of the undersigned's knowledge.

Applicant's Signature Ben Brault Date _____

Does the property owner give permission for County zoning officials to enter his or her property for inspection purposes?

Yes No

Owner's Signature Ben Brault Date _____

FOR PLANNING /ZONING DEPT. USE ONLY

Date Received:	<u>07/16/20</u>	Notes:
Fee Amount Received:	<u>\$150.00</u>	
Receipt Number:	<u>7390</u>	
Public Hearing Date:	<u>8/19/20</u>	

Planning/Zoning Administrator Approval:

Michael Turusk
Ben Brault
Signature

8.6.20
7-13-20
Date

SPECIAL LAND USE PERMIT APPLICATION

SITE PLAN REQUIREMENT CHECKLIST

(TO BE SUBMITTED WITH APPLICATION AND SITE PLAN)

ALL ITEMS LISTED BELOW MUST BE SUBMITTED IN ORDER FOR THIS APPLICATION TO BE DEEMED COMPLETE. INCOMPLETE APPLICATIONS WILL NOT BE REVIEWED OR PROCESSED. EACH SITE PLAN SHALL DEPICT THE ITEMS LISTED BELOW, EXCEPT FOR THOSE ITEMS DETERMINED DURING THE PRE-APPLICATION CONFERENCE TO NOT BE APPLICABLE.

PLACE A CHECK MARK NEXT TO EACH REQUIREMENT TO SHOW THAT THE INFORMATION HAS BEEN SUPPLIED OR THAT A WAIVER IS BEING REQUESTED. IF A WAIVER IS BEING REQUESTED PLEASE NOTE ON THE NEXT PAGE THE REASON FOR THE WAIVER. SIGN AND DATE THIS CHECKLIST WHEN ALL ITEMS HAVE BEEN COMPLETED. PLEASE SUBMIT THIS CHECKLIST WITH YOUR APPLICATION.

INFORMATION SUPPLIED	WAIVER REQUESTED	REQUIREMENT
	<i>wa</i>	a. North arrow, scale and date of original submittal and last revision. Site plan is to be drawn at a scale of 1 inch = 100ft. or less.
	<i>wa</i>	b. Seal of the registered engineer, architect, landscape architect, surveyor, planner, or other site plan preparer. Location of proposed and/or existing property lines, dimensions, legal descriptions, setback lines and monument locations.
	/	c. Location of existing and proposed public roads, rights-of-way and private easements of record and abutting streets.
	/	d. Topography at maximum five foot intervals or appropriate topographic elevations to accurately represent existing and proposed grades and drainage flows.
	/	e. Location and elevations of existing water courses and water bodies, including county drains and man-made surface drainage ways, stormwater controls, flood plains, and wetlands.
/		f. Location of existing and proposed buildings and intended uses thereof.
	✓	g. Details of entryway and sign locations should be separately depicted with an elevation view.
	/	h. Location, design, and dimensions of existing and/or proposed curbing, barrier free access, carports, parking areas (including indication of all spaces and method of surfacing), fire lanes and all lighting thereof.
	/	i. Location, size, and characteristics of all loading and unloading areas.
	/	j. Location and design of all sidewalks, walkways, bicycle paths and areas for public use as approved by the Planning Commission.
	/	k. Location of all other utilities on the site including but not limited to wells, septic systems, stormwater controls, natural gas, electric, cable TV, telephone and steam and proposed utility easements.
	/	l. Proposed location, dimensions and details of common open spaces and common facilities such as community buildings or swimming pools if applicable.

SPECIAL LAND USE PERMIT APPLICATION

SITE PLAN REQUIREMENT CHECKLIST

(TO BE SUBMITTED WITH APPLICATION AND SITE PLAN)

INFORMATION SUPPLIED	WAIVER REQUESTED	REQUIREMENT
All Land	Fences at Permit	m. Location and specifications for all fences, walls, and other screening features.
	/	n. Location and specifications for all existing and proposed perimeter and internal landscaping and other buffering features.
	NA	o. Exterior lighting locations with area of illumination illustrated as well as the type of fixtures and shielding to be used.
	NA	p. Location, size and specifications for screening of all trash receptacles and other solid waste disposal facilities.
	/	q. Elevation drawing(s) for proposed commercial and industrial structures.
	/	r. Location and specifications for any existing or proposed above or below ground storage facilities for any chemicals, salts, flammable materials, or hazardous materials as well
	NA /	s. Floor plans, when needed to determine the number of parking spaces required.

PLEASE LIST THE REQUIREMENT FOR WHICH A WAIVER IS BEING REQUESTED. ALSO PROVIDE AN EXPLANATION/REASON FOR THE WAIVER REQUEST.

<u>SECTION</u>	<u>REASON FOR WAIVER REQUEST</u>
_____	_____
_____	_____
_____	_____
_____	_____
_____	_____

AFFIDAVIT

I CERTIFY THAT ALL SITE PLAN REQUIREMENTS (A THROUGH S) ARE DRAWN ON THE SITE PLAN, ATTACHED TO THIS APPLICATION AND/OR I AM REQUESTING A WAIVER. I CERTIFY THAT ALL INFORMATION AND DATA ATTACHED TO AND MADE PART OF THIS SPECIAL LAND USE PERMIT APPLICATION ARE TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE.



 SIGNATURE

7-13-20

 DATE

Brandt's Sports Center

6530 N. M-33 Hwy.

Legend

 6530 N. M-33 Hwy.

Mullett View Dr

6530 M-33

Carey Rd

Tatlett View Dr

Google Earth

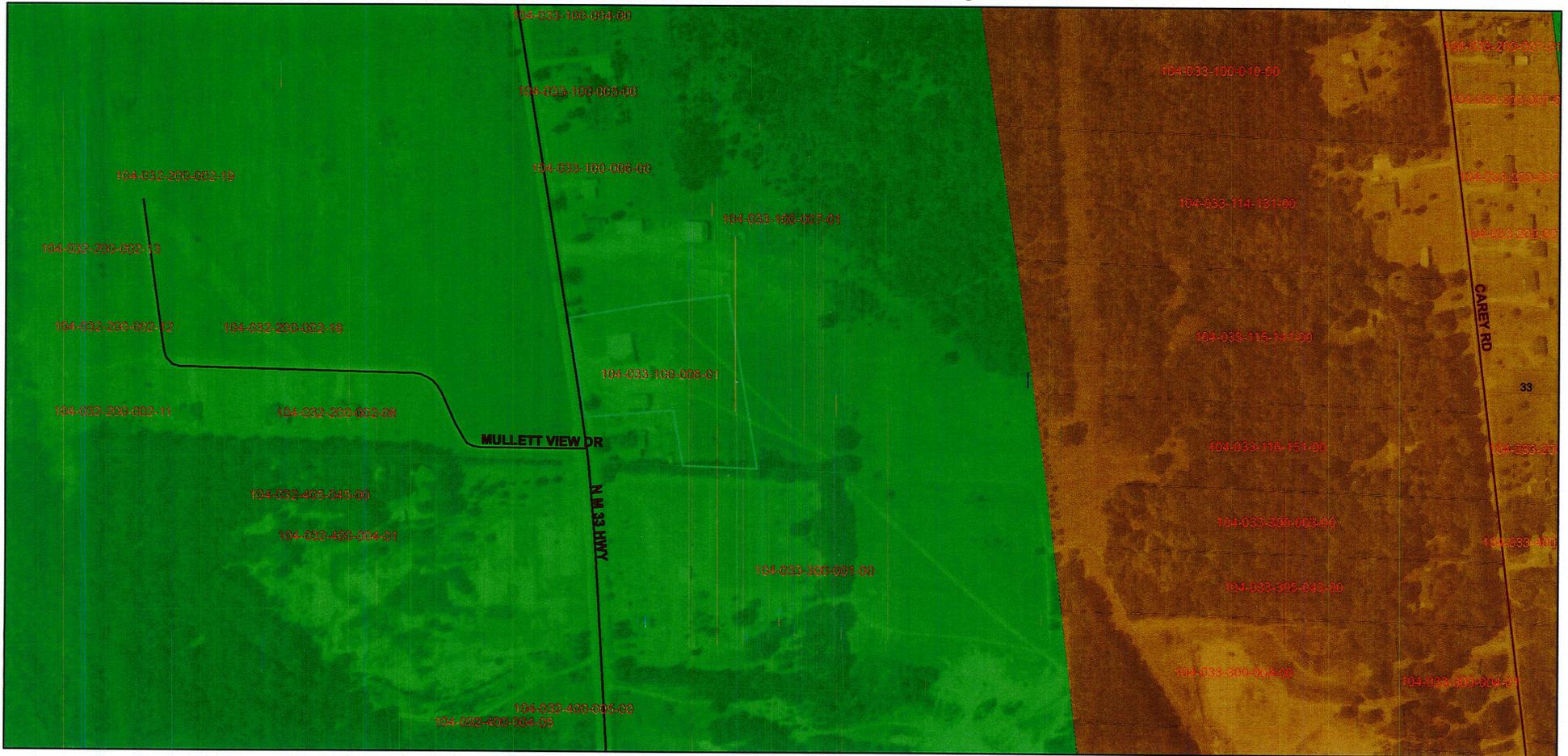
© 2020 Google

33

1000 ft



Cheboygan County Zoning



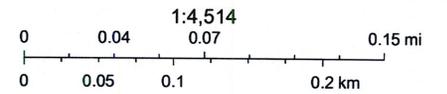
8/13/2020, 3:52:07 PM

Owner's Name _Query result

Zone - Zoning

D-RC

M-AF



Source: Esri, DigitalGlobe, GeoEye, Earthstar Geographics, CNES/Airbus DS, USDA, USGS, AeroGRID, IGN, and the GIS User Community

Web AppBuilder for ArcGIS
For reference only. Please call Cheboygan County Zoning for Verification, 231-627-8489

5



6



ECKER SURVEYING INCORPORATED

9597 North Straits Hwy.,
Cheboygan, Michigan, 49721
Email:
Jeff@EckerSurveying.com
Ph: 231.420.5450
Web: EckerSurveying.com
Fax: 231.421.6021

PLOT PLAN

BRUCE BRANDT

SECTION 33, T 37 N, R 1 W

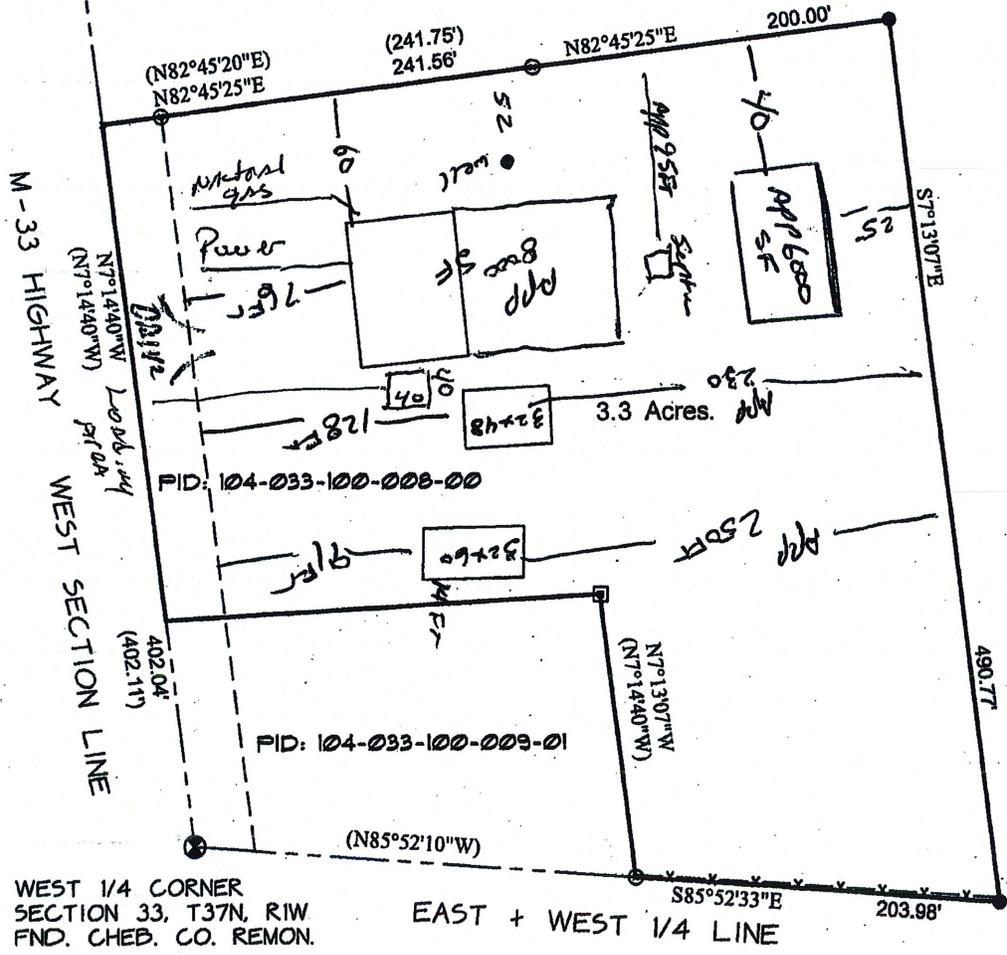
S18-37-37N-1W-33-Brandt SC

DATE: 7-16-2018

SHEET 1 OF 1

NORTHWEST CORNER
SECTION 33, T37N, R1W
FND. CHEB. CO. REMON.

FID: 104-033-100-001-00



~~Proposed Site Plan~~

Previous 7.16.18

104-033-100-008-01
BRANDT, BRUCE A
8101 N M-33 HWY
CHEBOYGAN, MI 49721

104-033-100-006-00
DODDER, KIMBERLY
PO BOX 5186
CHEBOYGAN, MI 49721

104-033-300-001-00
ALOHA TOWNSHIP, BENTON TOWNSHIP &
5104 PARADISE TRL
CHEBOYGAN, MI 49721

104-033-100-007-01
CHARBONEAU, EILEEN LE/WPTS; CHERIE
6544 N M-33 HWY
CHEBOYGAN, MI 49721

104-033-100-009-01
HATT, NICKI (MACZKA)
1322 RICHMOND DR
CHEBOYGAN, MI 49721

104-032-400-004-01
SKAGGS, MICHAEL & SUSAN H/W L/E
6501 N M-33 HWY
CHEBOYGAN, MI 49721

104-032-200-002-20
ARNETT, ALICE J TRUSTEE
6773 N M-33 HWY
CHEBOYGAN, MI 49721

104-033-100-008-01
OCCUPANT
6530 N M-33 HWY
CHEBOYGAN, MI, 49721

104-033-100-006-00
OCCUPANT
6558 N M-33 HWY
CHEBOYGAN, MI, 49721

104-033-300-001-00
OCCUPANT
6490 N M-33 HWY
CHEBOYGAN, MI, 49721

104-033-100-007-01
OCCUPANT
6544 N M-33 HWY
CHEBOYGAN, MI, 49721

104-033-100-009-01
OCCUPANT
6516 N M-33 HWY
CHEBOYGAN, MI, 49721

104-032-400-004-01
OCCUPANT
6501 N M-33 HWY
CHEBOYGAN, MI, 49721

104-032-200-002-20
OCCUPANT
6773 N M-33 HWY
CHEBOYGAN, MI, 49721

104-032-200-002-20
OCCUPANT
6771 N M-33 HWY
CHEBOYGAN, MI, 49721

Michael C. Turisk

From: Deborah Tomlinson
Sent: Monday, August 10, 2020 1:18 PM
To: Michael C. Turisk; Jennifer Merk
Subject: FW: Zoning Projects-Kyle
Attachments: Brandt Sport Shop sewage permit.pdf; Antoviak sewage permit.pdf

Please see the email below from Kyle Keller.

Debbie Tomlinson
Assistant to Director of Planning & Zoning
Cheboygan County Planning & Zoning Department
PO Box 70, 870 South Main Street
Cheboygan, MI 49721
(231)627-8489 phone
(231)627-3646 fax
debbiet@cheboygancounty.net
www.cheboygancounty.net/planning

From: Kyle Keller [mailto:kkeller@dhd4.org]
Sent: Monday, August 10, 2020 10:33 AM
To: Deborah Tomlinson
Subject: Zoning Projects-Kyle

CAUTION: This email originated from outside of the Cheboygan County email system. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Brandt Sporting Center Project: unless they are putting in bathrooms facilities into this new structure they are good on my end-the present structure (newest structure after the fire) had a new on-site sewage disposal system installed and approved last year (see attached permit). They are utilizing the existing well they had prior to the fire which is fine. See attached paperwork.

David/Julie Clark Project: I spoke with David sounds like a basic machine shop operation with just a couple employees-currently the shop has an on-site sewage disposal system installed under permit from DHD4 2004; I could not find a well log for this facility as I am sure that the owner installed his own at the time. Since this system is over 5 years old I would suggest that an existing on-site sewage disposal/drinking water well system evaluation by our office. See attached paperwork.

Douglas Duke Project: Spoke with Doug he indicated that his immediate needs are for just storage of ice shanties (no need for sewage/water at this point), however, he did say that there is a possibility of some form of residential development in the future. That being said he will definitely need DHD4 service at that point. No paperwork.

Kyle Keller RS
Environmental Sanitarian
DHD4-Cheboygan County
PH# 231-627-8850
kkeller@dhd4.org

District Health Department No. 4



Alpena County

100 Woods Circle
Suite 200
Alpena, MI 49707
(989) 356-4507
Fax (989) 356-3529

Cheboygan County

Doris E. Reid Center
825 S. Huron St.
Suite 1
Cheboygan, MI 49721
(231) 627-8850
Fax (231) 627-9466

Montmorency County

P.O. Box 183
12519 State Street
Atlanta, MI 49709
(989) 785-4428
Fax (989) 785-2217

Presque Isle County

106 E. Huron
Suite A
Rogers City, MI 49779
(989) 734-4723
Fax (989) 734-3866

www.dhd4.org

Administrative Services
Alpena County
Office

May 1, 2019

TO: Bruce Brandt

FROM: DISTRICT HEALTH DEPARTMENT #4

Permit Number: CS1352

SUBJECT: FINAL APPROVAL OF ONSITE SEWAGE DISPOSAL SYSTEM

Your onsite sewage disposal system has been approved. Enclosed are the completed permit and final inspection drawing. If there are any questions, please contact your local health department.

Thank you,
Michele Geyer, Environmental Health Secretary
District Health Department #4 - Cheboygan

**District Health Department No. 4
Sewage Disposal System Final Report**

Alpena County
100 Woods Circle
Suite 200
Alpena
MI 49707
989-356-4507

Cheboygan County
825 S. Huron Street
Suite 1
Cheboygan
MI 49721
231-627-8850

Montmorency County
12519 State Street
P.O. Box 183
Atlanta
MI 49709
989-785-4428

Presque Isle County
106 E. Huron Street
Suite A
Rogers City
MI 49779
989-734-4723

ID: 02522764143

TOWNSHIP: BENTON

PERMIT NUMBER: CS1352

6530 M-33
CHEBOYGAN, MI 49721
OWNER/CONTRACTOR:
BRUCE BRANDT

System Type: Absorption bed

Septic tank size	1000 GALLON
Pump chamber size	NA
Gallons/dose	NA
Audio/visual alarm required?	No
Square footage of drainfield installed	450 SQUARE FEET
Absorption bed length	25 FEET
Absorption bed width	18 FEET
Number of tile lines	6
Tile lines on center	3 FOOT ON CENTER

Actions Taken

Inspection Outcome

- Satisfactory

- Final Approval

SIGNATURE EH SPECIALIST:



Environmental Sanitarian

DATE:

5/1/2019

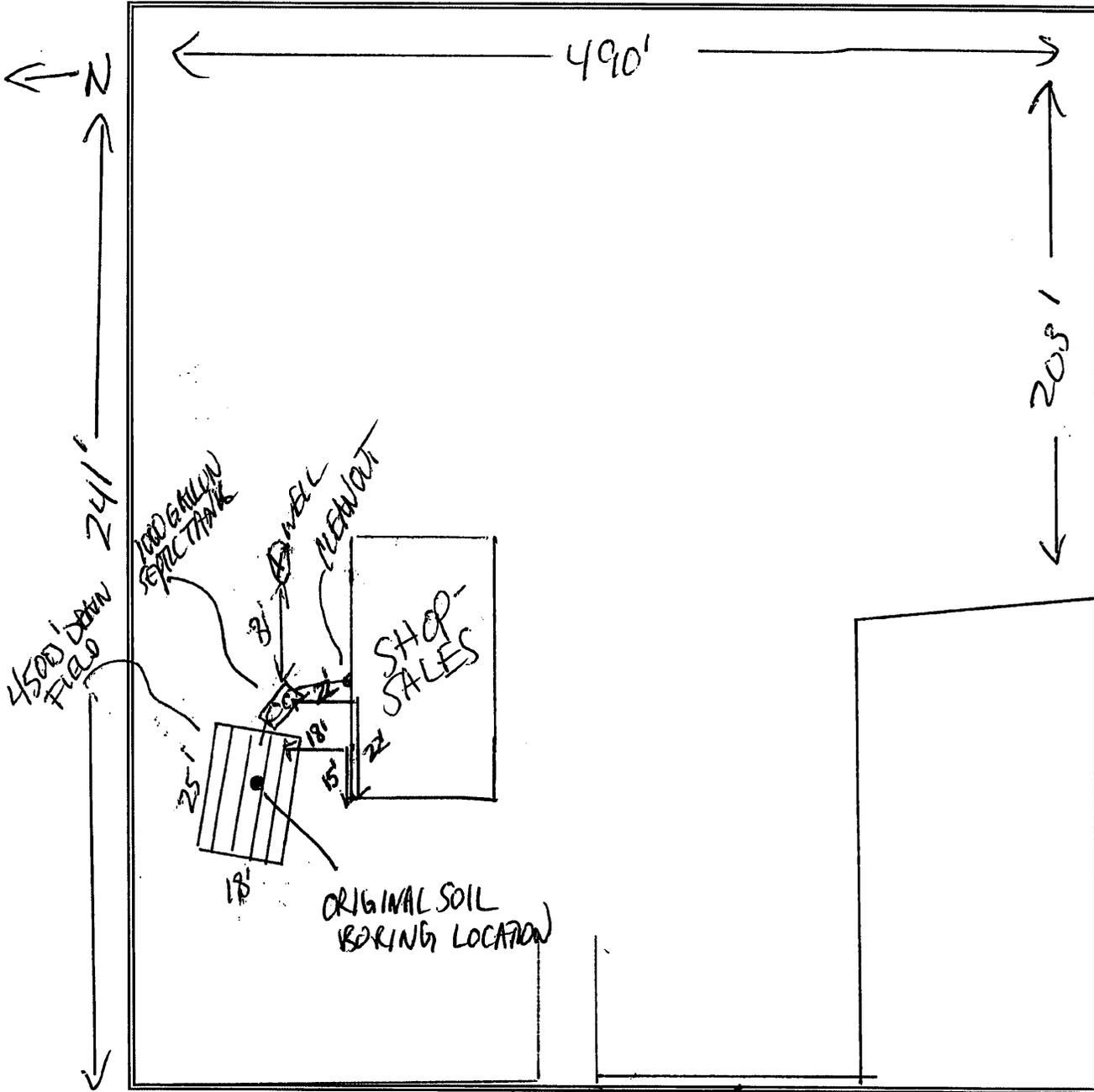
Providing a Healthier Tomorrow Since 1930

DISTRICT HEALTH DEPARTMENT NO. 4
FINAL INSPECTION DRAWING

Owner Name BRUCE BANOT

Property Address 0530 M33 CHEVYAN

Onsite Sewage Permit # CS1352



M33
Final Approval [Signature] Environmental Sanitarian Date 11/30/19

DHD No. 4 EH-98a



CHEBOYGAN COUNTY

PLANNING AND ZONING DEPARTMENT

CHEBOYGAN COUNTY BUILDING ■ 870 S. MAIN ST., PO BOX 70 ■ CHEBOYGAN, MI 49721
PHONE: (231) 627-8489 ■ FAX: (231) 627-3646; www.cheboygancounty.net/planning/

STAFF REPORT

Item: An application for a special use permit for an Indoor Storage Facility, per Section 9.3.24 of the Zoning Ordinance.	Prepared by: Michael Turisk
Date: August 12, 2020	Expected Meeting Date: August 19, 2020

GENERAL INFORMATION

Property Owner(s): Bruce Brandt

Applicant: Same

Contact person: Same

Phone: 231.627.7066

Property Location: The 3.7-acre subject property is located at 6530 N. M-33 Hwy. in Benton Twp.

Requested Action: Approval of a special use permit application for an Indoor Storage Facility land use.

1. INTRODUCTION/HISTORY/ BACKGROUND INFORMATION

The applicant requests approval of a special use permit application for an Indoor Storage Facility land use that would be located on the same property as "Brandt's Sports Center," a longtime locally-owned dealer and servicer of snowmobiles, personal watercraft, all-terrain vehicles and motorcycles at 6530 North M-33 Highway in Benton Township. (This special use permit application for an Indoor Storage Facility constitutes a distinct land use, hence the need for a special use permit application). Two (2) new storage buildings would be constructed, including one (1), 40-ft. x 200-ft. (8,000 sq.-ft.) and one (1), 40-ft. x 160-ft. (6,400 sq.-ft.). These buildings would offer storage stalls that would be leased to the public for personal storage purposes. If approved there would be six (6) storage buildings on the subject property (two of which are used to serve Brandt's Sports Center) in addition to the 7,500 sq.-ft. showroom and service center.

Brandt's Sports Center has been doing business in Cheboygan County for over five decades. The use was considered "legal" nonconforming until a fire event rendered the principal showroom and service building a total loss in July 2018. In December 2018, the Planning Commission approved a special use permit application for a Motor Vehicle Repair and/or Sales Facility as part of the overall process to rebuild. Four (4) new storage buildings including one (1) 6,000 sq.-ft., one (1) 1,920 sq.-ft., one (1) 1,536 sq.-ft., and one (1) 1,500 sq.-ft. were constructed after special use permit application approval. The special use permit was required in 2018 due to Section 22.2. (Non-conforming Uses, Structures) of the Zoning ordinance that requires conformity with applicable provisions (of the Zoning Ordinance) for nonconforming uses or structures if the cost of repair or replacement due to fire, for example, exceeds 50% of total replacement cost.

Note that in addition to meeting the general standards for special use permit approval under Section 18.7 of the Zoning Ordinance, Indoor Storage Facility land uses within the Agricultural and Forestry Management District shall comply with all of the following applicable supplemental regulations and standards, per Section 17.27:

17.27.1. A solid evergreen hedge, wall or fence a minimum of 6 feet in height shall be placed a minimum of 3 feet from a rear or side lot line which screens all Indoor Storage Facilities from adjoining lots which are under different ownership.

- The use is currently fenced along property lines except the primary front property line.

17.27.2. A minimum distance of 30 feet shall be required between Indoor Storage Facility structures where a wall with doors faces another Indoor Storage Facility structure.

- The applicant has confirmed and the submitted site plan shows 32 feet of separation between all structures to be used as an Indoor Storage Facility land use.

Note that the application indicates a host of requested site plan waivers. However, a number site plan requirements are actually not applicable to this request. They have been amended accordingly.



Fig. 1; Aerial/location of Brandt's Sports Center (at center) at 6530 N. M-33 Hwy.

2. Adjacent Zoning:

North: Agriculture and Forestry Management (M-AF)

East: Agriculture and Forestry Management (M-AF)

South: Agriculture and Forestry Management (M-AF)

West: Agriculture and Forestry Management (M-AF)

3. Surrounding Land Uses:

As noted above, properties adjacent to the subject property are largely zoned Agriculture and Forestry Management (M-AF). There exists Rural Character/Country Living (D-RC) zoning to the east and north of the subject property. Land uses include agricultural and low-density, rural-residential uses interspersed with large acreages of vacant land. Few conspicuous commercial-type land uses are in the immediate area, save for Chip Drake and Sons Mason Contractors located approximately ½-mile to the north of Brandt's Sports Center along North M-33 Highway.

4. Environmentally Sensitive Areas (steep slopes, wetlands, woodlands, stream corridor, and floodplain):

There are no known environmentally sensitive areas on the subject property.

5. Historic Buildings/Features:

There are no known historic buildings or historic features on the subject property.

6. Traffic Implications:

As noted, Brandt's Sport Center has been a fixture in the area for about five decades, and during this time, the use has very likely not had any significant negative impacts upon local traffic patterns and volume. With respect to this special use permit application, Indoor Storage Facility land uses typically generate comparatively few vehicle trips, so despite this proposed additional land use on the subject property, it is expected that traffic counts in the area would remain low enough to avoid generating large traffic volumes.

7. Parking:

The Zoning Ordinance does not include a parking standard for Indoor Storage Facility land uses. Because of this, the Planning Commission will need to make a determination of adequate parking. Despite the number and size of the existing and proposed structures, the approximately 3.7-acre subject property provides ample space to satisfy on-site parking demands, including for large delivery vehicles. Note that Section 17.6. of the Zoning Ordinance indicates that for all uses one (1) parking space per two (2) employees is required, so two (2) would need to be provided for the four (4) employees.

8. Access and Street Design: (secondary access, pedestrian access, sidewalks, residential buffer, ROW width, access to adjacent properties):

Access is provided via the existing two-way driveway cut located off the east right-of-way of North M-33 Highway.

9. Signs:

One (1) existing banner sign that advertises the availability of public storage is located under the previously approved illuminated freestanding sign. Banner signs are permitted in the Agriculture and Forestry Management (M-AF0 zoning districts.

10. Fence/Hedge/Buffer:

No new fencing, vegetative screening or buffers are proposed as part of this application.

11. Lighting:

The submitted special use permit application indicates that no exterior lighting would be installed on the new Indoor Storage Facility structures.

12. Stormwater Management:

It is anticipated that the project would not generate significant changes to stormwater runoff patterns and/or on- or off-site flow rates, as the subject property includes sizeable pervious surface area that would allow surface water to infiltrate to help mitigate sheet flow and flooding potential. Although not far from the eastern shore of Mullett Lake, the subject property does not lie within 500-ft. of the lake (or river or stream); thus, the project is not subject to soil erosion and sedimentation pollution control permit review.

13. Review or Permits From Other Government Entities:

Construction of the Indoor Storage Facility buildings will require building permit application review and approval by the Department of Building Safety/Construction Code. The District 4 Health Department has reviewed the application and indicated that a new on-site sewage disposal system was approved and installed in 2019, so no need exists at this time for permit review by the Health Department.

14. Consistency with the Cheboygan County Master Plan/Future Land Use Map:

The *Cheboygan County Master Plan and Future Land Use Map* designates the immediate area in which the subject property is located as Forest/Agricultural. As the Planning Commission is aware, these are areas where anticipated future uses include forestry and farming activities and residential uses (that are properly located and designed with rural character in mind). In addition, appropriate land uses include small- to mid-size campgrounds and similar rural tourist lodging uses. However, other types of commercial or non-residential land uses are considered appropriate in Forest/Agricultural (and by extension the Agriculture and Forestry Management zoning districts) as evidenced by the current list of permitted and special uses in Article 9 of the Zoning Ordinance that includes Indoor Storage Facilities.

15. Public Comment:

No written or verbal public comments have been received as of the date of this report (August 12, 2020).

16. Recommendation (proposed conditions):

1. The applicant shall provide the Planning and Zoning Department the Acceptance of Conditions form (to be attached to the special land use approval letter) within thirty (30) calendar days from the date of the approval letter. This form shall be signed by the owner(s) or legal representative of the subject property. The applicable building permit application(s) shall include a site plan in conformance with this special land use that meets all applicable site development standards (such as minimum required setbacks from property boundaries) and appropriate building permit fees, as applicable. Permits must be issued within twelve (12) months from the date of the special land use approval letter (unless a special use extension request is approved by, pursuant to Section 18.12., as amended), otherwise the special land use may be deemed void upon thirty (30) days written notification to the applicant.
2. The applicant shall obtain building permits as applicable from the Department of Building Safety.
3. Any changes to the approved special use shall be subject to review by the Planning and Zoning Department and may require an application for special use amendment and approval by the Planning Commission.
4. It is the applicant's responsibility to obtain any additional permits or meet additional conditions, if any, that may be applicable to the proposed land use pursuant to other federal, state, or local laws or regulations.

**CHEBOYGAN COUNTY
PLANNING COMMISSION
SPECIAL USE PERMIT REQUEST**

Applicant: Bruce Brandt
6530 North M-33 Highway
Cheboygan, MI 49721

Owner(s): Bruce Brandt

Parcel(s): Benton Township, Section 33; Parcel ID 104-033-100-008-01

Hearing Date: Wednesday, August 19, 2020; 7:00 PM

APPLICATION

The Applicant seeks approval for a Special Use Permit for an Indoor Storage Facility, per Section 9.3.24 of the Zoning Ordinance.

GENERAL FINDINGS OF FACT

1. The Planning Commission finds that the property is located in an Agriculture and Forestry Management (M-AF) zoning district. (See Exhibits 3, 5 and 11)
2. The Planning Commission finds that, per the Cheboygan County Master Plan and Future Land Use Map, the property is located in an area designated by the Plan and Map as Forest/Agricultural. (See Exhibits 2 and 11)
3. The Planning Commission finds that the proposed Indoor Storage Facility land use requires a special use permit in the M-AF zoning districts. (See Exhibits 1, 3 and 11)
4. The Planning Commission finds that Brandt's Sport Center was formerly a legal, nonconforming use. (See Exhibit 11)
5. The Planning Commission finds that Brandt's Sport Center suffered total loss due to a fire event in July 2018. (See Exhibit 11)
6. The Planning Commission finds that Section 22.2 of the Zoning Ordinance (Nonconforming Uses, Structures) requires conformity with the applicable provisions of the Zoning Ordinance for nonconforming uses or structures if the cost of repair or replacement due to fire, for example, exceeds 50% of total; replacement cost. (See Exhibit 1, 5 and 11)
7. The Planning Commission finds that the Planning Commission approved a special use permit for a Motor vehicle sales and/or repair facility in December 2018. (See Exhibit 11)
8. The Planning Commission finds that the applicant proposes two (2) new storage buildings, including a 40-ft. x 200-ft. (8,000 sq.-ft.) and a 40-ft. x 160-ft. (6,400 sq.-ft.) that would be leased to the public. (See Exhibits 3, 6 and 11)

FINDINGS OF FACT UNDER SECTION 18.7 OF THE ZONING ORDINANCE

The Planning Commission makes the following findings of fact as required by Section 18.7 of the Zoning Ordinance for each of the following standards listed in that section:

a. The property subject to the application is located in a zoning district in which the proposed special land use is allowed.

1. The Planning Commission finds that the Applicant requests a special use permit for an Indoor Storage Facility on private land in Benton Township. (See Exhibits 3 and 11)
2. The Planning Commission finds that the subject property is zoned Agriculture and Forestry Management (M-AF). (See Exhibits 3, 5 and 11)
3. The Planning Commission finds that the Indoor Storage Facility is a land use that requires a special use permit in the Agriculture and Forestry Management (M-AF) zoning district, pursuant to Section 9.3.24 of the Zoning Ordinance. (See Exhibits 1, 3 and 11)
- 4.
5. Standard has been met.

OR

1. The Planning Commission finds that uses classified as special land uses are recognized as possessing unique characteristics (relative to location, design, size, public infrastructure needs, and other similar characteristics) which require individual review and approval standards in order to safeguard the general health, safety, and welfare of the County. (See Exhibits 1, 3 and 11)
2. The Planning Commission finds that special land uses have been determined to have such characteristics that a discretionary, site-specific review by the Planning Commission is necessary to evaluate whether the particular use, as proposed, is compatible, or can be made compatible, with neighboring land uses and other uses permitted in the zoning district. Special land uses may not be appropriate at all locations within a particular zoning district. (See Exhibits 1, 2, 3 and 11)
- 3.
4. Standard has not been met.

b. The proposed special land use will not involve uses, activities, processes, materials, or equipment that will create a substantially negative impact on the natural resources of the County or the natural environment as a whole.

1. The Planning Commission finds that the subject parcel is zoned Agriculture and Forestry Management (M-AF). (See Exhibits 3, 5 and 11)
2. The Planning Commission finds that Indoor Storage Facilities are permitted by special use in the Agriculture and Forestry Management (M-AF) zoning district pursuant to Section 9.3.24 of the Zoning Ordinance. (See Exhibits 1, 3 and 11)
3. The Planning Commission finds that Indoor Storage Facilities require a special use permit in accordance with Section 18.7. of the Zoning Ordinance. (See Exhibits 1, 3 and 11)

Standard has been met.

OR

1. None found.
2. Standard has not been met.

c. The proposed special land use will not involve uses, activities, processes, materials, or equipment, or hours of operation that will create a substantially negative impact on other conforming properties in the area by reason of traffic, noise, smoke, fumes, glare, odors, or the accumulation of scrap material that can be seen from any public or private highway or seen from any adjoining land owned by another person.

1. The Planning Commission finds that the subject parcel is zoned Agriculture and Forestry Management (M-AF). (See Exhibits 3, 5 and 11)
2. The Planning Commission finds that Indoor Storage Facilities are permitted by special use in the Agriculture and Forestry Management (M-AF) zoning district pursuant to Section 9.3.24 of the Zoning Ordinance. (See Exhibits 1, 3 and 11)
3. The Planning Commission finds that Indoor Storage Facilities require a special use permit in accordance with Section 18.7. of the Zoning Ordinance. (See Exhibits 1, 3 and 11)
4. The Planning Commission finds that the proposed Indoor Storage Facility land use would not create a substantially negative impact on other conforming properties in the area because of the relatively low impact characteristics of the use. (See Exhibits 3, 4, 6 and 11)
5. Standard has been met.

OR

1. None found.
 2. Standard has not been met.
-

d. The proposed special land use will be designed, constructed, operated, and maintained so as not to diminish the opportunity for surrounding properties to be used and developed as zoned.

1. The Planning Commission finds that the proposed Indoor Storage Facility would comply given that anticipated traffic counts at the time of operation would likely be negligible. (See Exhibits 3, 4 and 11)
3. The Planning Commission finds that the design, construction, operation, and maintenance of the proposed Indoor Storage Facility would not diminish opportunities for surrounding property owners to use and develop their properties as zoned. The proposed Indoor Storage Facility would not generate negative off-site impacts from traffic, noise, smoke, fumes, glare, odors, or waste materials that would negatively impact the ability to use or develop surrounding properties. The proposed Indoor Storage Facility would be designed and constructed to comply with the minimum applicable zoning standards (e.g., building setbacks; screening) that are intended to help minimize the potential for negative off-site impacts. (See Exhibits 1, 3 and 11)
4. The Planning Commission finds that the primary uses of surrounding parcels are agricultural and rural-residential, land uses that would not be diminished by the addition of an Indoor Storage Facility land use on the subject property. (See Exhibits 4, 5 and 11)
- 5.
6. Standard has been met.

OR

- 1.
2. Standard has not been met.

e. The proposed special land use will not place demands on fire, police, or other public resources in excess of current capacity nor increase hazards from fire or other dangers to the subject property or adjacent properties.

1. The Planning Commission finds that the proposed Indoor Storage Facility would not require public resources greater than current capacity, nor increase hazards from fire or other dangers. (See Exhibits 1, 3, 4 and 11)
2. The Planning Commission finds that the proposed Indoor Storage Facility would comply given that anticipated traffic counts at the time of operation would likely be negligible. (See Exhibits 3, 4 and 11)
3. The project site is served by the Alverno Fire Department and Cheboygan County Sheriff's Department. (See Exhibits 4 and 11)
- 4.
5. Standard has been met.

OR

- 1.
2. Standard has not been met.

f. The proposed special land use shall not increase traffic hazards or cause congestion on the public or private highways and streets of the area in excess of current capacity. Adequate access to the site shall be furnished either by existing roads and highways or proposed roads and highways. Signs, buildings, plantings, or other elements of the proposed project shall not interfere with driver visibility or safe vehicle operation. Entrance drives to the use and to off-street parking areas shall be no less than 25 feet from a street intersection (measured from the road right-of-way) or from the boundary of a different zoning district.

1. The Planning Commission finds that the proposed Indoor Storage Facility would not create traffic congestion or increase traffic-related hazards adjacent to (and in the vicinity of) the project site, located in an area of the County with an established circulation system with conditions that allow easy access with minimal, if any, changes to existing circulation or traffic patterns anticipated during operation. (See Exhibits 3, 4, 6 and 11)
2. The Planning Commission finds that the subject property is located in Benton Township along North M-33 Highway. (See Exhibits 3, 4, 5 and 11)
3. The Planning Commission finds that the proposed Indoor Storage Facility does not require water service to operate. (See Exhibits 3 and 11)
4. The Planning Commission finds that North M-33 Highway would adequately provide an adequate level of service capacity. Given negligible trip generation at operation, associated traffic would likely be unnoticeable. (See Exhibits 3, 4, 6 and 11).
- 6.

7. Standard has been met.

OR

1. The Planning Commission finds that the proposed Indoor Storage Facility could create traffic congestion or increase traffic-related hazards adjacent to (and in the vicinity of) the project site. (See Exhibits 3, 4, 6 and 11)
2. Standard has not been met.

g. The proposed special land use will be adequately served by water and sewer facilities, and refuse collection and disposal services.

1. The Planning Commission finds that the proposed Indoor Storage Facility would be served by well and septic. (See Exhibits 3, 9, 10 and 11)
2. The Planning Commission finds that a permit for an onsite sewage disposal system was approved on May 1, 2019 by the District Health Department No. 4. (See Exhibits 9, 10 and 11)

The Planning Commission finds that the proposed Indoor Storage Facility would not utilize significant volumes of water. Trash and other refuse is and would be hauled offsite to an authorized area landfill.

3. Standard has been met.

OR

- 1.
2. Standard has not been met.

h. The proposed special land use will comply with all specific standards required under this Ordinance applicable to it.

1. The Planning Commission finds that the proposed Indoor Storage Facility will meet or exceed all specific standards required under the Zoning Ordinance, including the standards for granting site plan approval in Section 20.10 and the standards applicable to Indoor Storage Facilities in Section 17.27 of the Zoning Ordinance. (See Exhibits 1, 3 and 11)
2. The Planning Commission finds that the proposed Indoor Storage Facility is permitted with a special use permit in the Agriculture and Forestry Management (M-AF) zoning districts. (See Exhibits 1, 3 and 11)
- 3.

4. Standard has been met.

OR

1. None found.
2. Standard has not been met.

SPECIFIC FINDINGS OF FACT UNDER SECTION 20.10 OF THE ZONING ORDINANCE

The Planning Commission makes the following findings of fact as required by Section 20.10 of the Zoning Ordinance for each of the following standards listed in that Section:

a. The site plan shall be designed so that there is a limited amount of change in the overall natural contours of the site and shall minimize reshaping in favor of designing the project to respect existing features of the site in relation to topography, the size and type of the lot, the character of adjoining property and the type and size of buildings. The site shall be developed so as not to impede the normal and orderly development or improvement of surrounding property for uses permitted in this Ordinance.

1. The Planning Commission finds that minimal changes to natural contours would occur during site preparation and construction given the site's level terrain. (See Exhibits 3, 6 and 11)
2. Standard has been met.

OR

1. None found.
2. Standard has not been met.

b. The landscape shall be preserved in its natural state, insofar as practical, by minimizing tree and soil removal, and by topographic modifications which result in smooth natural appearing slopes as opposed to abrupt changes in grade between the project and adjacent areas.

1. The Planning Commission finds that Indoor Storage Facilities are typically sited on terrain with little slope, as is the case with the subject property, and therefore minimal changes to the natural contours would occur during site preparation and construction. (See Exhibits 3, 6 and 11)
- 2.
3. Standard has been met.

OR

1. The Planning Commission finds that some measure of grading will occur during site preparation and construction. (See Exhibits 3, 6 and 11)
- 2.
3. Standard has not been met.

c. Special attention shall be given to proper site drainage so that removal of storm waters will not adversely affect neighboring properties.

1. The Planning Commission finds that stormwater would be maintained on the subject property. (See Exhibits 3 and 11)
- 2.
3. Standard has been met.

OR

1. None found.
2. Standard has not been met.

d. The site plan shall provide reasonable, visual and sound privacy for all dwelling units located therein. Fences, walls, barriers and landscaping shall be used, as appropriate, for the protection and enhancement of property and for the privacy of its occupants.

Not applicable, as no dwelling units are proposed.

e. All buildings or groups of buildings should be so arranged as to permit emergency vehicle access by some practical means.

1. The Planning Commission finds that a practical means for access by emergency vehicles is provided via a commercial driveway from North M-33 Highway. (See Exhibits 3, 4, 5, 6 and 11)
- 2.
3. Standard has been met.

OR

1. None found.
2. Standard has not been met.

f. Every structure or dwelling unit shall have access to a public street, walkway or other area dedicated to common use.

1. The Planning Commission finds that the Indoor Storage Facility land use would have access to a public roadway, North M-33 Highway. (See Exhibits 3, 4, 5, 6 and 11)
2. Standard has been met.

OR

1. None found.
2. Standard has not been met.

g. For subdivision plats and subdivision condominiums, there shall be a pedestrian circulation system as approved by the Planning Commission.

Not applicable, as no subdivision condominiums or subdivision plats are proposed.

h. Exterior lighting shall be arranged as follows: a. It is deflected away from adjacent properties, b. It does not impede the vision of traffic along adjacent streets and c. It does not unnecessarily illuminate night skies.

1. Not applicable, as no exterior lighting is proposed as part of the project (See Exhibit 3)
- 2.
3. Standard has been met.

OR

1. None found.
- 2.
3. Standard has not been met.

i. The arrangement of public or common ways for vehicular and pedestrian circulation shall respect the pattern of existing or planned streets and pedestrian or bicycle pathways in the area. Streets and drives which are part of an existing or planned street pattern which serves adjacent development shall be of a width appropriate to the traffic volume they will carry and shall have a dedicated right-of-way equal to that specified in the Master Plan.

Not applicable. No public common ways are proposed.

j. Site plans shall conform to all applicable requirements of state and federal statutes and the Cheboygan County Master Plan.

1. The Planning Commission finds that the site plan conforms to the applicable requirements of state and federal statutes and the Cheboygan County Master Plan ("Plan"), as the proposed Indoor Storage Facility is a special land use identified in Agriculture and Forestry Management (M-AF) zoning district. (See Exhibits 1, 3 and 11)
2. Standard has been met.

OR

1. None found.
2. Standard has not been met.

DECISION

TIME PERIOD FOR JUDICIAL REVIEW

State law provides that a person having an interest affected by the zoning ordinance may appeal a decision of the Planning Commission to the Circuit Court. Pursuant to MCR 7.101, any appeal must be filed within twenty-one (21) days after this Decision and Order is adopted by the Planning Commission.

DATE DECISION AND ORDER ADOPTED

Wednesday, August 19, 2020

Patty Croft, Chairperson

Charles Freese, Secretary

CHEBOYGAN COUNTY PLANNING COMMISSION

SITE PLAN REVIEW APPLICATION - Cheboygan-Otsego-Presque Isle Educational Service District (COPESD)

Exhibit List

1. Cheboygan County Zoning Ordinance
2. Cheboygan County Master Plan and Future Land Use Map
3. Site Plan Review Application (6 Pages)
4. Project Narrative, Including Lighting Features and Specifications (15 Pages)
5. Plan Set (16 Pages)
6. Location/Aerial Map (1 Page)
7. Zoning Map (1 Page)
8. Mailing List (1 Page)
9. Email Dated August 13, 2020 from Fire Chief, Dave Carpenter (1 Page)
10. Chapters 8 and 9 of the Tuscarora Township Master Plan and Future Land Use Map (14 Pages)
11. Staff Report (3 Pages)
12. Draft Findings of Fact (5 Pages)

Note: Planning Commission members also have Exhibits 1 and 2.



CHEBOYGAN COUNTY PLANNING & ZONING DEPARTMENT

870 S. MAIN ST., RM. 103 ■ PO BOX 70 ■ CHEBOYGAN, MI 49721
PHONE: (231)627-8489 ■ FAX: (231)627-3646

PROPERTY LOCATION

Address 6065 LEARNING LANE	City / Village INDIAN RIVER	Twp / Sec. TUSCARORA 1	Zoning District D-LM
Property Tax I.D. Number 161-001-200-003-00	Plat or Condo Name / Lot or Unit No.		

APPLICANT

Name afsdgad C.O.P.E.S.D	Telephone 231.238.9394	Fax 231.238.8951
Address 6065 LEARNING LANE	City, State & Zip INDIAN RIVER, MI 49719	E-Mail HUBERTJ@COPESD.ORG

OWNER (If different from applicant)

Name AS ABOVE	Telephone	Fax
Address	City, State & Zip	E-Mail

PROPOSED WORK

Type (check all that apply)	Building/Sign Information
<input type="checkbox"/> New Building <input type="checkbox"/> Addition <input type="checkbox"/> Change in Use or Additional Use <input checked="" type="checkbox"/> Reconstruction <input type="checkbox"/> Relocated Building <input type="checkbox"/> Sign, Type: _____ <input type="checkbox"/> Other: _____	IRREGULAR Overall Length: 187'-6" feet Overall Width: 73'-8" feet Floor Area: 10,100 sq. feet Overall Building Height: 28' feet AVG. Sign Area: EXISTING sq. feet Sign Height EXISTING feet

PROPOSED USE (check all that apply)

<input type="checkbox"/> Single-Family Residence <input type="checkbox"/> Duplex <input type="checkbox"/> Multi-Family, # of units ____	<input type="checkbox"/> Expansion / Addition <input type="checkbox"/> Garage or Accessory <input type="checkbox"/> Storage	<input checked="" type="checkbox"/> Office <input type="checkbox"/> Commercial <input type="checkbox"/> Industrial	<input type="checkbox"/> Agricultural <input type="checkbox"/> Institutional <input type="checkbox"/> Utility <input type="checkbox"/> Other: _____
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Has there been a Site Plan or Special Use Permit approved for this parcel before? YES NO **UNKNOWN**

If YES, date of approval: _____ Approved Use: **PREVIOUS 1971-72 BLDG. BURNT DOWN**

Directions to site: **SEE PLAN COVER SHEET FOR MAP**

SITE PLAN REVIEW APPLICATION



CHEBOYGAN COUNTY PLANNING & ZONING DEPARTMENT

870 S. MAIN ST., RM. 103 ▪ PO Box 70 ▪ CHEBOYGAN, MI 49721
PHONE: (231)627-8489 ▪ FAX: (231)627-3646

1. Describe all anticipated activities (e.g. type of business, hours of operation, number of employees, etc). Attach additional sheets if needed.

ADMINISTRATIVE OFFICES FOR CHEBOYGAN, OTSEGO, PRESQUE
ISLE EDUCATIONAL SCHOOL DISTRICT.

2. Site Plan Standards.

PLEASE EXPLAIN HOW YOUR REQUEST MEETS EACH OF THE FOLLOWING STANDARDS

- a. The site plan shall be designed so that there is a limited amount of change in the overall natural contours of the site and shall minimize reshaping in favor of designing the project to respect existing features of the site in relation to topography, the size and type of the lot, the character of adjoining property and the type and size of buildings. The site shall be developed so as not to impede the normal and orderly development or improvement of surrounding property for uses permitted in this Ordinance.

COMPLIES: THIS IS A REPLACEMENT BUILDING TO A PREVIOUS
9,700 SF ADMIN. BUILDING THAT WAS DESTROYED IN A FIRE.

- b. The landscape shall be preserved in its natural state, insofar as practical, by minimizing tree and soil removal, and by topographic modifications which result in smooth natural appearing slopes as opposed to abrupt changes in grade between the project and adjacent areas.

NEW PROPOSED BUILDING IS SIMILAR IN SIZE AND LOCATED IN
SAME LOCATION.

- c. Special attention shall be given to proper site drainage so that removal of storm waters will not adversely affect neighboring properties.

COMPLIES - REFER TO ATTACHED PLANS.

- d. The site plan shall provide reasonable, visual and sound privacy for all dwelling units located therein. Fences, walls, barriers and landscaping shall be used, as appropriate, for the protection and enhancement of property and for the privacy of its occupants.

COMPLIES

- e. All buildings or groups of buildings should be so arranged as to permit emergency vehicle access by some practical means.

COMPLIES - CLEAR ACCESS @ PERIMETER

- f. Every structure or dwelling unit shall have access to a public street, walkway or other area dedicated to common use.

COMPLIES

- g. For subdivision plats and subdivision condominiums, there shall be a pedestrian circulation system as approved by the Planning Commission.

N.A. BUT SIDEWALKS ARE PROVIDED (SOME SNOW-MELT)

- h. Exterior lighting shall be arranged as follows:

i. It is deflected away from adjacent properties. COMPLIES - "CUT-OFF" FIXTURES

ii. It does not impede the vision of traffic along adjacent streets. COMPLIES

iii. It does not unnecessarily illuminate night skies. YES - "DARK-SKY" COMPLIANT



CHEBOYGAN COUNTY PLANNING & ZONING DEPARTMENT

870 S. MAIN ST., RM. 103 ■ PO Box 70 ■ CHEBOYGAN, MI 49721
PHONE: (231)627-8489 ■ FAX: (231)627-3646

SITE PLAN REVIEW APPLICATION

- i. The arrangement of public or common ways for vehicular and pedestrian circulation shall respect the pattern of existing or planned streets and pedestrian or bicycle pathways in the area. Streets and drives which are part of an existing or planned street pattern which serves adjacent development shall be of a width appropriate to the traffic volume they will carry and shall have a dedicated right-of-way equal to that specified in the Master Plan.

COMPLIES

- j. Site plans shall conform to all applicable requirements of state and federal statutes and the Cheboygan County Master Plan, and approval may be conditioned on the applicant receiving necessary state and federal permits.

COMPLIES - AGREED.

3. Size of property in sq. ft. or acres: 4.82 ACRES

4. Present use of property: COPESD OFFICES

5. Does the proposed use of the property include or involve either:

- Junk or salvage yard (Section 3.6) YES NO
- Mineral extraction (Section 17.17) YES NO

If YES, this application must include a written plan as described in the Zoning Ordinance.

6. Attach a copy of Warranty Deed or other proof of ownership. COPESD

7. Attach a copy of certified Property Survey or dimensioned property land plat. ATTACHED

AFFIDAVIT

The undersigned affirms that the information and plans submitted in this application are true and correct to the best of the undersigned's knowledge.

Applicant's Signature [Signature]

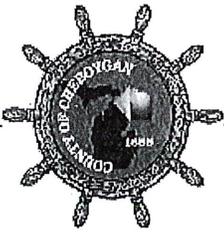
Date 7/23/2020

Does the property owner give permission for County zoning officials to enter his or her property for inspection purposes?

- Yes No

Owner's Signature [Signature] Superintendent

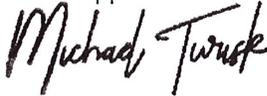
Date 7/23/2020



CHEBOYGAN COUNTY PLANNING & ZONING DEPARTMENT

870 S. MAIN ST., RM. 103 ▪ PO BOX 70 ▪ CHEBOYGAN, MI 49721
PHONE: (231)627-8489 ▪ FAX: (231)627-3646

FOR PLANNING /ZONING DEPT. USE ONLY

Date Received:	7.27.20	Notes:
Fee Amount Received:	\$225	
Receipt Number:	7419	
Public Hearing Date:	8.19.20	
Planning/Zoning Administrator Approval:		
		7.27.20
Signature		Date

SITE PLAN REVIEW APPLICATION

SITE PLAN REQUIREMENT CHECKLIST

(TO BE SUBMITTED WITH APPLICATION AND SITE PLAN)

SITE PLAN REVIEW APPLICATION

ALL ITEMS LISTED BELOW MUST BE SUBMITTED IN ORDER FOR THIS APPLICATION TO BE DEEMED COMPLETE. INCOMPLETE APPLICATIONS WILL NOT BE REVIEWED OR PROCESSED. EACH SITE PLAN SHALL DEPICT THE ITEMS LISTED BELOW, EXCEPT FOR THOSE ITEMS DETERMINED DURING THE PRE-APPLICATION CONFERENCE TO NOT BE APPLICABLE.

PLACE A CHECK MARK NEXT TO EACH REQUIREMENT TO SHOW THAT THE INFORMATION HAS BEEN SUPPLIED OR THAT A WAIVER IS BEING REQUESTED. IF A WAIVER IS BEING REQUESTED PLEASE NOTE ON THE NEXT PAGE THE REASON FOR THE WAIVER. SIGN AND DATE THIS CHECKLIST WHEN ALL ITEMS HAVE BEEN COMPLETED. PLEASE SUBMIT THIS CHECKLIST WITH YOUR APPLICATION.

INFORMATION SUPPLIED	WAIVER REQUESTED	REQUIREMENT
YES		a. North arrow, scale and date of original submittal and last revision. Site plan is to be drawn at a scale of 1 inch = 100 ft. or less.
YES		b. Seal of the registered engineer, architect, landscape architect, surveyor, planner, or other site plan preparer. Location of proposed and/or existing property lines, dimensions, legal descriptions, setback lines and monument locations.
YES		c. Location of existing and proposed public roads, rights-of-way and private easements of record and abutting streets.
YES		d. Topography at maximum five foot intervals or appropriate topographic elevations to accurately represent existing and proposed grades and drainage flows.
YES		e. Location and elevations of existing water courses and water bodies, including county drains and man-made surface drainage ways, stormwater controls, flood plains, and wetlands.
YES		f. Location of existing and proposed buildings and intended uses thereof.
YES		g. Details of entryway and sign locations should be separately depicted with an elevation view.
YES		h. Location, design, and dimensions of existing and/or proposed curbing, barrier free access, carports, parking areas (including indication of all spaces and method of surfacing), fire lanes and all lighting thereof.
YES		i. Location, size, and characteristics of all loading and unloading areas.
YES		j. Location and design of all sidewalks, walkways, bicycle paths and areas for public use as approved by the Planning Commission.
YES		k. Location of all other utilities on the site including but not limited to wells, septic systems, stormwater controls, natural gas, electric, cable TV, telephone and steam and proposed utility easements.
N.A.		l. Proposed location, dimensions and details of common open spaces and common facilities such as community buildings or swimming pools if applicable.

SITE PLAN REVIEW APPLICATION

SITE PLAN REQUIREMENT CHECKLIST

(TO BE SUBMITTED WITH APPLICATION AND SITE PLAN)

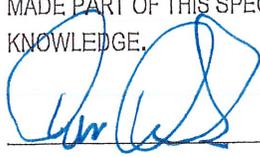
INFORMATION SUPPLIED	WAIVER REQUESTED	REQUIREMENT
YES		m. Location and specifications for all fences, walls, and other screening features.
YES		n. Location and specifications for all existing and proposed perimeter and internal landscaping and other buffering features.
YES		o. Exterior lighting locations with area of illumination illustrated as well as the type of fixtures and shielding to be used.
YES		p. Location, size and specifications for screening of all trash receptacles and other solid waste disposal facilities.
YES		q. Elevation drawing(s) for proposed commercial and industrial structures.
N.A.		r. Location and specifications for any existing or proposed above or below ground storage facilities for any chemicals, salts, flammable materials, or hazardous materials as well
YES		s. Floor plans, when needed to determine the number of parking spaces required.

PLEASE LIST THE REQUIREMENT FOR WHICH A WAIVER IS BEING REQUESTED. ALSO PROVIDE AN EXPLANATION/REASON FOR THE WAIVER REQUEST.

<u>SECTION</u>	<u>REASON FOR WAIVER REQUEST</u>

AFFIDAVIT

I CERTIFY THAT ALL SITE PLAN REQUIREMENTS (A THROUGH S) ARE DRAWN ON THE SITE PLAN, ATTACHED TO THIS APPLICATION AND/OR I AM REQUESTING A WAIVER. I CERTIFY THAT ALL INFORMATION AND DATA ATTACHED TO AND MADE PART OF THIS SPECIAL LAND USE PERMIT APPLICATION ARE TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE.



CORNERSTONE ARCHITECTS

SIGNATURE

AUG. 6, 2020

DATE

August 19, 2020

Cheboygan Otsego Presque Isle ESD (COPESD)

Site Plan Approval
Zoning Change Request

NARRATIVE:

In September of 2019, The Administrative offices for the Cheboygan Otsego Presque Isle Educational School District located at 6065 Learning Lane in Indian River suffered a catastrophic fire that destroyed the 9,700 s.f. building that had been in place since 1970. An existing building to the west was not affected.

COPESD contacted contractors and architects to evaluate and prepare documentation for the construction of a replacement building to be placed on the previous site. In May of 2020, Construction documents (two sets) were submitted to Cheboygan County for plan review and permitting of a new, single story 10,100 s.f. building to replace the administrative office functions for the District. In July of this year, Cheboygan Planning and Zoning identified that the site is a split zoned parcel with the east half of the 4.82 acre site being zoned Commercial (D-CM) and the West portion being zoned as Agricultural/Forestry Management (M-AF). The County requested that the entire parcel be re-zoned as Commercial prior to approval for construction of the new building.

It was hopeful by COPESD that since the previous building was located with-in the D-CM zoning, that the new building as an approved use in the D-CM district could start construction once the building permit was obtained, in order to avoid as much winter weather as possible. The County felt more comfortable going through the rezoning and site plan approval process prior to issuing a construction permit. August 19, 2020 was the earliest County Meeting date that could be scheduled. Plans and applications were submitted to the county in advance for this meeting.

CHECKLIST:

In an effort to clearly illustrate the scope of the project, we have coordinated the County Site Plan Checklist with corresponding compliance notes on the documents:

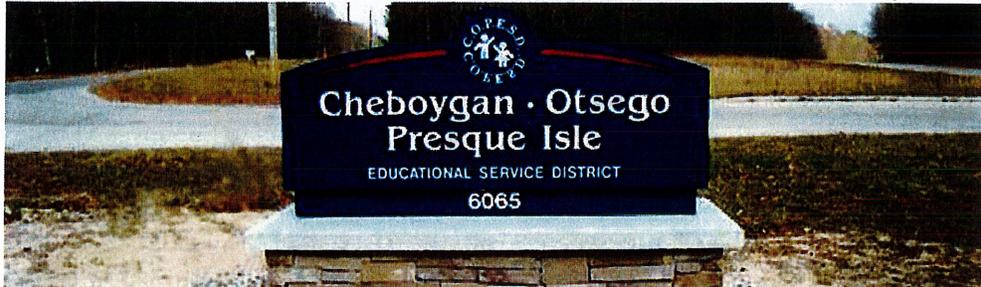
- a. North Arrow and Scale (Minimum 1" = 100' or less): Engineered Site Plan C-5 and Floor Plan A101 show scales of 1"=30' and 1/8" = 1'-0" respectively. North Arrows are shown on plan documents.
- b. Seal of a registered architect is required: Thomas G. Nemitz-registered architect in the State of Michigan (#1301033337) signed and sealed the cover sheet as required by State of Michigan LARA.
- c. Location of existing roads, R.O.W., easements, etc. are indicated on the Granger Survey Sheet and Civil Engineering sheets C-1 through C-5.
- d. Topography at a maximum 5' intervals are required to show existing and proposed drainage flows. Civil Sheets C-3,4 and 5 show topography as well as drainage and areas for percolation.
- e. Elevations, water (NA) Shown on Civil Sheets C-3,4 and 5.
- f. Locations of existing and proposed buildings and intended use: Shown on Granger Surveys, and plan sheets C-1-C-5 and Floor Plan on A101.

Page Two
August 19, 2020

Cheboygan Otsego Presque Isle ESD (COPESD)
Site Plan Approval
Zoning Change Request

CHECKLIST-continued:

- g. Details of entryway, sign locations, and elevation views:
An existing sign is in place at the corner of Learning Lane and Straits Highway.



Existing Sign- Learning Lane and Straits Hwy.

Sheet A200 shows an elevation of proposed building mounted letters of approximately 36 s.f. under zoning maximum for Commercial for signs.

- h. Location, design dimensions of existing and proposed curbing, parking, BF Parking:
Shown on Civil Sheets C-1 through C-6 (details).
- i. Location, sizes of loading/unloading areas:
Shown on Civil Sheets C-1 through C-5.
- j. Location, design of sidewalks, bike paths, etc.
Shown on Civil sheets C-3 and C-4.
- k. Location of all other utilities including wells, septic systems, etc.
Shown on Civil Sheets C-3 and C-6(details).
- l. Locations of common space, community buildings, pools if applicable.
Not applicable.
- m. Locations and specifications for fences, walls other screening.
No fencing or other screening is proposed. Natural tree lines (existing) provide screening at the south.
- n. Location and specifications of landscaping:
Existing landscaping to remain, and enhanced after construction (design+ Install).
- o. Exterior Light locations and style:
See Civil C-3 for Lighting plan.
Product Sheets are attached for parking lot lighting and exterior building lighting. All are dark sky compliant with cut off criteria to limit light spread and light pollution.

Page Three

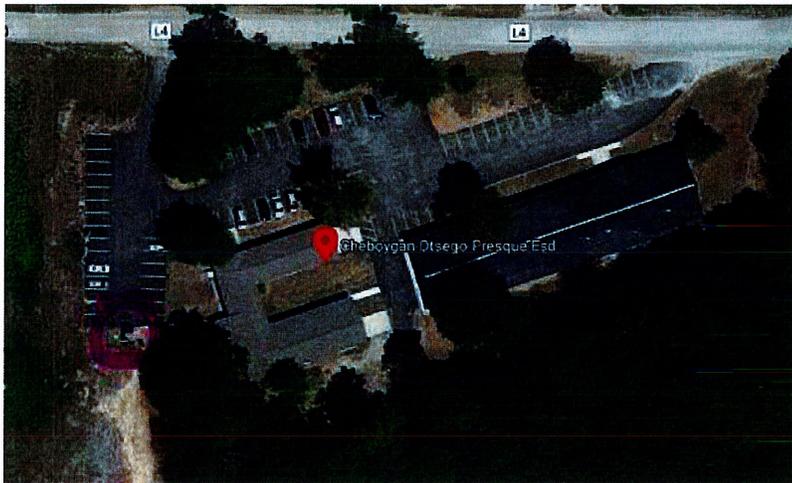
August 19, 2020

Cheboygan Otsego Presque Isle ESD (COPESD)

Site Plan Approval
Zoning Change Request

CHECKLIST-continued:

- p. Location, size, screening of trash receptacles, other waste.
An existing dumpster is located to the west of the West Building.
See attached for existing location to remain. No additional dumpsters are required.



- q. Exterior Elevation Drawings for commercial structures
See architectural sheets A200, A201, A202 (Color and black & white versions are included).
- r. locations for any above or below ground storage of chemicals, salts, etc.
Not Applicable. None proposed.
- s. Floor Plans to determine parking needs.
See Sheet A101

AFFIDAVIT

I CERTIFY THAT ALL SITE PLAN REQUIREMENTS (A THROUGH S) ARE DRAWN ON THE SITE PLAN, ATTACHED TO THIS APPLICATION AND/OR I AM REQUESTING A WAIVER. I CERTIFY THAT ALL INFORMATION AND DATA ATTACHED TO AND MADE PART OF THIS SPECIAL LAND USE PERMIT APPLICATION ARE TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE.

Thomas G. Nemitz-Architect

August 6, 2020

Submitted by West Michigan Lighting & Controls	Catalog Number: SSA 12 4C DM19AS DDB	Type:
	Job Name: COPESD Administration Building - Lighting Engineer: Nealis Engineering (Traverse City)	SL2 WML20-120159
Notes:		



FEATURES & SPECIFICATIONS

INTENDED USE — These specifications are for USA standards only. Check with factory for Canadian specifications. Square Straight Aluminum is a general purpose light pole for up to 35-foot mounting heights. This pole provides a lighter and naturally corrosion-resistant option for mounting area light fixtures and floodlights.

CONSTRUCTION — **Pole Shaft:** The pole shaft is of uniform wall thickness and is made of extruded 6000 series aluminum alloy tubing that is heat treated to a T6 temper to provide maximum strength. The shaft is uniformly square in cross-section with flat sides, small corner radii and excellent torsional qualities. Available shaft widths are 4", 5", 6" and 6.75".

Pole Top: Options include tenon top, drilled for side mount fixture, tenon with drilling (includes extra hand-hole) and open top. A cast aluminum top cap is provided for all poles that will receive drilling patterns for side-mount luminaire arm assemblies or when ordered with open top (PT) option. The top cap resists intrusion of moisture and environmental contaminants.

Handhole: A handhole opening with grounding provision is provided near the base. Standard positioning varies with shaft width as follows: 4" shaft, handhole at 12"; 5" shaft, handhole at 14"; 6" and 6.75" shaft, handhole at 18" on side A. Positioning the handhole lower than standard may not be possible and requires engineering review; consult Tech Support-Outdoor for further information. Every handhole includes a cover and cover attachment hardware. The handhole for a pole specified with a 4" or 5" shaft width has a nominal dimension of 2" x 4"; the handhole for a pole specified with a 6" or 6.75" width has a nominal dimension of 2.63" x 5".

Anchor Base/ Cover/ Bolts: Anchor base is cast from 356 alloy aluminum and is supplied with 4 nut cover disks. A full 2-piece cast aluminum anchor base cover is available as an option.

Anchor bolts are manufactured to ASTM F1554 Standards Grade 55, (55 KSI minimum yield strength and tensile strength of 75-95 KSI). Upper portion of anchor bolt is galvanized per ASTM A-153; bolts have an "L" bend on bottom end and are galvanized a minimum of 12" on the threaded end.

FINISH — Extra durable painted finish is coated with TGIC (Triglycidyl Isocyanurate) Polyester powder that meets SA and SB classifications of ASTM D3359. Standard powder-coat finishes include Dark Bronze, White, Black, Medium Bronze and Natural Aluminum colors. Classic finishes include Sandstone, Charcoal Gray, Tennis Green, Bright Red and Steel Blue colors. Other finishes include Brushed Aluminum, and Anodized Dark Bronze, Anodized Natural Aluminum and Anodized Black. Architectural Colors and Special Finishes are available by quote and include, but are not limited to RAL Colors, Custom Colors and Extended Warranty Finishes. Factory-applied primer paint finish is available for customer field-paint applications.

WARRANTY — 1-year limited warranty. Complete warranty terms located at:
www.acuitybrands.com/CustomerResources/Terms_and_conditions.aspx

NOTE: Actual performance may differ as a result of end-user environment and application.

Catalog Number
Notes
Type



Anchor Base Poles

SSA

SQUARE STRAIGHT ALUMINUM

Specifications subject to change without notice.

See footnotes next page.

OUTDOOR

POLE-SSA



Job Name:
 COPESED Administration Building - Lighting
 Engineer: Nealis Engineering (Traverse City)

Catalog Number:
 SSA 12 4C DM19AS DDB

Notes:

Type:

SL2

WML20-120159

SSA Square Straight Aluminum Poles

ORDERING INFORMATION

Lead times will vary depending on options selected. Consult with your sales representative.

Example: SSA 20 4C DM19 BA

SSA Series	Nominal fixture mounting height	Nominal shaft base size/wall thickness	Mounting*	Options	Finish**
SSA	8'-35' (for 1/2 ft increments, add -6 to the pole height. Ex: 20-6 equals 20ft 6in.) (See technical information table for complete ordering information.) 12	(See technical information table for complete ordering information.) 4C	<u>Tenon mounting</u> PT Open top T25 2-3/8" O.D. (2" NPS) T2S 2-7/8" O.D. (2-1/2" NPS) T30 3-1/2" O.D. (3" NPS) ³ T35 4" O.D. (3-1/2" NPS) ³ <u>Drill mounting⁴</u> DM19 1 at 90° DM28 2 at 180° DM28PL 2 at 180° with one side plugged DM29 2 at 90° DM39 3 at 90° DM49 4 at 90° <u>CSX/DSX/AERIS™/OMERO™/HLA/KAX Drill mounting⁴</u> DM19AS 1 at 90° DM28AS 2 at 180° DM29AS 2 at 90° DM39AS 3 at 90° DM49AS 4 at 90° <u>AERIS™ Suspend drill mounting^{4,5}</u> DMxxAST_ <u>OMERO™ Suspend drill mounting^{4,5}</u> DMxxMRT_	<u>Shipped installed</u> L/AB Less anchor bolts (Include when anchor bolts are not needed) VD Vibration damper TP Tamper proof HAxy Horizontal arm bracket (1 fixture) ^{6,7} FDLxy Festoon outlet less electrical ⁶ CPL12/xy 1/2" coupling ⁶ CPL34/xy 3/4" coupling ⁶ CPL1/xy 1" coupling ⁶ NPL12/xy 1/2" threaded nipple ⁶ NPL34/xy 3/4" threaded nipple ⁶ NPL1/xy 1" threaded nipple ⁶ EHHxy Extra handhole ^{6,8} MAEX Match existing ⁹ USPOM United States point of manufacture ¹⁰ UL UL listed wit label (Includes NEC compliant cover) NEC NEC 410.30 compliant gasketed handhole (Not UL Labeled) <u>Shipped separately (replacement kit available)</u> (blank) BLIC Bolt caps FBC Full base cover (spun aluminum) (blank) TC Top cap (with drill-mount poles) (blank) HHC Handhole cover	<u>Standard colors</u> DDBXD Dark bronze DWH White DBLXD Black DMB Medium bronze DNA Natural aluminum <u>Brushed Finish</u> BA Brushed aluminum <u>Classic colors</u> DSS Sandstone DGC Charcoal gray DTG Tennis green DBR Bright red DSB Steel blue <u>Class 1 architectural anodized</u> ABL Black ADB Dark bronze ANA Natural <u>Architectural colors (powder finish)¹¹</u>

NOTES

- Wall thickness will be signified by the letter "C", "G" or "J". C represents a 0.125" thickness, "G" represents a 0.188 thickness and "J" represents a 0.250" thickness.
- When ordering tenon mounting and drill mounting for the same pole, follow this example: DM28/T20. The combination includes a required extra handhole.
- 3-1/2" and 4" O.D. tenons available on 5" and 6" shafts only.
- Refer to the fixture spec sheet for the correct drilling template pattern and orientation compatibility. Refer to the Anchor Bolt Matrix with Generic Template Link at <http://www.acuitybrands.com/-/media/Files/Acuity/Resources/Tools-and-Documents/Pole%20Resources/Pole%20Anchorage/Matrix%20Document/AnchorBoltMatrix.pdf?fa=en>
- Insert "1" or "2" to designate fixture size; e.g. DM19AS12.
- Specify location and orientation when ordering option. For "x": Specify the height in feet above base of pole. Example: 5ft = 5 and 20ft, 3in = 20-3 For "y": Specify orientation from handhole (A,B,C,D) Refer to the Handhole Orientation diagram on this page. Example: 1/2" coupling at 5'8", orientation C; SSA 20 4C DM19 CPL12/S-8C DDB
- Horizontal arm is 18" x 2-3/8" O.D. tenon standard, with radius curve providing 12" rise and 2-3/8" O.D. If ordering two horizontal arm at the same height, specify with HAxy. Example: HA20BD
- Combination of tenon-top and drill mount includes extra handhole.
- Must add original order number
- Use when mill certifications are required.
- Finish must be specified. Additional colors available; see www.lithonia.com/archcolors or Architectural Colors brochure (Form No. 794.3).



POLE-SSA

OUTDOOR: One Lithonia Way Conyers, GA 30012 Phone: 770-922-9000 www.lithonia.com

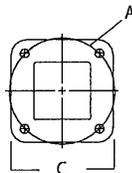
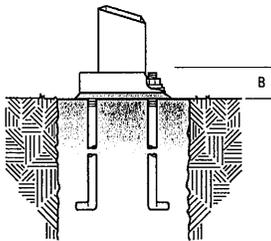
©1994-2018 Acuity Brands Lighting, Inc. All rights reserved. Rev. 11/15/18



SSA Square Straight Aluminum Poles

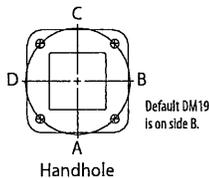
TECHNICAL INFORMATION — EPA (ft*) with 1.3 gust									
Catalog number	Nominal mount ht. (ft) *	Pole shaft size (In x ft)	Wall thick (in)	80 mph	90 mph	100 mph	Max. weight (lbs)	Bolt size (in. x in. x in.)	Approximate ship (lbs.)
SSA 8 4C	8	4.0 x 8.0	0.125	16.5	12.6	9.9	300	3/4 x 18 x 3	32
SSA 10 4C	10	4.0 x 10.0	0.125	11.5	8.6	6.5	230	3/4 x 18 x 3	37
SSA 12 4C	12	4.0 x 12.0	0.125	12.4	9.2	6.9	160	3/4 x 18 x 3	40
SSA 14 4C	14	4.0 x 14.0	0.125	9.3	6.7	4.8	120	3/4 x 18 x 3	50
SSA 15 4C	15	4.0 x 15.0	0.125	8	5.6	3.9	100	3/4 x 18 x 3	52
SSA 16 4C	16	4.0 x 16.0	0.125	6.9	4.7	3.1	90	3/4 x 18 x 3	54
SSA 16 4G	16	4.0 x 16.0	0.188	11.8	8.5	6.2	130	3/4 x 30 x 3	74
SSA 16 5G	16	5.0 x 16.0	0.188	15	11.1	7.5	280	3/4 x 30 x 3	83
SSA 18 4C	18	4.0 x 18.0	0.125	4.9	3	1.7	70	3/4 x 18 x 3	57
SSA 18 4G	18	4.0 x 18.0	0.188	9.2	6.4	4.4	100	3/4 x 30 x 3	80
SSA 18 5G	18	5.0 x 18.0	0.188	16.8	12.2	8.9	230	3/4 x 30 x 3	91
SSA 20 4C	20	4.0 x 20.0	0.125	3.3	1.7	0.5	40	3/4 x 18 x 3	62
SSA 20 4G	20	4.0 x 20.0	0.188	7	4.6	2.9	80	3/4 x 30 x 3	85
SSA 20 5G	20	5.0 x 20.0	0.188	13.6	9.5	6.6	180	3/4 x 30 x 3	107
SSA 20 6G	20	6.0 x 20.0	0.188	22	15.9	11.6	230	1 x 36 x 4	155
SSA 20 6J	20	6.0 x 20.0	0.25	30.4	22.6	17	300	1 x 36 x 4	202
SSA 25 5G	25	5.0 x 25.0	0.188	7.2	4.2	2	110	3/4 x 30 x 3	130
SSA 25 6G	25	6.0 x 25.0	0.188	13.2	8.6	5.4	180	1 x 36 x 4	180
SSA 25 6J	25	6.0 x 25.0	0.25	19.7	13.8	9.5	250	1 x 36 x 4	224
SSA 30 6G	30	6.0 x 30.0	0.188	7	3.4	0.8	130	1 x 36 x 4	210
SSA 30 6J	30	6.0 x 30.0	0.25	12.2	7.5	4.1	170	1 x 36 x 4	258
SSA 32 6J	32	6.0 x 32.0	0.25	9.7	5.4	2.3	160	1 x 36 x 4	272
SSA 35 6J	35	6.0 x 35.0	0.25	6.4	2.6	—	200	1 x 36 x 4	294
SSA 35 7J	35	6.75 x 35.0	0.25	7.6	3.1	—	150	1 x 36 x 4	290

* EPA values are based ASCE 7-93 wind map. For 1/2 ft increments, add -6 to the pole height. Ex: 20-6 equals 20ft 6in.



POLE DATA						
Shaft base size	Bolt circle (in) A	Bolt projection (in) B	Base square (in) C	Bolt Size	Template description	Anchor bolt description
4C	8.5 - 9.625	3.125	9.938	3/4 x 18 x 3	ABTEMPLATE PJS0045	AB18-0
4G	8.5 - 9.625	3.125	9.938	3/4 x 30 x 3	ABTEMPLATE PJS0045	AB30-0
5	10.5 - 11.5	3.25	11.563	3/4 x 30 x 3	ABTEMPLATE PJS0046	AB30-0
6	12-13	4	12.25	1 x 36 x 4	ABTEMPLATE PJS0044	AB36-0
7	14.625	4.125	15	1 x 36 x 4	ABTEMPLATE PJS0130	AB36-0

HANDHOLE ORIENTATION

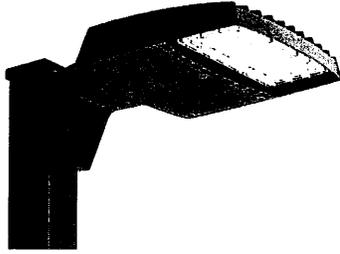


IMPORTANT INSTALLATION NOTES:

- Do not erect poles without having fixtures installed.
- Factory-supplied templates must be used when setting anchor bolts. Lithonia Lighting will not accept claim for incorrect anchorage placement due to failure to use factory template.
- If poles are stored outside, all protective wrapping must be removed immediately upon delivery to prevent finish damage.
- Lithonia Lighting is not responsible for the foundation design.



Submitted by West Michigan Lighting & Controls		Catalog Number: RSX1 LED P1 30K R3 MVOLT HS SPA FAO DDBXD Notes:	Type: SL3 WML20-120159
 Job Name: COPESD Administration Building - Lighting Engineer: Nealis Engineering (Traverse City)			



RSX1 LED Area Luminaire



Catalog Number	
Notes	
Type	

Use the table below to determine the correct catalog number.

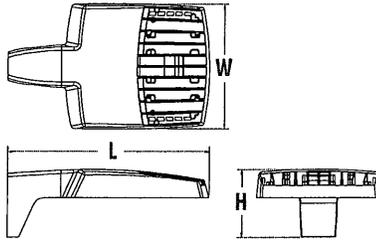
Introduction

The new RSX LED Area family delivers maximum value by providing significant energy savings, long life and outstanding photometric performance at an affordable price. The RSX1 delivers 7,000 to 17,000 lumens allowing it to replace 70W to 400W HID luminaires.

The RSX features an integral universal mounting mechanism that allows the luminaire to be mounted on most existing drill hole patterns. This "no-drill" solution provides significant labor savings. An easy-access door on the bottom of mounting arm allows for wiring without opening the electrical compartment. A mast arm adaptor, adjustable integral slipfitter and other mounting configurations are available.

Specifications

EPA (ft ² @0°):	0.57 ft ² (0.05 m ²)
Length:	21.8" (55.4 cm) (SPA mount)
Width:	13.3" (33.8 cm)
Height:	3.0" (7.6 cm) Main Body 7.2" (18.4 cm) Arm
Weight (max):	31.0 lbs (14.1 kg)



Ordering Information

EXAMPLE: RSX1 LED P4 40K R3 MVOLT SPA DDBXD

RSX1 LED					
Series	Performance Package	Color Temperature	Distribution	Voltage	Mounting
RSX1 LED	P1	30K 3000K	R2 Type 2 Wide	MVOLT (120V-277V) ³	SPA Square pole mounting (3.0" min. SQ pole for 1 at 90°, 3.5" min. SQ pole for 2, 3, 4 at 90°) RPA Round pole mounting (3.2" min. dia. RND pole for 2, 3, 4 at 90°, 3.0" min. dia. RND pole for 1 at 90°, 2 at 180°, 3 at 120°) MA Mast arm adaptor (fits 2-3/8" OD horizontal tenon) IS Adjustable slipfitter (fits 2-3/8" OD tenon) ⁵ WBA Wall bracket ¹ WBASC Wall bracket with surface conduit box AASP Adjustable tilt arm square pole mounting ⁵ AARP Adjustable tilt arm round pole mounting ⁵ AAWB Adjustable tilt arm with wall bracket ⁵ AAWSC Adjustable tilt arm wall bracket and surface conduit box ⁵
	P2	40K 4000K	R3 Type 3 Wide	HVOLT (347V-480V) ³	
	P3	50K 5000K	R3S Type 3 Short	(use specific voltage for options as noted)	
	P4		R4 Type 4 Wide	120 ³ 277 ⁴	
			R4S Type 4 Short	208 ³ 347 ⁴	
			RS Type 5 Wide ¹	240 ³ 480 ⁴	
			R5S Type 5 Short ¹		
			AFR Automotive Front Row		
			AFRR90 Automotive Front Row Right Rotated		
			AFRL90 Automotive Front Row Left Rotated		

Options		Finish
Shipped Installed	Shipped Installed	DDBXD Dark Bronze
HS House-side shield ⁶	*Standalone and Networked Sensors/Controls (factory default settings, see table page 9)	DBLXD Black
PE Photocontrol, button style ¹⁸	NLTAR2 nLight AIR generation 2 ^{14, 23, 34}	DNAXD Natural Aluminum
PEX Photocontrol external threaded, adjustable ^{5, 9}	PIRHN Networked, Bi-Level motion/ambient sensor (for use with NLTAR2) ^{14, 15, 5}	DWHXD White
PER7 Seven-wire twist-lock receptacle only (no controls) ^{4, 10, 1, 7}	*Note: PIRHN with nLight Air can be used as a standalone or networked solution. Sensor coverage pattern is affected when luminaire is tilted.	DDBTXD Textured Dark Bronze
CE34 Conduit entry 3/4" NPT (Qty 2)	Shipped Separately (requires some field assembly)	DBLTXD Textured Black
SF Single fuse (120, 277, 347) ⁴	EGS External glare shield ⁶	DNATXD Textured Natural Aluminum
DF Double fuse (208, 240, 480) ⁴	EGFV External glare full visor (360° around light aperture) ⁶	DWHGXD Textured White
SPD20KV 20KV Surge pack (10KV standard)	BS Bird spikes ¹⁶	
FAO Field adjustable output ^{4, 12}		
DMG 0-10V dimming extend out back of housing for external control (control ordered separate) ^{4, 12}		



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Lithonia RSX1 Area LED
Rev. 02/17/20
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Ordering Information

Accessories

Ordered and shipped separately

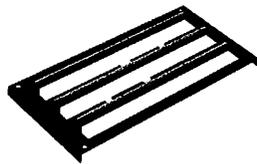
RSX1HS	RSX1 House side shield (includes 1 shield)
RSX1HSAFRR U	RSX1 House side shield for AFR rotated optics (includes 1 shield)
RSX1EGS (FINISH) U	External glares hield (specify finish)
RSX1EGV (FINISH) U	External glare full visor (specify finish)
RSXRPA (FINISH) U	RSX Universal round pole adaptor plate (specify finish)
RSXWBA (FINISH) U	RSX WBA wall bracket (specify finish) ¹
RSXSCB (FINISH) U	RSX Surface conduit box (specify finish, for use with WBA, WBA not included)
DL127F 1.5 JU	Photocell -SSL twist-lock (120-277V) ¹⁷
DL1347F 1.5 CUL JU	Photocell -SSL twist-lock (347V) ¹⁷
DL1480F 1.5 CUL JU	Photocell -SSL twist-lock (480V) ¹⁷
DSHORT SBX U	Shorting cap ¹⁷

NOTES

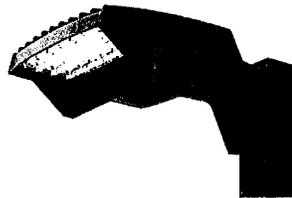
- Any Type 5 distribution, is not available with WBA.
- MVOLT driver operates on any line voltage from 120-277V (50/60 Hz).
- HVOLT driver operates on any line voltage from 347-480V (50/60 Hz).
- Single fuse (SF) requires 120V, 277V or 347V. Double fuse (DF) requires 208V, 240V or 480V.
- Maximum tilt is 90° above horizontal.
- It may be ordered as an accessory.
- Requires MVOLT or 347V.
- Not available in combination with other light sensing control options (following options cannot be combined: PE, PEX, PER7, FAO, DMG, PIRHN).
- Requires 120V, 208V, 240V, 277V or 347V.
- Twistlock photocell ordered and shipped as a separate line item from Acuity Brands Controls. See accessories. Shorting Cap included. Dimming leads capped for future use.

- For units with option PER7, the mounting must be restricted to +/- 45° from horizontal aim per ANSI C136.10-2010.
- Two or more of the following options cannot be combined including DMG, PER7, FAO and PIRHN.
- Must be ordered with PIRHN.
- Requires MVOLT or HVOLT.
- Must be ordered with NLTAIR2. For additional information on PIRHN visit www.acuitybrands.com.
- Must be ordered with fixture for factory pre-drilling.
- Requires luminaire to be specified with PER7 option. Ordered and shipped as a separate line item from Acuity Brands Controls.

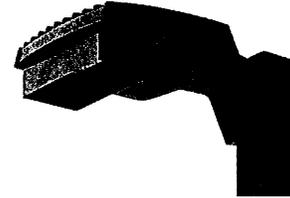
External Shields



House Side Shield



External Glare Shield

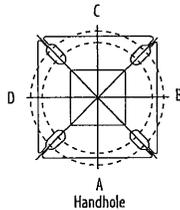


External 360 Full Visor

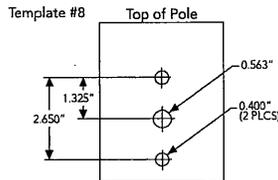
Pole/Mounting Information

Accessories including bullhorns, cross arms and other adapters are available under the accessories tab at Lithonia's Outdoor Poles and Arms product page. Click here to visit Accessories.

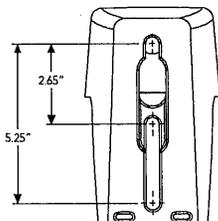
HANDHOLE ORIENTATION



RSX POLE DRILLING



RSX STANDARD ARM & ADJUSTABLE ARM



Round Tenon Mount - Pole Top Slipfitters

Tenon O.D.	RSX Mounting	Single	2 @ 180°	2 @ 90°	3 @ 120°	3 @ 90°	4 @ 90°
2-3/8"	RPA, AARP	AS3-5190	AS3-5280	AS3-5290	AS3-5320	AS3-5390	AS3-5490
2-7/8"	RPA, AARP	AST25-190	AST25-280	AST25-290	AST25-320	AST25-390	AST25-490
4"	RPA, AARP	AST35-190	AST35-280	AST35-290	AST35-320	AST35-390	AST35-490

Drill/Side Location by Configuration Type

Drilling Template	Mounting Option	Single	2 @ 180°	2 @ 90°	3 @ 120°	3 @ 90°	4 @ 90°
#8	Head Location	Side B	Side B & D	Side B & C	Round Pole Only	Side B, C & D	Side A, B, C & D
#8	Drill Nomenclature	DM19AS	DM28AS	DM29AS	DM32AS	DM39AS	DM49AS

RSX1 - Luminaire EPA

*Includes luminaire and integral mounting arm. Other tenons, arms, brackets or other accessories are not included in this EPA data.

Fixture Quantity & Mounting Configuration	Single	2 @ 90°	2 @ 180°	3 @ 90°	3 @ 120°	4 @ 90°	2 Side by Side	3 Side by Side	4 Side by Side	
Mounting Type	Tilt									
SPA - Square Pole Adaptor	0°	0.57	1.03	1.05	1.52	1.36	2.03	1.31	1.7	2.26
RPA - Round Pole Adaptor		0.62	1.08	1.15	1.62	1.46	2.13	1.36	1.8	2.36
MA - Mast Arm Adaptor		0.49	0.95	0.89	1.36	1.2	1.87	1.23	1.54	2.1
IS - Integral Slipfitter AASP/AARP - Adjustable Arm Square/Round Pole	0°	0.57	1.03	1.05	1.52	1.36	2.03	1.31	1.7	2.26
	10°	0.68	1.34	1.33	2	1.74	2.64	1.35	2.03	2.71
	20°	0.87	1.71	1.73	2.56	2.26	3.42	1.75	2.62	3.49
	30°	1.24	2.19	2.3	3.21	2.87	4.36	2.49	3.73	4.97
	40°	1.81	2.68	2.98	3.85	3.68	5.30	3.62	5.43	7.24
	45°	2.11	2.92	3.44	4.2	4.08	5.77	4.22	6.33	8.44
	50°	2.31	3.17	3.72	4.52	4.44	6.26	4.62	6.94	9.25
	60°	2.71	3.66	4.38	5.21	5.15	7.24	5.43	8.14	10.86
	70°	2.78	3.98	4.54	5.67	5.47	7.91	5.52	8.27	11.03
	80°	2.76	4.18	4.62	5.97	5.76	8.31	5.51	8.27	11.03
90°	2.73	4.25	4.64	6.11	5.91	8.47	5.45	8.18	10.97	

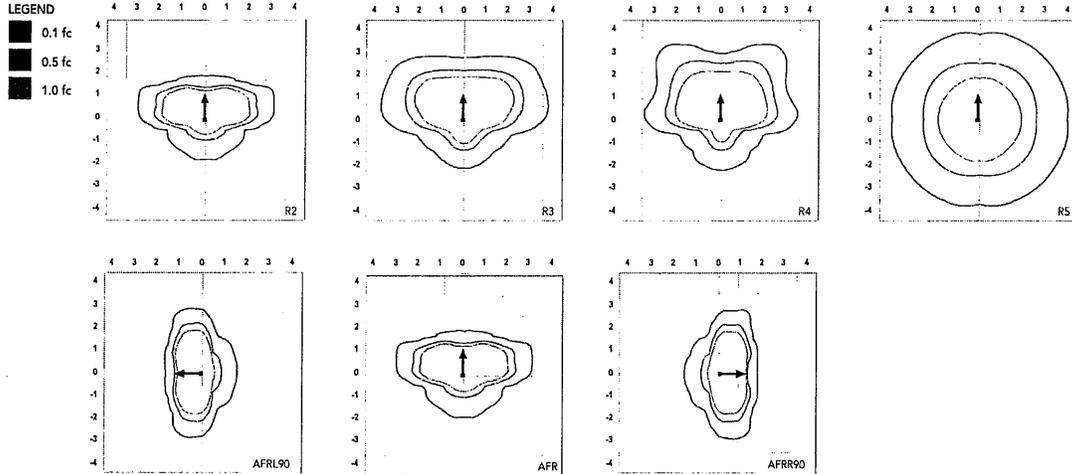




Photometric Diagrams

To see complete photometric reports or download .ies files for this product, visit Lithonia Lighting's RSX Area homepage.

Isofootcandle plots for the RSX1 LED P4 40K. Distances are in units of mounting height (20').



Performance Data

Lumen Ambient Temperature (LAT) Multipliers

Use these factors to determine relative lumen output for average ambient temperatures from 0-50°C (32-122°F).

Ambient	Ambient	Lumen Multiplier
0°C	32°F	1.05
5°C	41°F	1.04
10°C	50°F	1.03
15°C	59°F	1.02
20°C	68°F	1.01
25°C	77°F	1.00
30°C	86°F	0.99
35°C	95°F	0.98
40°C	104°F	0.97
45°C	113°F	0.96
50°C	122°F	0.95

Electrical Load

Performance Package	System Watts (W)	Current (A)					
		120V	208V	240V	277V	347V	480V
P1	51W	0.42	0.25	0.21	0.19	0.14	0.11
P2	72W	0.60	0.35	0.30	0.26	0.21	0.15
P3	109W	0.91	0.52	0.45	0.39	0.31	0.23
P4	133W	1.11	0.64	0.55	0.48	0.38	0.27

Projected LED Lumen Maintenance

Operating Hours	50,000	75,000	100,000
Lumen Maintenance Factor	>0.97	>0.95	>0.92

Values calculated according to IESNA TM-21-11 methodology and valid up to 40°C.



Submitted by West Michigan Lighting & Controls



Job Name:
COPESED Administration Building - Lighting
Engineer: Nealis Engineering (Traverse City)

Catalog Number:
RSX1 LED P1 30K R3 MVOLT HS
SPA FAO DDBXD
Notes:

Type:
SL3

WML20-120159

Performance Data

Lumen Output

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown, within the tolerances allowed by Lighting Facts. Contact factory for performance data on any configurations not shown here.

Performance Package	System Watts	Distribution Type	30K (3000K, 70 CRI)					40K (4000K, 70 CRI)					50K (5000K, 70 CRI)				
			Lumens	B	U	G	LPW	Lumens	B	U	G	LPW	Lumens	B	U	G	LPW
P1	51W	R2	6,482	1	0	1	126	7,121	1	0	1	139	7,121	1	0	1	139
		R3	6,459	1	0	2	127	7,096	1	0	2	139	7,096	1	0	2	139
		R3S	6,631	1	0	1	129	7,286	1	0	2	142	7,286	1	0	2	142
		R4	6,543	1	0	2	128	7,189	1	0	2	141	7,189	1	0	2	141
		R4S	6,313	1	0	1	124	6,936	1	0	1	136	6,936	1	0	1	136
		R5	6,631	3	0	2	130	7,286	3	0	2	143	7,286	3	0	2	143
		R5S	6,807	3	0	1	133	7,479	3	0	1	147	7,479	3	0	1	147
		AFR	6,473	1	0	1	127	7,112	1	0	1	139	7,112	1	0	1	139
		AFRR90	6,535	2	0	2	127	7,179	2	0	2	140	7,179	2	0	2	140
		AFRL90	6,562	2	0	1	128	7,210	2	0	2	140	7,210	2	0	2	140
P2	72W	R2	8,991	2	0	1	123	9,878	2	0	1	135	9,878	2	0	1	135
		R3	8,959	2	0	2	124	9,843	2	0	2	137	9,843	2	0	2	137
		R3S	9,198	2	0	2	126	10,106	2	0	2	139	10,106	2	0	2	139
		R4	9,077	2	0	2	126	9,972	2	0	2	139	9,972	2	0	2	139
		R4S	8,757	1	0	2	122	9,622	2	0	2	134	9,622	2	0	2	134
		R5	9,198	4	0	2	128	10,106	4	0	2	140	10,106	4	0	2	140
		R5S	9,443	3	0	1	131	10,374	3	0	1	144	10,374	3	0	1	144
		AFR	8,979	2	0	1	125	9,865	2	0	1	137	9,865	2	0	1	137
		AFRR90	9,064	3	0	2	124	9,959	3	0	2	137	9,959	3	0	2	137
		AFRL90	9,102	3	0	2	125	10,001	3	0	2	137	10,001	3	0	2	137
P3	109W	R2	12,808	2	0	1	117	14,072	2	0	2	129	14,072	2	0	2	129
		R3	12,763	2	0	2	117	14,023	2	0	2	129	14,023	2	0	2	129
		R3S	13,104	2	0	2	120	14,397	2	0	2	132	14,397	2	0	2	132
		R4	12,930	2	0	2	119	14,206	2	0	2	130	14,206	2	0	2	130
		R4S	12,475	2	0	2	114	13,707	2	0	2	126	13,707	2	0	2	126
		R5	13,104	4	0	2	120	14,397	4	0	2	132	14,397	4	0	2	132
		R5S	13,452	3	0	2	123	14,779	3	0	2	136	14,779	3	0	2	136
		AFR	12,791	2	0	1	117	14,053	2	0	2	129	14,053	2	0	2	129
		AFRR90	12,913	3	0	3	118	14,187	3	0	3	130	14,187	3	0	3	130
		AFRL90	12,967	3	0	2	118	14,247	3	0	3	130	14,247	3	0	3	130
P4	133W	R2	14,943	2	0	2	112	16,417	2	0	2	123	16,417	2	0	2	123
		R3	14,890	2	0	3	112	16,360	2	0	3	123	16,360	2	0	3	123
		R3S	15,287	2	0	2	115	16,796	2	0	2	126	16,796	2	0	2	126
		R4	15,085	2	0	3	113	16,574	2	0	3	125	16,574	2	0	3	125
		R4S	14,554	2	0	2	109	15,991	2	0	2	120	15,991	2	0	2	120
		R5	15,287	4	0	2	115	16,796	4	0	2	126	16,796	4	0	2	126
		R5S	15,693	4	0	2	118	17,242	4	0	2	130	17,242	4	0	2	130
		AFR	14,923	2	0	2	112	16,395	2	0	2	123	16,395	2	0	2	123
		AFRR90	15,065	3	0	3	113	16,551	3	0	3	124	16,551	3	0	3	124
		AFRL90	15,128	3	0	3	114	16,621	3	0	3	125	16,621	3	0	3	125



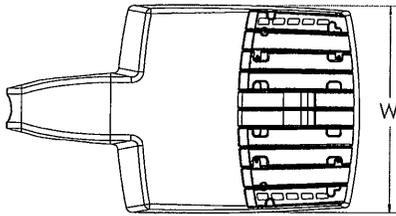
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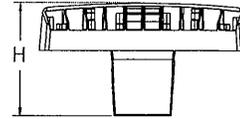
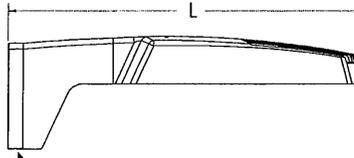


Dimensions

RSX1 with Round Pole Adapter (RPA)



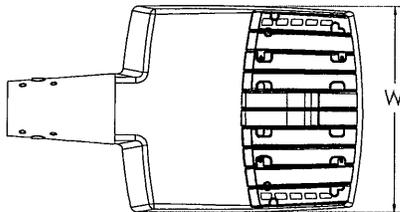
Length: 22.8" (57.9 cm)
Width: 13.3" (33.8 cm)
Height: 3.0" (7.6 cm) Main Body
7.2" (18.4 cm) Arm



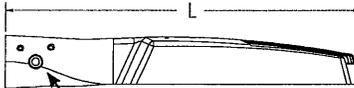
Note: RPA — Round Pole mount can also be used to mount on square poles by omitting the round pole adapter plate shown here.



RSX1 with Mast Arm Adapter (MA)

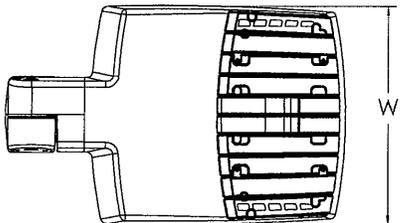


Length: 23.2" (59.1 cm)
Width: 13.3" (33.8 cm)
Height: 3.0" (7.6 cm) Main Body
3.5" (8.9 cm) Arm

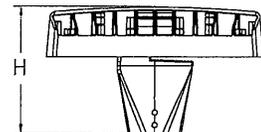
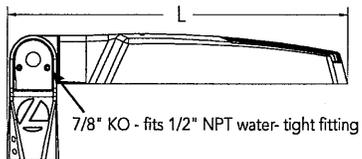


7/16" locking thru bolt/nut provided

RSX1 with Adjustable Slipfitter (IS)



Length: 20.7" (52.7 cm)
Width: 13.3" (33.8 cm)
Height: 3.0" (7.6 cm) Main Body
7.6" (19.3 cm) Arm



7/8" KO - fits 1/2" NPT water-tight fitting



Job Name:
COPESD Administration Building - Lighting
Engineer: Nealis Engineering (Traverse City)

Catalog Number:
RSX1 LED P1 30K R3 MVOLT HS
SPA FAO DDBXD
Notes:

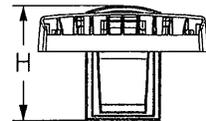
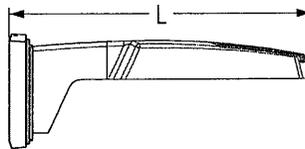
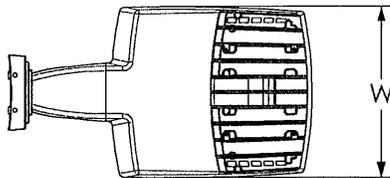
Type:

SL3

WML20-120159

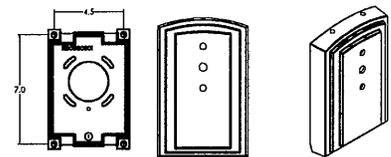
Dimensions

RSX1 with Wall Bracket (WBA)

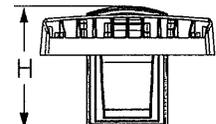
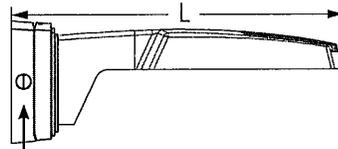
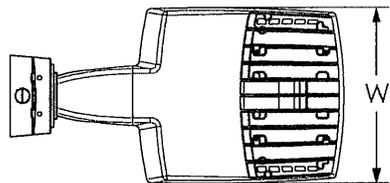


Length: 23.6" (59.9 cm)
Width: 13.3" (33.8 cm)
Height: 3.0" (7.6 cm) Main Body
8.9" (22.6 cm) Arm

Wall Bracket (WBA) Mounting Detail



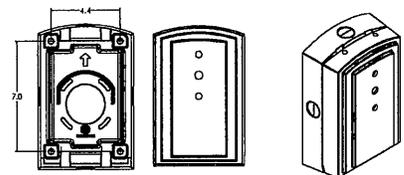
RSX1 with Wall Bracket with Surface Conduit Box (WBASC)



3/4" NPT taps with plugs - Qty (4) provided

Length: 25.3" (64.3 cm)
Width: 13.3" (33.8 cm)
Height: 3.0" (7.6 cm) Main Body
9.2" (23.4 cm) Arm

Surface Conduit Box (SCB) Mounting Detail



COMMERCIAL OUTDOOR

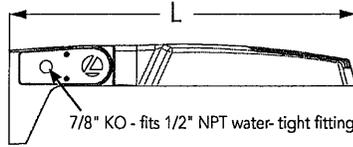
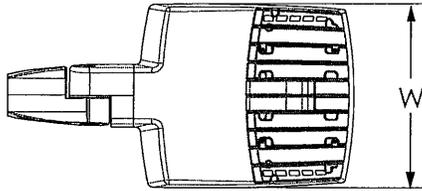
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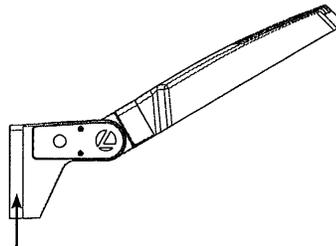


Dimensions

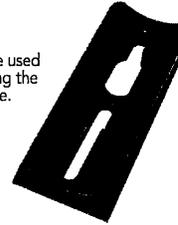
RSX1 with Adjustable Tilt Arm - Square or Round Pole (AASP or AARP)



Length: 25.3" (65.3 cm) AASP
26.3" (66.8 cm) AARP
Width: 13.3" (33.8 cm)
Height: 3.0" (7.6 cm) Main Body
7.2" (18.2 cm) Arm



NOTE:
RPA - Round Pole mount can also be used to mount on square poles by omitting the round pole adapter plate shown here.

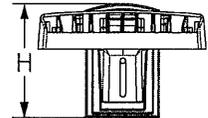
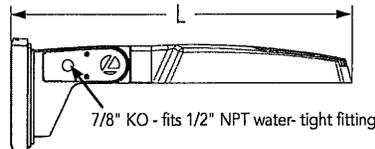
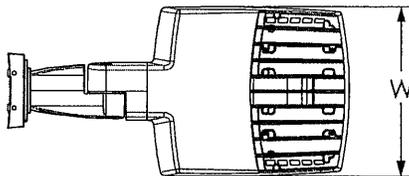


Notes

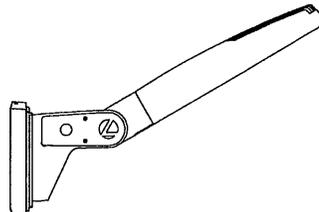
AASP: Requires 3.0" min. square pole for 1 at 90°. Requires 3.5" min. square pole for mounting 2, 3, 4 at 90°.

AARP: Requires 3.2" min. dia. round pole for 2, 3, 4 at 90°. Requires 3.0" min. dia. round pole for mounting 1 at 90°, 2 at 180°, 3 at 120°.

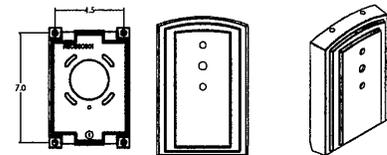
RSX1 with Adjustable Tilt Arm with Wall Bracket (AAWB)



Length: 27.1" (68.8 cm)
Width: 13.3" (33.8 cm)
Height: 3.0" (7.6 cm) Main Body
8.9" (22.6 cm) Arm



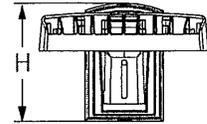
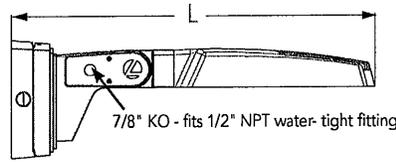
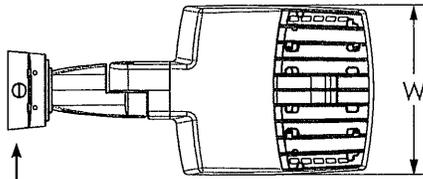
Wall Bracket (WBA) Mounting Detail





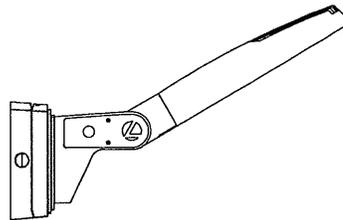
Dimensions

RSX1 with Adjustable Tilt Arm with Wall Bracket and Surface Conduit Box (AAWSC)

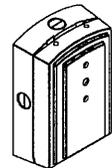
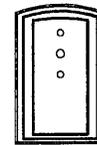
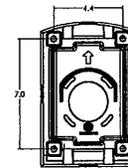


3/4" NPT taps
with plugs - Qty (4)
provided

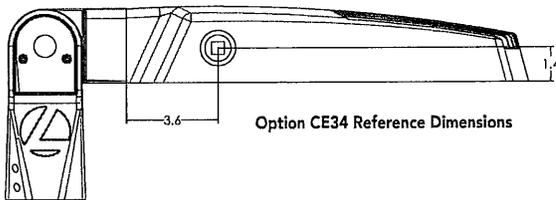
Length: 28.8" (73.2 cm)
Width: 13.3" (33.8 cm)
Height: 3.0" (7.6 cm) Main Body
9.2" (23.4 cm) Arm



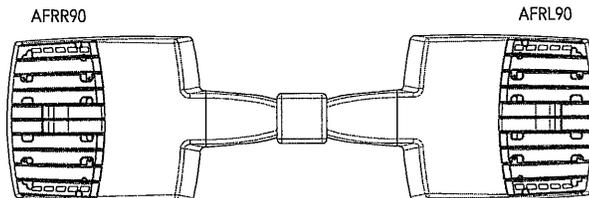
Surface Conduit Box (SCB) Mounting Detail



Additional Reference Drawings



Automotive Front Row - Rotated Optics (AFRL90/R90)



COMMERCIAL OUTDOOR



Job Name:
COPESED Administration Building - Lighting
Engineer: Nealis Engineering (Traverse City)

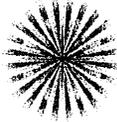
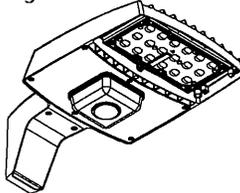
Catalog Number:
RSX1 LED P1 30K R3 MVOLT HS
SPA FAO DDBXD
Notes:

Type:
SL3

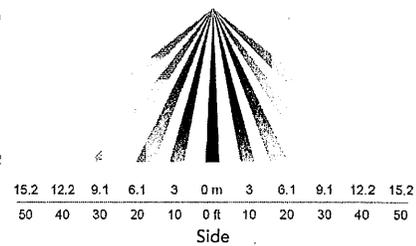
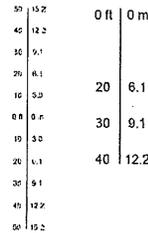
WML20-120159

nLight Control - Sensor Coverage and Settings

PIRHN nLight Sensor
Coverage Pattern
nLight PIRHN



Top



Motion Sensor Defaults Settings - Option PIRHN						
Option	Dimmed State (unoccupied)	High Level (when occupied)	Photocell Operation	Dwell Time (occupancy time delay)	Ramp-up Time (from unoccupied to occupied)	Ramp-down Time (from occupied to unoccupied)
PIRHN	Approx. 30% Output	100% Output	Enabled @ 1.5FC	7.5 minutes	3 seconds	5 minutes

*Note: PIRHN default settings including photocell set-point, high/low dim rates, and occupancy sensor time delay are all configurable using the Clarity Pro App.

FEATURES & SPECIFICATIONS

INTENDED USE

The RSX LED area family is designed to provide a long-lasting, energy-efficient solution for the one-for-one replacement of existing metal halide or high pressure sodium lighting. The RSX1 delivers 7,000 to 17,000 lumens and is ideal for replacing 70W to 400W HID pole-mounted luminaires in parking lots and other area lighting applications.

CONSTRUCTION

The RSX LED area luminaire features a rugged die-cast aluminum main body that uses heat-dissipating fins and flow-through venting to provide optimal thermal management that both enhances LED performance and extends component life. Integral "no drill" mounting arm allows the luminaire to be mounted on existing pole drillings, greatly reducing installation labor. The light engines and housing are sealed against moisture and environmental contaminants to IP66. The low-profile design results in a low EPA, allowing pole optimization. All mountings are rated for a 1.5 G vibration load per ANSI C136.31. WITH Vibration rated per ANSI C136.31: 3G Mountings: SPA, RPA, MA, IS, AASP, and AARP rated for 3G vibration. 1.5G Mountings: WBA, WBASC, AAWB and AAWSA rated for 1.5G vibration.

FINISH

Exterior parts are protected by a zinc-infused Super Durable TGIC thermoset powder coat finish that provides superior resistance to corrosion and weathering. A tightly controlled multi-stage process ensures superior adhesion as well as a minimum finish thickness of 3 mils. The result is a high-quality finish that is warranted not to crack or peel.

OPTICS

Precision acrylic refractive lenses are engineered for superior application efficiency, distributing the light to where it is needed most. Available in short and wide pattern distributions including Type 2, Type 3, Type 3S, Type 4, Type 4S, Type 5, Type 5S, AFR (Automotive Front Row), and AFR rotated AFRR90 and ARFL90.

ELECTRICAL

Light engine(s) configurations consist of high-efficacy LEDs mounted on metal-core circuit boards and aluminum heat sinks to maximize heat dissipation. Light engines are IP66 rated. LED lumen maintenance is >L92/100,000 hours. CCT's of 3000K, 4000K and 5000K (minimum 70 CRI) are available. Class 1 electronic drivers ensure system power factor >90% and THD <20%. Easily serviceable 10kV surge protection device meets a minimum Category C Low operation (per ANSI/IEEE C62.41.2).

STANDARD CONTROLS

The RSX LED area luminaire has a wide assortment of control options. Dusk to dawn controls include MVOLT and 347V button-type photocells and NEMA twist-lock photocell receptacles.

nLIGHT AIR CONTROLS

The RSX LED area luminaire is also available with nLight@ AIR for the ultimate in wireless control. This powerful controls platform provides out-of-the-box basic motion sensing with photocontrol functionality and is suitable for mounting heights up to 40 feet. No commissioning is required when using factory default settings that provide basic stand-alone motion occupancy dimming that is switched on and off with a built-in photocell. See chart above for motion sensor default out-of-box settings. For more advanced wireless functionality, such as group dimming, nLight AIR can be commissioned using a smartphone and the easy-to-use CLAIRITY app. nLight AIR equipped luminaires can be grouped, resulting in motion sensor and photocell group response without the need for additional equipment. Scheduled dimming with motion sensor over-ride can be achieved when used with the nLight Eclipse. Additional information about nLight Air can be found here.

INSTALLATION

Integral "no-drill" mounting arm allows for fast, easy mounting using existing pole drillings. Select the "SPA" option for square poles and the "RPA" option to mount to round poles. Note, the RPA mount can also be used for mounting to square poles by omitting the RPA adapter plate. Select the "MA" option to attach the luminaire to a 2 3/8" horizontal mast arm or the "IS" option for an adjustable slipfitter that mounts on a 2 3/8" OD tenon. The adjustable slipfitter has an integral junction box and offers easy installation. Can be tilted up to 90° above horizontal. Additional mountings are available including a wall bracket, adjustable tilt arm for direct-to-pole and wall and a surface conduit box for wall mount applications.

LISTINGS

CSA Certified to meet U.S. and Canadian standards. Suitable for wet locations. Rated for -40°C minimum ambient. DesignLights Consortium® (DLC) Premium qualified product and DLC qualified product. Not all versions of this product may be DLC Premium qualified or DLC qualified. Please check the DLC Qualified Products List at www.designlights.org/DLP, to confirm which versions are qualified.

WARRANTY

5-year limited warranty. Complete warranty terms located at: www.acuitybrands.com/us/en/customer-support/terms-and-conditions

Note: Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25 °C. Specifications subject to change without notice.



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Lithonia RSX1 Area LED
Rev. 02/17/20
Page 9 of 9

Submitted by West Michigan Lighting & Controls	Catalog Number: SSA 12 4C DM19AS DDB	Type:
	Job Name: COPESD Administration Building - Lighting Engineer: Nealis Engineering (Traverse City)	SL3 WML20-120159
Notes:		



FEATURES & SPECIFICATIONS

INTENDED USE — These specifications are for USA standards only. Check with factory for Canadian specifications. Square Straight Aluminum is a general purpose light pole for up to 35-foot mounting heights. This pole provides a lighter and naturally corrosion-resistant option for mounting area light fixtures and floodlights.

CONSTRUCTION — **Pole Shaft:** The pole shaft is of uniform wall thickness and is made of extruded 6000 series aluminum alloy tubing that is heat treated to a T6 temper to provide maximum strength. The shaft is uniformly square in cross-section with flat sides, small corner radii and excellent torsional qualities. Available shaft widths are 4", 5", 6" and 6.75".

Pole Top: Options include tenon top, drilled for side mount fixture, tenon with drilling (includes extra hand-hole) and open top. A cast aluminum top cap is provided for all poles that will receive drilling patterns for side-mount luminaire arm assemblies or when ordered with open top (PT) option. The top cap resists intrusion of moisture and environmental contaminants.

Handhole: A handhole opening with grounding provision is provided near the base. Standard positioning varies with shaft width as follows: 4" shaft, handhole at 12"; 5" shaft, handhole at 14"; 6" and 6.75" shaft, handhole at 18" on side A. Positioning the handhole lower than standard may not be possible and requires engineering review; consult Tech Support-Outdoor for further information. Every handhole includes a cover and cover attachment hardware. The handhole for a pole specified with a 4" or 5" shaft width has a nominal dimension of 2" x 4"; the handhole for a pole specified with a 6" or 6.75" width has a nominal dimension of 2.63" x 5".

Anchor Base/ Cover/ Bolts: Anchor base is cast from 356 alloy aluminum and is supplied with 4 nut cover disks. A full 2-piece cast aluminum anchor base cover is available as an option.

Anchor bolts are manufactured to ASTM F1554 Standards Grade 55, (55 KSI minimum yield strength and tensile strength of 75-95 KSI). Upper portion of anchor bolt is galvanized per ASTM A-153; bolts have an "L" bend on bottom end and are galvanized a minimum of 12" on the threaded end.

FINISH — Extra durable painted finish is coated with TGIC (Triglycidyl Isocyanurate) Polyester powder that meets SA and SB classifications of ASTM D3359. Standard powder-coat finishes include Dark Bronze, White, Black, Medium Bronze and Natural Aluminum colors. Classic finishes include Sandstone, Charcoal Gray, Tennis Green, Bright Red and Steel Blue colors. Other finishes include Brushed Aluminum, and Anodized Dark Bronze, Anodized Natural Aluminum and Anodized Black. Architectural Colors and Special Finishes are available by quote and include, but are not limited to RAL Colors, Custom Colors and Extended Warranty Finishes. Factory-applied primer paint finish is available for customer field-paint applications.

WARRANTY — 1-year limited warranty. Complete warranty terms located at:
www.aquitybrands.com/CustomerResources/Terms_and_conditions.aspx

NOTE: Actual performance may differ as a result of end-user environment and application.

Catalog Number
Notes
Type



Anchor Base Poles

SSA

SQUARE STRAIGHT ALUMINUM

Specifications subject to change without notice.

See footnotes next page.

OUTDOOR

POLE-SSA



SSA Square Straight Aluminum Poles

ORDERING INFORMATION

Lead times will vary depending on options selected. Consult with your sales representative.

Example: SSA 20 4C DM19 BA

SSA Series	Nominal fixture mounting height	Nominal shaft base size/wall thickness	Mounting ²	Options	Finish ¹⁰
SSA	8'-35' (for 1/2 ft increments, add -6 to the pole height. Ex: 20-6 equals 20ft 6in.) (See technical information table for complete ordering information.) 12	(See technical information table for complete ordering information.) 4C	Tenon mounting PT Open top T20 2-3/8" O.D. (2" NPS) T25 2-7/8" O.D. (2-1/2" NPS) T30 3-1/2" O.D. (3" NPS) ³ T35 4" O.D. (3-1/2" NPS) ³ Drill mounting⁴ DM19 1 at 90° DM28 2 at 180° DM28PL 2 at 180° with one side plugged DM29 2 at 90° DM39 3 at 90° DM49 4 at 90° CSX/DSX/AERIS™/OMERO™/HLA/KAX Drill mounting⁴ DM19AS 1 at 90° DM28AS 2 at 180° DM29AS 2 at 90° DM39AS 3 at 90° DM49AS 4 at 90° AERIS™ Suspend drill mounting^{4,5} DMxxAST_ OMERO™ Suspend drill mounting^{4,5} DMxxMRT_	Shipped/installed L/AB Less anchor bolts (Include when anchor bolts are not needed) VD Vibration damper TP Tamper proof HAxy Horizontal arm bracket (1 fixture) ^{4,7} FDLxy Festoon outlet less electrical ⁶ CPL12/xy 1/2" coupling ⁶ CPL34/xy 3/4" coupling ⁶ CPL1/xy 1" coupling ⁶ NPL12/xy 1/2" threaded nipple ⁶ NPL34/xy 3/4" threaded nipple ⁶ NPL1/xy 1" threaded nipple ⁶ EHHxy Extra handhole ^{6,8} MAEX Match existing ⁹ USPOM United States point of manufacture ⁹ UL UL listed wit label (Includes NEC compliant cover) NEC NEC 410.30 compliant gasketed handhole (Not UL Labeled) Shipped separately (replacement kit available) (blank) BLTC Bolt caps FBC Full base cover (spun aluminum) (blank) TC Top cap (with drill-mount poles) (blank) HHC Handhole cover	Standard colors DDBXD Dark bronze DWH White DBLXD Black DMB Medium bronze DNA Natural aluminum Brushed Finish BA Brushed aluminum Classic colors DSS Sandstone DGC Charcoal gray DTG Tennis green DBR Bright red DSB Steel blue Class 1 architectural anodized ABL Black ADB Dark bronze ANA Natural Architectural colors (powder finish)¹¹

NOTES

- Wall thickness will be signified by the letter "C", "G" or "J". C represents a 0.125" thickness, "G" represents a 0.188 thickness and "J" represents a 0.250" thickness.
- When ordering tenon mounting and drill mounting for the same pole, follow this example: DM28/T20. The combination includes a required extra handhole.
- 3-1/2" and 4" O.D. tenons available on 5" and 6" shafts only.
- Refer to the fixture spec sheet for the correct drilling template pattern and orientation compatibility. Refer to the Anchor Bolt Matrix with Generic Template Link at <http://www.acuitybrands.com/-/media/Files/Acuity/Resources/Tools-and-Documents/Pole%20Resources/Pole%20Anchorage/Matrix%20Document/AnchorBoltMatrix.pdf?la=en>
- Insert "1" or "2" to designate fixture size; e.g. DM19AST2.
- Specify location and orientation when ordering option. For "x": Specify the height in feet above base of pole. Example: 5ft = 5 and 20ft, 3in = 20-3 For "y": Specify orientation from handhole (A,B,C,D) Refer to the Handhole Orientation diagram on this page. Example: 1/2" coupling at 5'8", orientation C: SSA 20 4C DM19 CPL12/S-8C DDB
- Horizontal arm is 18" x 2-3/8" O.D. tenon standard, with radius curve providing 12" rise and 2-3/8" O.D. If ordering two horizontal arm at the same height, specify with HAxy. Example: HA20BD
- Combination of tenon-top and drill mount includes extra handhole.
- Must add original order number
- Use when mill certifications are required.
- Finish must be specified. Additional colors available; see www.lithonia.com/archcolors or Architectural Colors brochure (Form No. 794.3).



POLE-SSA

OUTDOOR: One Lithonia Way Conyers, GA 30012 Phone: 770-922-9000 www.lithonia.com

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Rev. 11/15/18

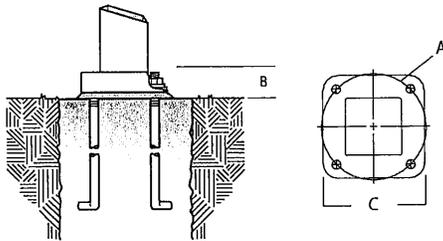


SSA Square Straight Aluminum Poles

TECHNICAL INFORMATION — EPA (ft²) with 1.3 gust

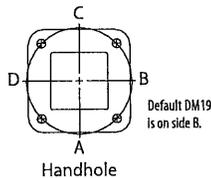
Catalog number	Nominal mount ht. (ft) *	Pole shaft size (in x ft)	Wall thick (in)	80 mph	90 mph	100 mph	Max. weight (lbs)	Bolt size (in. x in. x in.)	Approximate ship (lbs.)
SSA 8 4C	8	4.0 x 8.0	0.125	16.5	12.6	9.9	300	3/4 x 18 x 3	32
SSA 10 4C	10	4.0 x 10.0	0.125	11.5	8.6	6.5	230	3/4 x 18 x 3	37
SSA 12 4C	12	4.0 x 12.0	0.125	12.4	9.2	6.9	160	3/4 x 18 x 3	40
SSA 14 4C	14	4.0 x 14.0	0.125	9.3	6.7	4.8	120	3/4 x 18 x 3	50
SSA 15 4C	15	4.0 x 15.0	0.125	8	5.6	3.9	100	3/4 x 18 x 3	52
SSA 16 4C	16	4.0 x 16.0	0.125	6.9	4.7	3.1	90	3/4 x 18 x 3	54
SSA 16 4G	16	4.0 x 16.0	0.188	11.8	8.5	6.2	130	3/4 x 30 x 3	74
SSA 16 5G	16	5.0 x 16.0	0.188	15	11.1	7.5	280	3/4 x 30 x 3	83
SSA 18 4C	18	4.0 x 18.0	0.125	4.9	3	1.7	70	3/4 x 18 x 3	57
SSA 18 4G	18	4.0 x 18.0	0.188	9.2	6.4	4.4	100	3/4 x 30 x 3	80
SSA 18 5G	18	5.0 x 18.0	0.188	16.8	12.2	8.9	230	3/4 x 30 x 3	91
SSA 20 4C	20	4.0 x 20.0	0.125	3.3	1.7	0.5	40	3/4 x 18 x 3	62
SSA 20 4G	20	4.0 x 20.0	0.188	7	4.6	2.9	80	3/4 x 30 x 3	85
SSA 20 5G	20	5.0 x 20.0	0.188	13.6	9.5	6.6	180	3/4 x 30 x 3	107
SSA 20 6G	20	6.0 x 20.0	0.188	22	15.9	11.6	230	1 x 36 x 4	155
SSA 20 6J	20	6.0 x 20.0	0.25	30.4	22.6	17	300	1 x 36 x 4	202
SSA 25 5G	25	5.0 x 25.0	0.188	7.2	4.2	2	110	3/4 x 30 x 3	130
SSA 25 6G	25	6.0 x 25.0	0.188	13.2	8.6	5.4	180	1 x 36 x 4	180
SSA 25 6J	25	6.0 x 25.0	0.25	19.7	13.8	9.5	250	1 x 36 x 4	224
SSA 30 6G	30	6.0 x 30.0	0.188	7	3.4	0.8	130	1 x 36 x 4	210
SSA 30 6J	30	6.0 x 30.0	0.25	12.2	7.5	4.1	170	1 x 36 x 4	258
SSA 32 6J	32	6.0 x 32.0	0.25	9.7	5.4	2.3	160	1 x 36 x 4	272
SSA 35 6J	35	6.0 x 35.0	0.25	6.4	2.6	—	200	1 x 36 x 4	294
SSA 35 7J	35	6.75 x 35.0	0.25	7.6	3.1	—	150	1 x 36 x 4	290

* EPA values are based ASCE 7-93 wind map. For 1/2 ft increments, add -6 to the pole height. Ex: 20-6 equals 20ft 6in.



POLE DATA						
Shaft base size	Bolt circle (in) A	Bolt projection (in) B	Base square (in) C	Bolt Size	Template description	Anchor bolt description
4C	8.5 - 9.625	3.125	9.938	3/4 x 18 x 3	ABTEMPLATE PJ50045	AB18-0
4G	8.5 - 9.625	3.125	9.938	3/4 x 30 x 3	ABTEMPLATE PJ50045	AB30-0
5	10.5 - 11.5	3.25	11.563	3/4 x 30 x 3	ABTEMPLATE PJ50046	AB30-0
6	12-13	4	12.25	1 x 36 x 4	ABTEMPLATE PJ50044	AB36-0
7	14.625	4.125	15	1 x 36 x 4	ABTEMPLATE PJ50130	AB36-0

HANDHOLE ORIENTATION



IMPORTANT INSTALLATION NOTES:

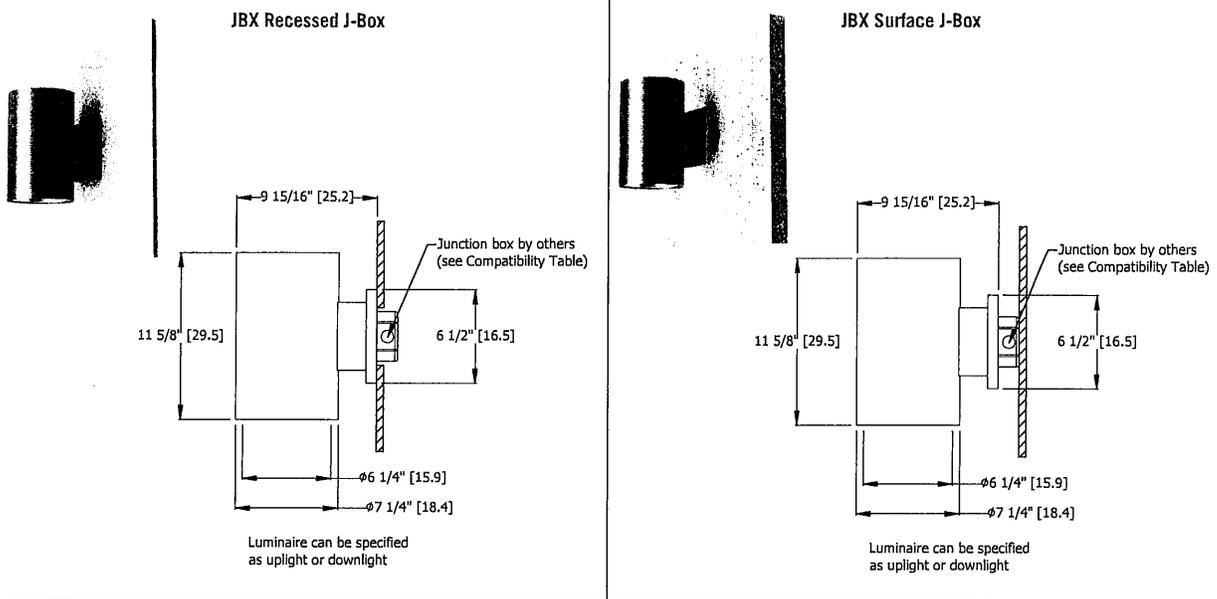
- Do not erect poles without having fixtures installed.
- Factory-supplied templates must be used when setting anchor bolts. Lithonia Lighting will not accept claim for incorrect anchorage placement due to failure to use factory template.
- If poles are stored outside, all protective wrapping must be removed immediately upon delivery to prevent finish damage.
- Lithonia Lighting is not responsible for the foundation design.



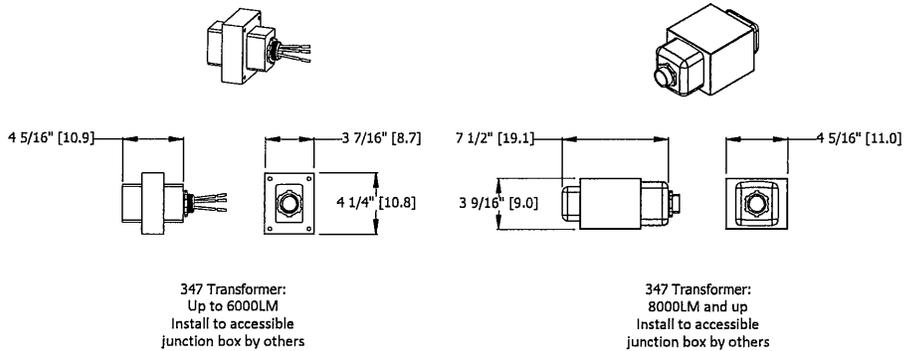


6" General Illumination Wall Mount Cylinder

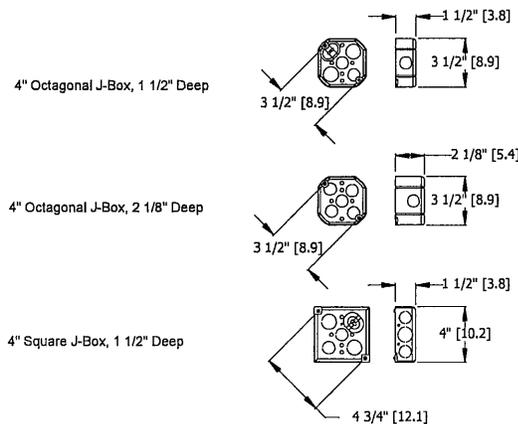
DIMENSIONAL DATA



347V Stepdown Transformer



Junction Box Dimensions (by others)



*Dimensions in inches [centimeters]



Job Name:
COPESD Administration Building - Lighting
Engineer: Nealis Engineering (Traverse City)

Catalog Number:
EVO6WC 30/10 AR LS MD MVOLT
GZ1 JBX DN WL DWH
Notes:

Type:

AA

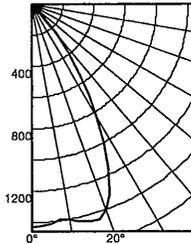
WML20-120159



6" General Illumination Wall Mount Cylinder

Photometry

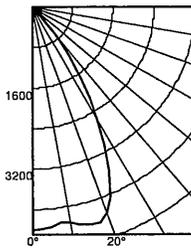
EVO6WC 35/15 AR MWD LS INPUT WATTS: 14.7, DELIVERED LUMENS: 1471LM, LPW= 100, 1.03 S/MH, TEST NO. LTL27783P



Ave Lumens	Zone Lumens	% Lamp	pl pc pw	80%			20%			50%		
				50%	30%	10%	50%	30%	10%	50%	30%	10%
0	1431		0	119	119	119	116	116	116	111	111	111
5	1410	134	1	111	108	106	109	106	104	105	103	101
15	1442	405	2	103	99	96	101	98	95	98	95	93
25	1161	523	3	96	91	87	95	90	87	92	88	85
35	540	332	4	90	84	80	89	84	80	87	82	79
45	78	72	5	84	78	74	83	78	74	81	77	73
55	3	4	6	79	73	69	78	73	69	77	72	68
65	1	1	7	74	68	64	74	68	64	72	67	63
75	0	1	8	70	64	60	69	64	60	68	63	59
85	0	0	9	66	60	56	65	60	56	64	59	56
90	0		10	62	56	52	62	56	52	61	56	52

Initial FC		50% beam -		10% beam -		
Height	Center	Beam	Diameter	FC	Diameter	FC
8.0	47.3	5.7	23.7	8.9	4.7	
10.0	25.4	7.7	12.7	12.1	2.5	
12.0	15.9	9.8	7.9	15.3	1.6	
14.0	10.8	11.8	5.4	18.6	1.1	
16.0	7.9	13.9	3.9	21.8	0.8	

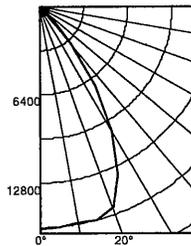
EVO6WC 35/45 AR MWD LS INPUT WATTS: 47.3, DELIVERED LUMENS: 4532.7LM, LPW= 95.8, 1.03 S/MH, TEST NO. LTL27783P



Ave Lumens	Zone Lumens	% Lamp	pl pc pw	80%			20%			50%		
				50%	30%	10%	50%	30%	10%	50%	30%	10%
0	4411		0	119	119	119	116	116	116	111	111	111
5	4346	413	1	111	108	106	109	106	104	105	103	101
15	4443	1247	2	103	99	96	101	98	95	98	95	93
25	3578	1610	3	96	91	87	95	90	87	92	88	85
35	1865	1024	4	90	84	80	89	84	80	87	82	79
45	242	222	5	84	78	74	83	78	74	81	77	73
55	8	12	6	79	73	69	78	73	69	77	72	68
65	2	3	7	74	68	64	74	68	64	72	67	63
75	1	2	8	70	64	60	69	64	60	68	63	59
85	0	0	9	66	60	56	65	60	56	64	59	56
90	0		10	62	56	52	62	56	52	61	56	52

Initial FC		50% beam -		10% beam -		
Height	Center	Beam	Diameter	FC	Diameter	FC
8.0	145.8	5.7	72.9	8.9	14.6	
10.0	78.4	7.7	39.2	12.1	7.8	
12.0	48.9	9.8	24.4	15.3	4.9	
14.0	33.4	11.8	16.7	18.6	3.3	
16.0	24.2	13.9	12.1	21.8	2.4	

EVO6WC 35/175 AR MWD LS INPUT WATTS: 175.3, DELIVERED LUMENS: 17801LM, LPW=101.5, 1.06 S/MH, TEST NO. ISF 34035P



Ave Lumens	Zone Lumens	% Lamp	pl pc pw	80%			20%			50%		
				50%	30%	10%	50%	30%	10%	50%	30%	10%
0	16146		0	119	119	119	116	116	116	111	111	111
5	15998	1521	1	111	108	106	108	106	104	104	103	101
15	16006	4479	2	103	98	95	101	97	94	98	95	92
25	13352	6001	3	95	90	86	94	89	86	91	87	84
35	7018	4289	4	89	83	79	88	82	78	85	81	77
45	1470	1299	5	83	77	72	82	76	72	80	75	71
55	100	156	6	77	71	67	77	71	67	75	70	66
65	37	38	7	73	66	62	72	66	62	71	65	61
75	13	14	8	68	62	58	67	62	57	66	61	57
85	2	2	9	64	58	54	63	58	54	62	57	53
90	0		10	60	54	50	60	54	50	59	54	50

Initial FC		50% beam -		10% beam -		
Height	Center	Beam	Diameter	FC	Diameter	FC
8.0	533.7	5.8	266.9	9.2	53.4	
10.0	287.0	7.9	143.5	12.5	28.7	
12.0	178.9	10.0	89.4	15.9	17.9	
14.0	122.1	12.1	61.0	19.2	12.2	
16.0	88.6	14.3	44.3	22.6	8.9	



Job Name:
COPESED Administration Building - Lighting
Engineer: Nealis Engineering (Traverse City)

Catalog Number:
EVO6WC 30/10 AR LS MD MVOLT
GZ1 JBX DN WL DWH
Notes:

Type:

AA

WML20-120159



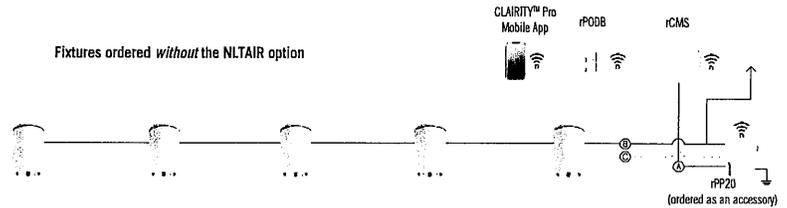
6" General Illumination Wall Mount Cylinder

nLIGHT AIR

Possibilities for nLight® AIR

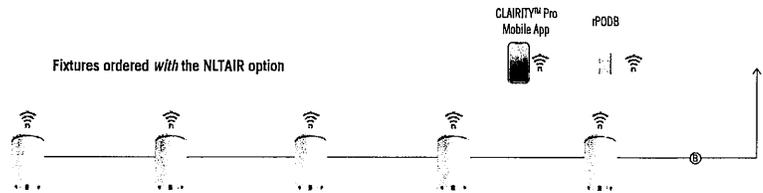
nLight® AIR is the ideal solution for retrofit or new construction spaces where adding communication wiring is cost prohibitive. The integrated nLight AIR rPP20 Power Pack is part of each EVO Luminaire ordered with the NLTAIR option. These individually addressable controls offer the ultimate in flexibility during initial setup and for space repurposing.

Fixtures ordered without the NLTAIR option



nLight® AIR Control Accessories	
<i>Order as separate catalog number. Visit nLight AIR.</i>	
Wall Switches	Model Number
On/Off single pole	rPODB (color) G2
On/Off two pole	rPODB 2P (color) G2
On/Off & raise/lower single pole	rPODB DX (color) G2
On/Off & raise/lower two pole	rPODB 2P DX (color) G2

Fixtures ordered with the NLTAIR option



nLight® AIR Control Accessories (cont.)	
Occupancy Sensors (PIR/dual tech)	Model Number
Small motion 360°, ceiling	rCMS 9 / rCMS PDT 9
Large motion 360°, ceiling	rCMS 10 / rCMS PDT 10

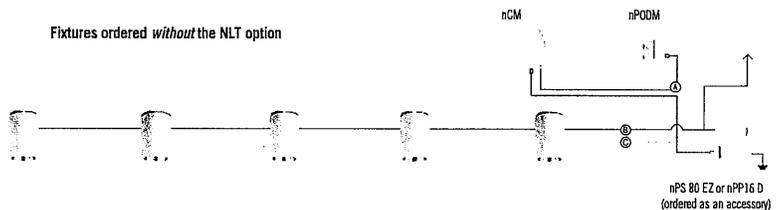


nLIGHT

Possibilities for nLight® wired

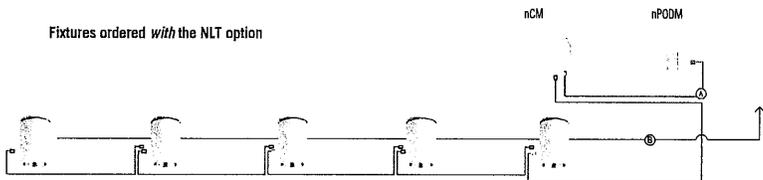
nLight® Wired The nLight® solution is a digital networked lighting control system that provides both energy savings and increased user configurability by cost effectively integrating time-based, daylight-based, sensor-based and manual lighting control schemes.

Fixtures ordered without the NLT option

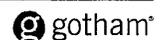
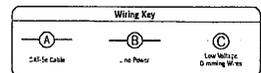


nLight® Wired Control Accessories	
<i>Order as separate catalog number. Visit nLight.</i>	
Wall Switches	Model Number
On/Off single pole	nPODM (XX)
On/Off two pole	nPODM 2P (XX)
On/Off & raise/lower single pole	nPOD DX (XX)
On/Off & raise/lower two pole	nPODM 2P DX (XX)
Graphic touchscreen	nPOD GFX (XX)
Photocell Controls	
Dimming	nCM ADCX

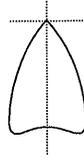
Fixtures ordered with the NLT option



nLight® Wired Control Accessories (cont.)	
Occupancy Sensors (PIR/dual tech)	Model Number
Small motion 360°, ceiling	nCM 9 / nCM PDT 9
Large motion 360°, ceiling	nCM 10 / nCM PDT 10
Wide View	nWV 16 / nWV PDT 16
Wall switch with raise/lower	nWSX LV DX / nWSX PDT LV DX
Cat-5 Cables (plenum rated)	
10', CAT5	CAT5 10FT J1
15', CAT5	CAT5 15FT J1



gotham | EVO
Multiple Layers of Light



Luminaire Type: _____
Catalog Number: _____

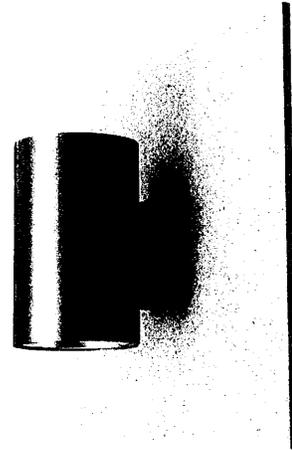


General Illumination Wall Mount Cylinder 6"

OVERVIEW

Feature Set

- Batwing distribution with feathered edges provides even illumination on horizontal and vertical surfaces
- Bounding Ray™ optical design
- 45° cutoff to source and source image
- Fully serviceable lensed LED light engine
- 70% lumen maintenance at 60,000 hours
- 2.5 SDCM; 85 CRI typical, 90+ CRI optional
- Fixtures are damp location standard; wet location option (WL)
- 20 standard colors in textured and gloss finish; custom or RAL colors also available
- Field configurable surface junction box conduit covers available
- ENERGY STAR® Certified product



Distribution

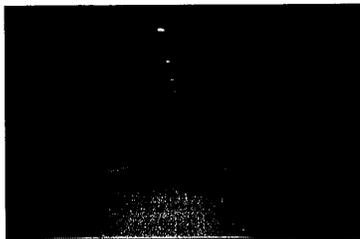


Superior Performance

Nominal Lumens	250	500	750	1000	1500	2000	2500	3000	3500	4000	4500	5000	6000	8000
Delivered Lumens	297	519	776	994	1471	2006	2537	3077	3542	4027	4533	5256	6371	8247
Wattage	3.4	6.2	8.2	9.6	14.7	19.7	24.7	29.5	33.8	39.0	47.3	48.7	57.6	74.9
Lumens per Watt	87.4	83.7	94.6	103.5	100.1	101.8	102.7	104.3	104.8	103.3	95.8	107.9	110.6	110.1

COMPLIMENTARY PRODUCTS

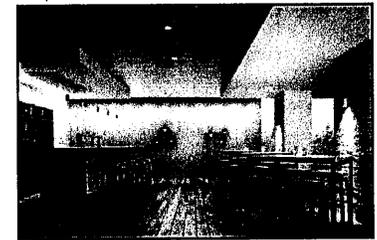
Coordinated Apertures | Multiple Layers of Light



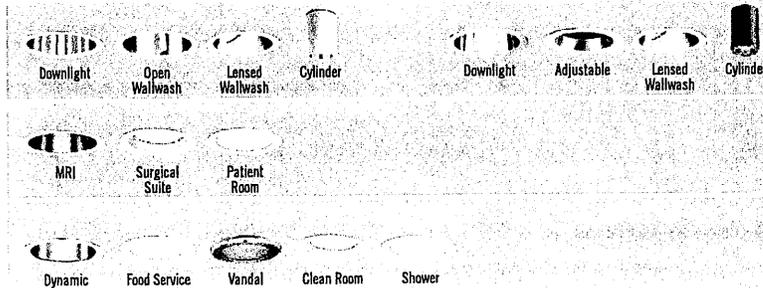
General Illumination Layer I EVO



High Center Beam Layer I Incito



EVO + Incito — Multiple Layers of Light



Core

Healthcare

Special Applications

EVO6WC
page 1 of 7

GOTHAM ARCHITECTURAL DOWNLIGHTING | 1400 Lester Road Conyers, GA 30012 | P 800-705-SERV (7378) | gothamlighting.com
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The product images shown are for illustration purposes only and may not be an exact representation of the product.

Submitted by West Michigan Lighting & Controls



Job Name:
COPESD Administration Building - Lighting
Engineer: Nealis Engineering (Traverse City)

Catalog Number:
EVO6WC 30/10 AR LS MD MVOLT
GZ1 JBX DN WL DWH
Notes:

Type:

AAE

WML20-120159



6"

General Illumination Wall Mount Cylinder

ORDERING INFORMATION

A+ Capable options indicated by this color background.

Luminaire Type: _____

Catalog Number: _____

EXAMPLE: EVO6WC 35/15 AR MWD LSS MVOLT EZ1 JBX DN DWHG

Series	Color Temperature	Lumens	Reflector Color	Distribution	Reflector Finish	Voltage
EVO6WC EVO 6in Wall Mount Round Cylinder Open Downlight	27/ 2700 K	02 250 lumens	AR Clear	VND Very narrow (0.5 s/mh)	LSS Semi-specular	MVOLT 120V - 277V
	30/ 3000 K	05 500 lumens	PR Pewter	ND Narrow (0.7 s/mh)	LD Matte diffuse	120 120V
	35/ 3500 K	07 750 lumens	WTR Wheat	MD Medium (0.9 s/mh)	LS Specular	277 277V
	40/ 4000 K	10 1000 lumens	GR Gold	MWD Medium wide (1.0 s/mh)		347 ² 347V
	50/ 5000 K	15 1500 lumens	WR ¹ White painted	WD Wide (1.2 s/mh)		
		20 2000 lumens	BR ¹ Black			
		25 2500 lumens	WRAMF ¹ White anti-microbial			
		30 3000 lumens	BZR ¹ Dark Bronze painted			
		35 3500 lumens				
		40 4000 lumens				
		45 4500 lumens				
		50 5000 lumens				
		60 6000 lumens				
	80 8000 lumens					

Driver ²	Mounting	Fixture Orientation
GZ10 0-10V driver dims to 10%	JBX Integral driver, Recessed or Surface J-box	DN Mounted with reflector pointing down
GZ1 0-10V driver dims to 1%		UP ⁶ Mounted with reflector pointing up
EZ10 eldoLED 0-10V ECODrive. Linear dimming to 10% min.		
EZ1 eldoLED 0-10V ECODrive. Linear dimming to 1% min.		
EZB eldoLED 0-10V SOLODrive. Logarithmic dimming to <1%.		
EDAB ⁵ eldoLED SOLOdrive DALI. Logarithmic dimming to <1%.		
EDXB ^{4,5} eldoLED POWERdrive DMX with RDM (remote device management). Square Law dimming to <1%. Min: 1000LM; Max: 8000LM.		
ECOS2 ³ Lutron® Hi-Lume® 2-wire forward-phase driver. 120V Only. Minimum dimming level 1%. Min: 1000LM; Max: 3500LM		
ECOD ⁵ Lutron® EcoSystem® digital Hi-Lume 1% soft-on, fade to black. Min: 250LM; Max: 1000LM.		

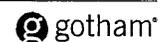
Control Interface ⁷	Options	Architectural Colors - Powder Paint ¹¹
(blank) No controls	SF Single fuse. Specify 120V or 277V.	DDB Gloss Dark Bronze
NLT nLight® dimming pack.	90CRI High CRI (90+)	DBL Gloss Black
NLTER ⁸ nLight® dimming pack for fixtures on emergency circuit	N80 nLight Lumen Compensation	DWH Gloss White
NLTAIR2 nLight® AIR dimming pack.	HAO ⁹ HAO High Ambient Option (40°C)	DMB Gloss Medium Bronze
NLTAIRER2 ² nLight® AIR dimming pack for fixtures on emergency circuit	WL ¹⁰ Wet Location	DNA Gloss Natural Aluminum
		DSS Gloss Sandstone
		DGC Gloss Charcoal Grey
		DTG Gloss Tennis Green
		DBR Gloss Bright Red
		DSB Gloss Steel Blue
		DDBT Textured Dark Bronze
		DBLB Matte Black
		DWHG Textured White
		DBNH Textured Bronze
		DNAT Textured Natural Aluminum
		DSST Textured Sandstone
		DSPD Textured Dark Grey
		DSPE Textured Green
		DSPH Textured Light Red
		DWHAMF Gloss White with Anti-microbial finish

ORDERING NOTES

- Not Available with Finishes.
- Factory supplied step down transformer must be remote mounted. Access required to location of remote mounted device.
- Refer to Tech 24Q for compatible dimmers.
- Includes terminator resistor.
- Not Available with Control Interfaces.
- For indoor use, damp location only.
- Field installed. Access required to location of remote mounted device.
- For use with generator supply EM power. Will require an emergency hot feed and normal hot feed.
- Only available up to 3500 lumens; not available with WL or ECOS2.
- Not available with UP. Max: 3500LM.
- For details on RAL and Custom colors please see [Architectural colors](#)

EVO6WC
page 2 of 7

GOTHAM ARCHITECTURAL DOWNLIGHTING | 1400 Lester Road Conyers, GA 30012 | P 800-705-SERV (7378) | gothamlighting.com
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The product images shown are for illustration purposes only and may not be an exact representation of the product.



Submitted by West Michigan Lighting & Controls	Catalog Number:	Type:
	Job Name: COPESD Administration Building - Lighting Engineer: Nealis Engineering (Traverse City)	EVO6WC 30/10 AR LS MD MVOLT GZ1 JBX DN WL DWH Notes:
		AAE WML20-120159



6" General Illumination Wall Mount Cylinder

SPECIFICATIONS

Optical Assembly

Fully serviceable and upgradeable lensed LED light engine suitable for field maintenance or service from below the ceiling. Optical design is a Bounding Ray™ design with 45° cutoff to source and source image. Top down flash characteristic for superior glare control.

Electrical

The luminaire shall operate from a 50 or 60 Hz ±3 Hz AC line over a voltage ranging from 120 VAC to 277 VAC. Support 347V via remote-mounted stepdown transformer. The fluctuations of line voltage shall have no visible effect on the luminous output. The luminaire shall have a power factor of 90% or greater at all standard operating voltages and full luminaire output. Sound Rated A+. Driver shall be >80% efficient at full load across all input voltages. Input wires shall be 18AWG, 300V minimum solid copper.

Controls

Luminaire shall be equipped with interface for nLight wired or nLight AIR networks with integral power supply as per specification.

Emergency

Luminaires supplied with a battery pack comply with NFPA 101 (Life Safety code) and deliver constant light output throughout the 90 minutes of code required emergency operation period when there is a normal AC power loss. Luminaires equipped with a generator transfer device work in conjunction with an auxiliary generator or a central inverter system to power fixtures for safe egress lighting.

Dimming

The luminaire shall be capable of continuous dimming without perceivable stroboscopic flicker as measured by flicker index (ANSI/IES RP-16-10) over a range of 100 – 10%, 100 – 1.0% or 100 – 0.1% of rated lumen output with a smooth shut off function to step to 0%. eldoLED LED drivers shall conform to IEEE P1789 standards. Alternatively, manufacturers must demonstrate conformance with product literature and testing which demonstrates this performance. Systems that do not meet IEEE P1789 will not be considered. Driver is inaudible in 24dB environment, and stable when input voltage conditions fluctuate over what is typically experienced in a commercial environment.

Construction

Heaving-gauge aluminum construction. Extruded body with flangeless reflector allows flow-through passive thermal management. Surface ceiling mount for direct installation to 4" recessed or surface octagonal junction box. Optional field configurable conduit covers available. Conduit covers match cylinder in finish and diameter. Wall mount can be oriented in up or down position. For wet location, specify WLL for lens.

Listings

Fixtures are CSA Certified to meet US and Canadian Standards; All fixtures manufactured in strict accordance with the appropriate and current requirements of the "Standards for Safety" to UL, damp location standard; wet location options available open under covered ceiling (WL) or lensed (WLL). Luminaire configurations are Energy Star certified through testing in EPA-recognized laboratories, with the results reviewed by an independent, accredited certification organization. Visit www.energystar.gov for specific configurations listed.

Photometrics

LEDs tested to LM-80 standards. Measured by IESNA Standard LM-79-08 in an accredited lab. Lumen output shall not decrease by more than 30% over the minimum operational life of 60,000 hours. Color appearance from luminaire to luminaire of the same type and in all configurations, shall be consistent both initially and at 6,000 hours and operate within a tolerance of <2.5 MacAdam ellipse as defined by the center of the quadrangles defined in ANSI C78.377-2015.

Warranty

5-year limited warranty. Complete warranty terms located at: www.acuitybrands.com/support/customer-support/terms-and-conditions

Note:

Actual performance may differ as a result of end user environment and application. All values are design or typical values, measured under laboratory conditions at 25 °C.

A+ Capable Luminaire

This item is an A+ capable luminaire, which has been designed and tested to provide consistent color appearance and out-of-the-box control compatibility with simple commissioning.

- All configurations of this luminaire meet the Acuity Brands' specification for chromatic consistency
- This luminaire is part of an A+ Certified solution for nLight® control networks when ordered with drivers marked by a **shaded background***
- This luminaire is part of an A+ Certified solution for nLight® control networks, providing advanced control functionality at the luminaire level, when selection includes driver and control options marked by a **shaded background***

To learn more about A+, visit www.acuitybrands.com/aplus.

*See ordering tree for details



6" General Illumination Wall Mount Cylinder

Tables of Use

Nomenclature	Min Dimming	Driver Dim Curve	Control Dim Curve
EZ10	10%	Linear	Linear/Logarithmic
EZ1	1%	Linear	Linear/Logarithmic
EZB	<1%	Logarithmic	Linear
EDAB	<1%	Logarithmic*	Linear
EDXB	<1%	Square	Linear

*Changeable through DALI controller

CRI	CCT	Multiplier
80	2700K	0.916
	3000K	0.948
	3500K	1
	4000K	1.032
	5000K	1.1
90	2700K	0.748
	3000K	0.8
	3500K	0.838
	4000K	0.845
	5000K	0.945

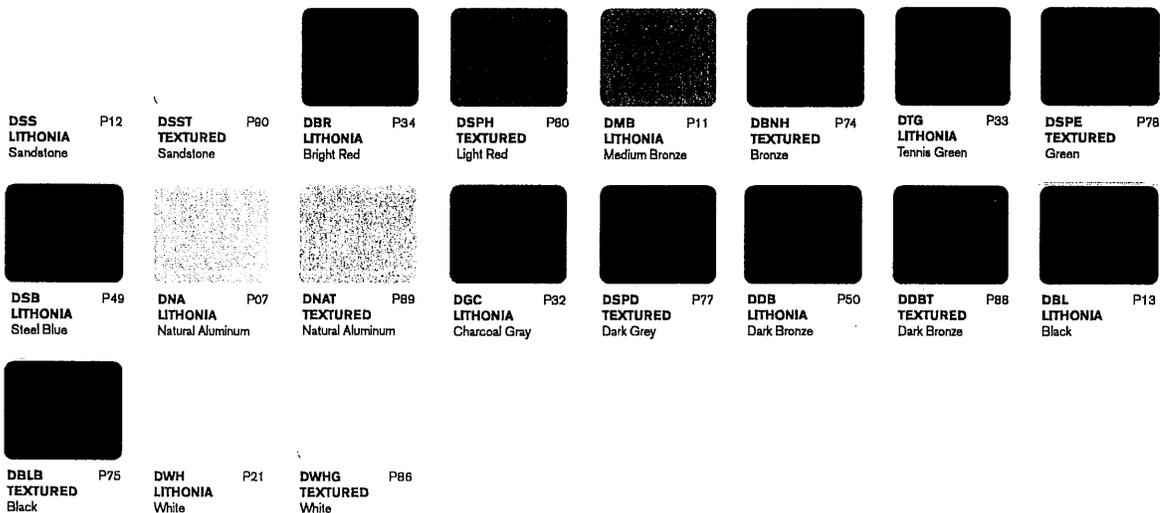
Reflector Finish	Multiplier
LS - Specular	1
LSS - Semi Specular	0.956
WR - White	0.87
LD - Matte Diffuse	0.85
BR - Black	0.73
BZR - Bronze	0.73

Nomenclature	Beam Angle	Field Angle
VND	30	64
ND	44	69
MD	54	82
MWD	67	89
WD	71	92

Nomenclature	Description	NLT	NLTER	NLTAIR2	NLTAIRER2
GZ10	0-10V driver dims to 10%	nPP16 D EFP	nPP16 D ER EFP	RPP20 D 24V G2	RPP20 D 24V ER G2
GZ1	0-10V driver dims to 1%	nPP16 D EFP	nPP16 D ER EFP	RPP20 D 24V G2	RPP20 D 24V ER G2
EZ10	eldoLED 0-10V EC0drive	nPS 80 EZ	nPS 80 EZ ER	RPP20 D 24V G2	RPP20 D 24V ER G2
EZ1	eldoLED 0-10V EC0drive	nPS 80 EZ	nPS 80 EZ ER	RPP20 D 24V G2	RPP20 D 24V ER G2
EZB	eldoLED 0-10V SOL0drive	nPS 80 EZ	nPS 80 EZ ER	RPP20 D 24V G2	RPP20 D 24V ER G2

Recommended J-box (by others)	J-box	Cylinder Configurations	
		JBX	JBX w/EDXB Driver
4" Octagonal 4x4x1.5 deep	✓	✓	✗
4" Octagonal 4x4x2.125 deep	✓	✓	✓
4" Square 4x4x1.5 deep	✓	✓	✗

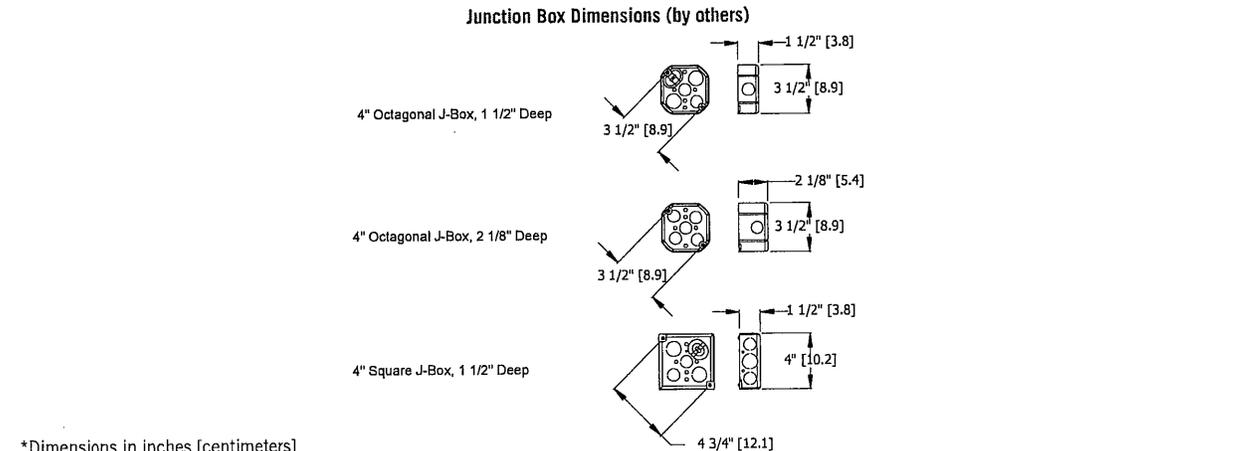
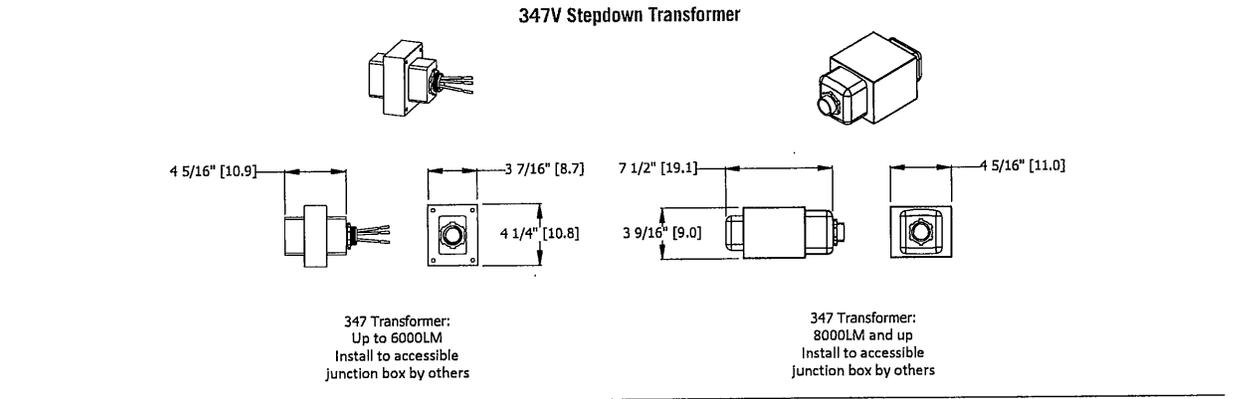
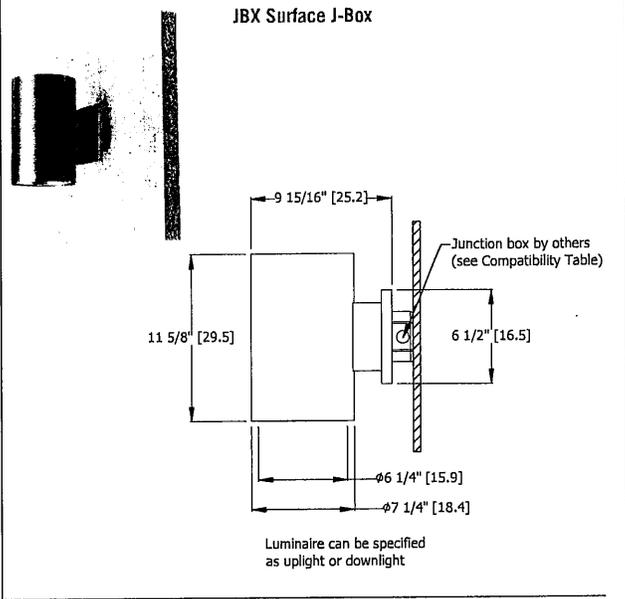
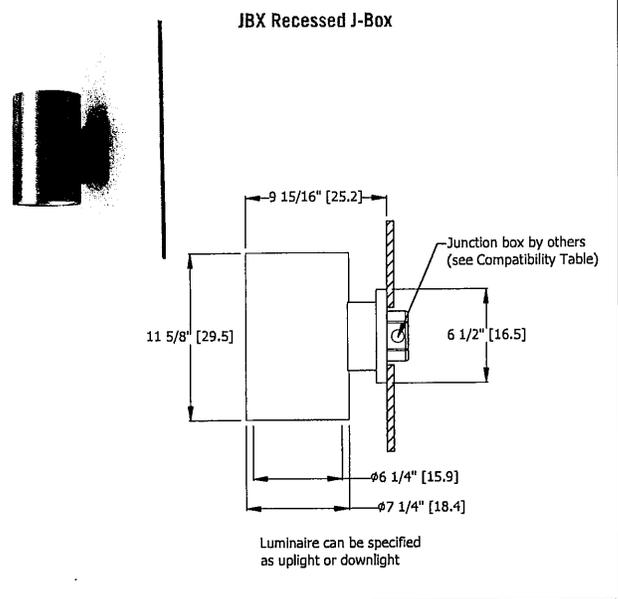
Standard Architectural Color Options for Cylinder Bodies



NOTE: These colors were carefully reproduced to give as true a depiction as possible of finished product color. Some colors, however, may vary slightly from actual appearance due to display/printing variations and limitations. Please always contact a Gotham representative for an accurate paint chip sample.

6" General Illumination Wall Mount Cylinder

DIMENSIONAL DATA



*Dimensions in inches [centimeters]



Job Name:
 COPESD Administration Building - Lighting
 Engineer: Nealis Engineering (Traverse City)

Catalog Number:
 EVO6WC 30/10 AR LS MD MVOLT
 GZ1 JBX DN WL DWH
 Notes:

Type:

AAE

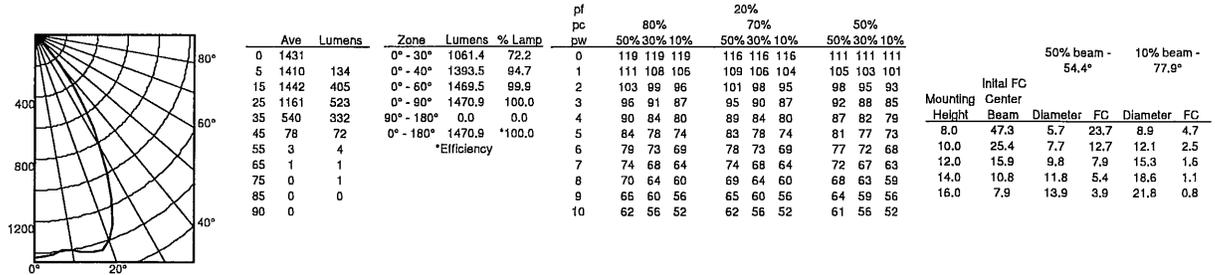
WML20-120159



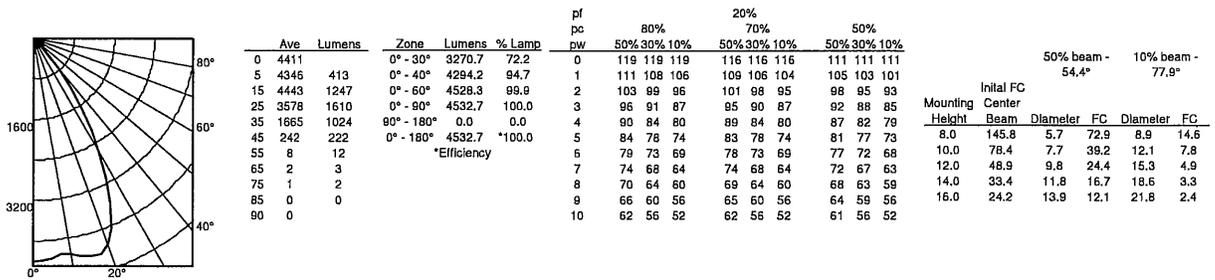
6" General Illumination Wall Mount Cylinder

Photometry

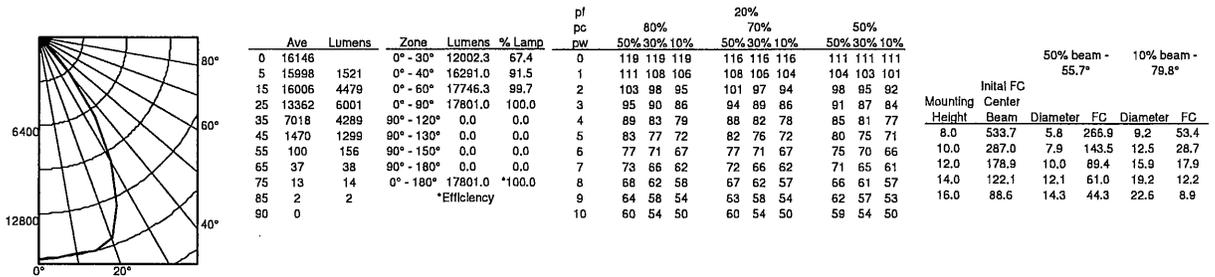
EVO6WC 35/15 AR MWD LS INPUT WATTS: 14.7, DELIVERED LUMENS: 1471LM, LPW= 100, 1.03 S/MH, TEST NO. LTL27783P



EVO6WC 35/45 AR MWD LS INPUT WATTS: 47.3, DELIVERED LUMENS: 4532.7LM, LPW= 95.8, 1.03 S/MH, TEST NO. LTL27783P



EVO6WC 35/175 AR MWD LS INPUT WATTS: 175.3, DELIVERED LUMENS: 17801LM, LPW=101.5, 1.06 S/MH, TEST NO. ISF 34035P





6" General Illumination Wall Mount Cylinder

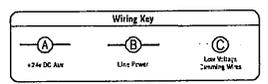
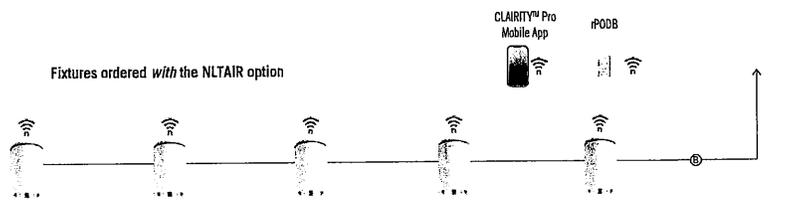
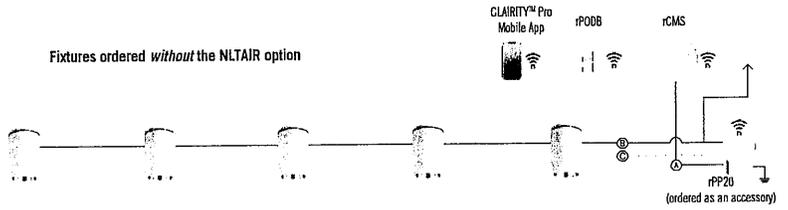
NLIGHT AIR

Possibilities for nLight® AIR

nLight® AIR is the ideal solution for retrofit or new construction spaces where adding communication wiring is cost prohibitive. The integrated nLight AIR rPP20 Power Pack is part of each EVO Luminaire ordered with the NLTAIR option. These individually addressable controls offer the ultimate in flexibility during initial setup and for space repurposing.

nLight® AIR Control Accessories	
<i>Order as separate catalog number. Visit nLight AIR.</i>	
Wall Switches	Model Number
On/Off single pole	rPODB (color) G2
On/Off two pole	rPODB 2P (color) G2
On/Off & raise/lower single pole	rPODB DX (color) G2
On/Off & raise/lower two pole	rPODB 2P DX (color) G2

nLight® AIR Control Accessories (cont.)	
Occupancy Sensors (PIR/dual tech)	Model Number
Small motion 360°, ceiling	rCMS 9 / rCMS PDT 9
Large motion 360°, ceiling	rCMS 10 / rCMS PDT 10



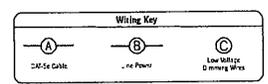
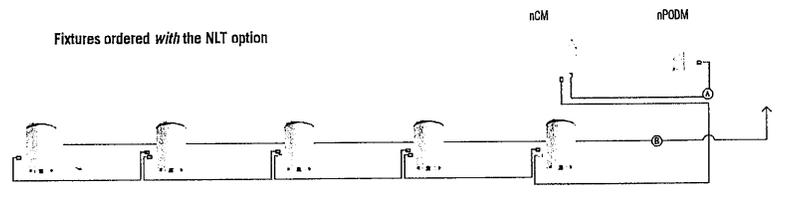
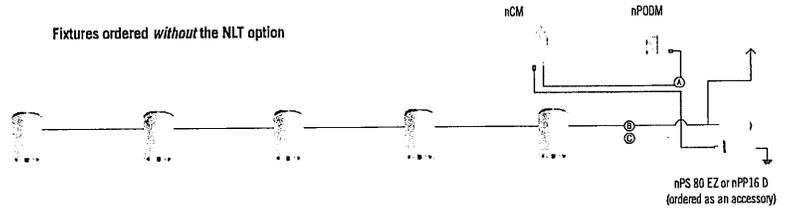
NLIGHT

Possibilities for nLight® wired

nLight® Wired The nLight® solution is a digital networked lighting control system that provides both energy savings and increased user configurability by cost effectively integrating time-based, daylight-based, sensor-based and manual lighting control schemes.

nLight® Wired Control Accessories	
<i>Order as separate catalog number. Visit nLight.</i>	
Wall Switches	Model Number
On/Off single pole	nPODM (XX)
On/Off two pole	nPODM 2P (XX)
On/Off & raise/lower single pole	nPOD DX (XX)
On/Off & raise/lower two pole	nPODM 2P DX (XX)
Graphic touchscreen	nPOD GFX (XX)
PhotoCell Controls	
Dimming	nCM ADCX

nLight® Wired Control Accessories (cont.)	
Occupancy Sensors (PIR/dual tech)	Model Number
Small motion 360°, ceiling	nCM 9 / nCM PDT 9
Large motion 360°, ceiling	nCM 10 / nCM PDT 10
Wide View	nWV 16 / nWV PDT 16
Wall switch with raise/lower	nWSX LV DX / nWSX PDT LV DX
Cat-5 Cables (plenum rated)	
10', CAT5	CAT5 10FT J1
15', CAT5	CAT5 15FT J1



Submitted by West Michigan Lighting & Controls



Job Name:
COPESD Administration Building - Lighting
Engineer: Nealis Engineering (Traverse City)

Catalog Number:
22 359 K3 XX

Notes:

Type:

BBE

WML20-120159

LED wall luminaire - light output on one side

BEGA

Application

This LED wall mounted luminaire has light output in one direction. Arranged individually or in groups, it is a great design element for a host of lighting applications. Downward orientation only.

Materials

Luminaire housing and constructed of die-cast marine grade, copper free ($\leq 0.3\%$ copper content) A360.0 aluminum alloy
Matte safety glass
High temperature silicone gasket
Mechanically captive stainless steel fasteners

NRTL listed to North American Standards, suitable for wet locations
Protection class IP65
Weight: 3.1 lbs

Electrical

Operating voltage	120-277VAC
Minimum start temperature	-20° C
LED module wattage	7.7 W
System wattage	10 W
Controllability	0-10V dimmable
Color rendering index	Ra > 80
Luminaire lumens	464 lumens (3000K)
LED service life (L70)	60,000 hours

LED color temperature

4000K - Product number + **K4 (EXPRESS)**
3500K - Product number + **K35**
3000K - Product number + **K3 (EXPRESS)**
2700K - Product number + **K27**
Amber - Product number + **AMB**

Wildlife friendly amber LED - Optional

Luminaire is optionally available with a narrow bandwidth, amber LED source (585-600nm) approved by the FWC. This light output is suggested for use within close proximity to sea turtle nesting and hatching habitats. Electrical and control information may vary from standard luminaire.

LED module wattage	6.0 W (Amber)
System wattage	10.3 W (Amber)
Luminaire lumens	101 lumens (Amber)

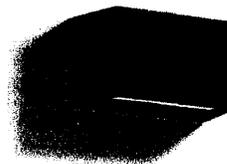
BEGA can supply you with suitable LED replacement modules for up to 20 years after the purchase of LED luminaires - see website for details

Finish

All BEGA standard finishes are matte, textured polyester powder coat with minimum 3 mil thickness.

Available colors	Black (BLK)	White (WHT)	RAL:
	Bronze (BRZ)	Silver (SLV)	CUS:

XX=To be selected



LED wall luminaire - light output on one side

	LED	A	B	C
22359	ADA 7.7 W	8 1/2	4 3/8	4

BEGA 1000 BEGA Way, Carpinteria, CA 93013 (805) 684-0533 info@bega-us.com

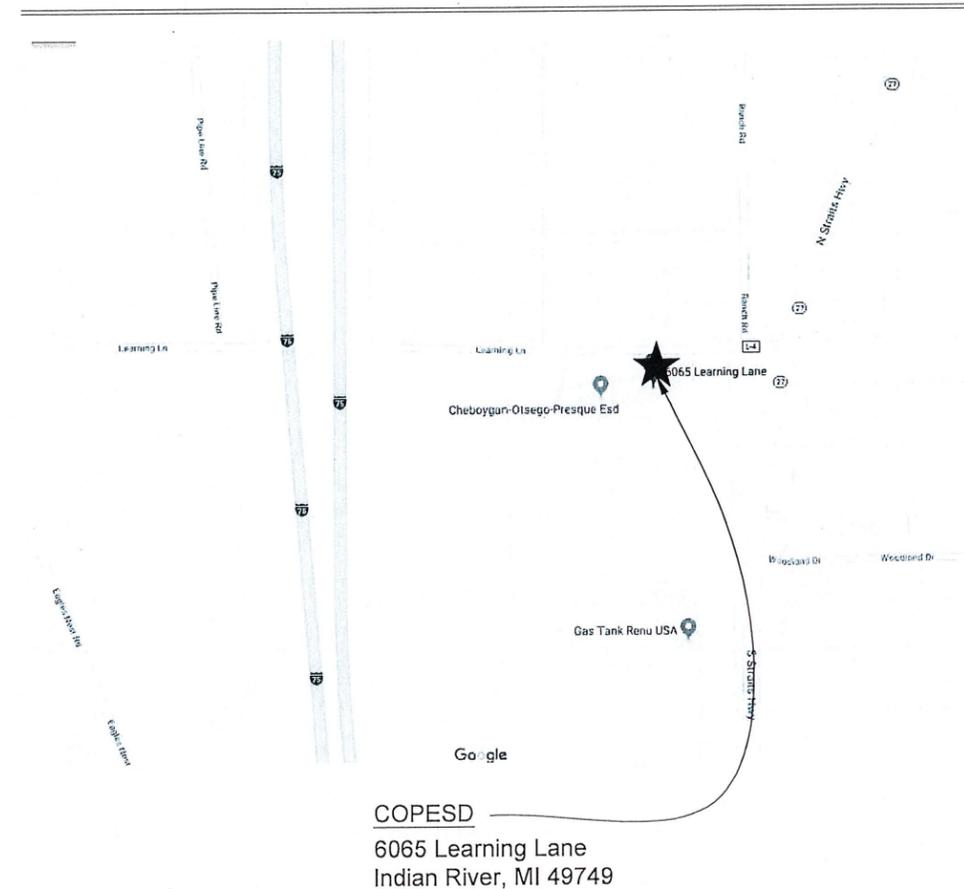
Due to the dynamic nature of lighting products and the associated technologies, luminaire data on this sheet is subject to change at the discretion of BEGA North America. For the most current technical data, please refer to bega-us.com © copyright BEGA 2018 Updated 03/19/19

Cheboygan Otsego Presque Isle ESD

Administration Building New Construction

5-13-2020 Permit Set

LOCATION MAP



COPESD
6065 Learning Lane
Indian River, MI 49749

NOTE TO OWNER:

THE FOLLOWING DRAWING MEETS WITH YOUR APPROVAL AND COMPLIES WITH THE CITY'S REQUIREMENTS. YOUR SIGNATURE BELOW WILL ACT AS APPROVAL TO PROCEED WITH DESIGN DEVELOPMENT.

NAME, TITLE _____ DATE _____

GENERAL NOTES

- OWNERSHIP AND USE OF DOCUMENTS:**
THIS IS AN INSTRUMENT OF PROFESSIONAL SERVICE AND SHALL REMAIN THE PROPERTY OF CORNERSTONE ARCHITECTS, INC. WHETHER THE PROJECT FOR WHICH IT IS MADE IS EXECUTED OR NOT. NO CHANGES, ALTERATIONS, ADDITIONS OR DELETIONS MAY BE MADE HERETO EXCEPT BY THE ARCHITECT AND SHALL NOT BE USED OR REPRODUCED BY ANYONE ON OTHER PROJECTS OR FOR COMPLETION OF THIS PROJECT BY OTHERS WITHOUT THE EXPRESS WRITTEN CONSENT OF CORNERSTONE ARCHITECTS, INC. SUBMISSION OR DISTRIBUTION TO MEET REGULATORY REQUIREMENTS OR FOR PURPOSES IN CONNECTION WITH THIS PROJECT IS NOT TO BE CONSTRUED AS PUBLICATION IN DEROGATION OF THE RIGHTS OF CORNERSTONE ARCHITECTS, INC.
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- ALL WORK AND MATERIALS SHALL BE IN FULL CONFORMANCE WITH THE LATEST FEDERAL, STATE AND LOCAL LAWS, CODES AND ORDINANCES, INCLUDING THEIR MOST RECENT REVISIONS, ADDITIONS, AMENDMENTS, AND INTERPRETATIONS. ALL SUCH CODES AND COMPLIANCE ARE TO BE DEEMED AS PART OF THIS CONTRACT AND PART OF THE CONSTRUCTION DOCUMENTS AS THEY HAVE BEEN WRITTEN IN FULL. IN THE EVENT OF CONFLICT, THE MOST STRINGENT REQUIREMENTS SHALL APPLY.
- ALL DIMENSIONS AND EXISTING CONDITIONS SHALL BE CHECKED AND VERIFIED BY THE CONTRACTOR AT THE SITE.
- HOLD INDICATED DIMENSIONS. DO NOT SCALE DRAWINGS. RESOLVE ANY DISCREPANCIES WITH THE ARCHITECT BEFORE BEGINNING WORK.
- IN THE CASE OF AN INCONSISTENCY BETWEEN THE DRAWINGS AND SPECIFICATIONS, OR WITHIN EITHER DOCUMENT NOT CLARIFIED BY ADDENDUM, THE BETTER QUALITY, MORE EXPENSIVE, OR GREATER QUANTITY OF WORK SHALL BE PROVIDED IN ACCORDANCE WITH THE ARCHITECT'S INTERPRETATION.
- ALL CONSTRUCTION THAT IS ALREADY IN PLACE THAT IS TO REMAIN AS PART OF THE PROJECT SHALL BE PROTECTED FROM DAMAGE AND SHALL BE PROTECTED THROUGHOUT THE PERIOD OF CONSTRUCTION WORK. ANY DAMAGED CONSTRUCTION OR FEATURES SHALL BE REPLACED AT THE EXPENSE OF THE CONTRACTOR TO THE SATISFACTION OF THE OWNER WITH MATERIALS EQUIVALENT OR SUPERIOR TO THE ORIGINAL ITEM(S).
- IT SHALL BE THE RESPONSIBILITY OF EACH CONTRACTOR TO VERIFY ALL DIMENSIONS AND INSPECT CONDITIONS OF PRIOR WORK OF THE OTHER TRADES BEFORE STARTING WORK. PROCEEDING WITH THE WORK SHALL CONSTITUTE ACCEPTANCE OF PRIOR WORK.
- ALL ELECTRICAL OUTLETS, DATA & TELEPHONE OUTLETS/JACKS, SWITCHES, FULL STATIONS, THERMOSTATS, EXIT LIGHTS, AND ALL OTHER WALL MOUNTED ACCESSORIES SHALL BE ALIGNED VERTICALLY AND HORIZONTALLY WHEN IN PROXIMITY.
- UNLESS OTHERWISE SHOWN, PLACING OF ACCESS DOORS IN GYPSUM CEILINGS SHALL NOT BE ACCEPTED. LOCATE AND INSTALL ALL WORK AS REQUIRED TO PRECLUDE THE NEED FOR ACCESS THROUGH THE CEILINGS. COORDINATION OF THIS REQUIREMENT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- PROVIDE BLOCKING IN PARTITIONS AS REQUIRED FOR ALL MILLWORK, CASEWORK, ACCESSORIES OR OTHER SIMILAR ITEMS ATTACHED TO WALLS. ALL WOOD BLOCKING TO BE FIRE-RETARDANT TREATED AS REQUIRED BY CODE, CONTINUOUS FROM STUD TO STUD.
- ALL MATERIALS AND EQUIPMENT SHALL BE INSTALLED PER MANUFACTURER'S WRITTEN INSTRUCTIONS.
- SEALANT, CAULKING, AND FLASHING LOCATIONS SHOWN ON DRAWINGS ARE NOT INTENDED TO BE INCLUSIVE. FOLLOW MANUFACTURER'S INSTALLATION RECOMMENDATIONS AND STANDARD INDUSTRY AND BUILDING PRACTICE.
- IN ALL CASES WHERE WORK DEPICTED IN THESE DRAWINGS REPRESENTS A COMPLETE SYSTEM COMPOSED OF SEPARATE PARTS, IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE ALL OF THE PARTS, COMPONENTS, ACCESSORIES, HARDWARE, FASTENERS, ETC. REQUIRED FOR A COMPLETE AND FULLY FUNCTIONING ASSEMBLY WITHIN THE DEFINITIONS OF NORMAL INDUSTRY STANDARDS, WHETHER OR NOT THESE MISCELLANEOUS ITEMS ARE DIRECTLY SPECIFIED IN THE CONSTRUCTION DOCUMENTS.

ABBREVIATIONS

ABV	ABOVE	HDW, HW	HARDWARE
ACT	ACOUSTICAL CEILING	HM	HOLLOW METAL
ADA	AMERICANS W/ DISABILITIES ACT	HOR	HORIZONTAL
ADJ	ADJACENT	HP	HIGH POINT
AFB	ABOVE FINISH FLOOR	HWD	HARDWOOD
ALT	ALTERNATE	IGU	INSULATED GLAZING UNIT
ALUM	ALUMINUM	INSUL	INSULATION
BF	BARRIER FREE	INT	INTERIOR
BIT	BITUMINOUS	L	ANGLE
BLDG	BUILDING	LVR	LOUVER
BLKG	BLOCKING	LVT	LUXURY VINYL TILE
BO	BOTTOM OF	MAINT	MAINTENANCE
BOT	BOTTOM	MAX	MAXIMUM
BRG	BEARING	MB	MARKERBOARD
BTW	BETWEEN	MECH	MECHANICAL
CFA	COLD FLUID APPLIED	MFR, MANUF	MANUFACTURER
CG	CORNER GUARD	MIN	MINIMUM
CJ	CONTROL JOINT	MO	MASONRY OPENING
CLNG	CEILING	MTL	METAL
CLR	CLEAR	NC	NOT IN CONTRACT
CMU	CONCRETE MASONRY UNIT	NOM	NOMINAL
COL	COLUMN	NTS	NOT TO SCALE
CONC	CONCRETE	OC	ON CENTER
CONT	CONTINUOUS	OFCD	OWNER FURNISHED, CONTRACTOR
COORD	COORDINATE		
CPT	CARPET	OH	OVER HEAD
CT	CERAMIC TILE	OPP	OPPOSITE
CTP	COUNTER TOP	PLAM	PLASTIC LAMINATE
CTR	CENTER	PL	PLATE
DEMO	DEMOLITION	PNL	PANEL
DIA	DIAMETER	PTD	PAINTED
DIM	DIMENSION	PT	PRESSURE TREATED
DN	DOWN	QTY	QUANTITY
DTL	DETAIL	R	RADIUS, RISER
DWG	DRAWING	RB	RUBBER BASE
EA	EACH	REINF	REINFORCING
ELEV	ELEVATION	RD	ROOF DRAIN
EQ	EQUAL	RO	ROUGH OPENING
EQUIP	EQUIPMENT	RQ, ROD	REQUIRED, REQUIREMENTS
(E), EXIST	EXISTING	RT	RUBBER TILE
EXP	EXPANSION	SM	SIMILAR
EXT	EXTERIOR	SPEC	SPECIFICATIONS
FB	FLOOR BOX	SO	SQUARE
FD	FLOOR DRAIN	SS	SOLID SURFACE
FE	FIRE EXTINGUISHER	SSTL	STAINLESS STEEL
FE&C	FIRE EXTINGUISHER & CABINET	STL	STEEL
FIN	FINISHED	SUSP	SUSPENDED
FL, FLR	FLOOR	T	TREAD
FT	FEET	T&G	TONGUE & GROOVE
FRP	FIBER REINFORCED PLASTIC	TEMP	TEMPERATURE
FTG	FOOTING	TO	TOP OF
FV	FIELD VERIFY	TYP	TYPICAL
'G	ING	UNO	UNLESS NOTED OTHERWISE
GA	GAUGE	VCT	VINYL COMPOSITE TILE
GALV	GALVANIZED	VERT	VERTICAL
GB	GRAB BARS	VF	VERIFY IN FIELD
GC	GENERAL CONTRACTOR	W	WITH
GL	GLASS, GLAZING	WD	WOOD
GWB	GYPSUM WALL BOARD		
GYPBRD	GYPSUM WALL BOARD		

DRAWING INDEX:

REFERENCE

- ATS Title Sheet
- CODE 1 Code Information
- CODE 2 Fire Penetration Details
- CODE 3 Fire Penetration Details
- CODE 4 Fire Penetration Details
- CODE 5 Barrier Free Mounting Heights

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- C-1 Existing Conditions
- C-2 Site Plan
- C-3 Grading & Drainage
- C-4 Soil Erosion and Sedement Control
- C-5 Construction Details
- SURVEY Site Survey

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- A101 Main Level Floor Plan
- A110 Enlarged Plans
- A120 Roof Level Plan
- A130 Door & Hardware Schedules
- A140 Finish Legend
- A141 Main Level Floor Finish Plans
- A142 Main Level Wall Finish Plans
- A200 Exterior Elevations
- A201 Exterior Elevations
- A202 Exterior Elevations
- A300 Interior Elevations
- A301 Interior Elevations
- A302 Interior Elevations
- A303 Interior Elevations
- A401 Main Level Reflected Ceiling Plan
- A450 Ceiling Details
- A500 Building Sections
- A501 Building Sections
- A600 Wall Sections
- A601 Wall Sections
- A602 Wall Sections
- A603 Wall Sections
- A604 Wall Sections
- A605 Wall Sections
- A650 Typical Roof Details
- A651 Typical Roof Details
- A652 Typical Roof Details
- A653 Typical Roof Details
- A654 Typical Roof Details
- A660 Wall Section Details
- A670 Plan Details
- A700 Millwork
- A701 Millwork

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- S001 General Notes & Drifted Snow Loads
- S002 Continued General Notes & Schedules
- S003 Schedules
- S004 Typical Details
- S101 Foundation Plan
- S111 Roof Framing Plan
- S601 Foundation Sections
- S602 Framing Sections
- S603 Framing Sections
- S604 Framing Sections

ELECTRICAL

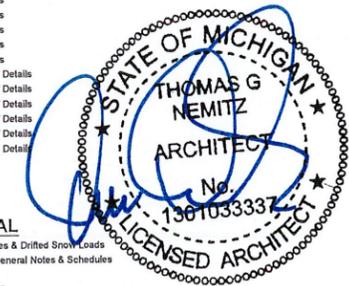
- E000 Electrical Schedules & Details
- E101L Electrical Lighting Main Level Floor Plan
- E101P Electrical Power Main Level Floor Plan
- E200 Electrical Schedules & Details
- E201 Electrical Schedules & Details
- E202 Electrical Schedules & Details

PLUMBING

- P101 Plumbing Main Level Floor Plan

MECHANICAL

- M101 Mechanical Main Level Floor Plan
- M501 Mechanical Details



* PLANS TO BE USED IN CONJUNCTION WITH PROJECT MANUAL

MEP ENGINEER:

Nealis Engineering
830 Cottageview Dr #102
Traverse City, MI 49684
p: (231) 933-0510
e: breinhardt@nealisengineering.com
dradtke@nealisengineering.com
contact: Bo Reinhardt, PE
Doug Radtke, PE

CIVIL ENGINEER:

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1280 Business Park Dr
Traverse City, MI 49696
p: 231.946.9191
e: rmverschaeve@goslingczubak.com
contact: Bob Verschaeve, PE

STRUCTURAL ENGINEER:

Trison Engineering
112 W Fourteenth St
Traverse City, MI 49604
p: 231.932.9177
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contact: Jim Edmonson, PE

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Wolgast Corporation
4835 Towne Centre Road, #203
Saginaw, MI 48604
p: (989)790-9120
e: ssalyers@wolgast.com
contact: Steve Salyers

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122 S Union St, Suite 200
Traverse City, MI 49684
ph: 231.947.2177
fx: 231.933.4310
email: t.nemitz@cornerstone-arch.com
contact: Tom Nemitz, AIA

OWNER:

Cheboygan-Otsego-Presque Isle ESD
6065 Learning Lane
Indian River, MI 49749
p: 231.238.9394
f: 231.238.8551
e: huberj@opesd.org
contact: Mr. Jamie Huber- Superintendent

COPESD Administration Building
New Construction

6065 Learning Lane
Indian River, MI 49749

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Cornerstone Architects
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231.947.2177 P www.cornerstone-arch.com 231.933.4310 F

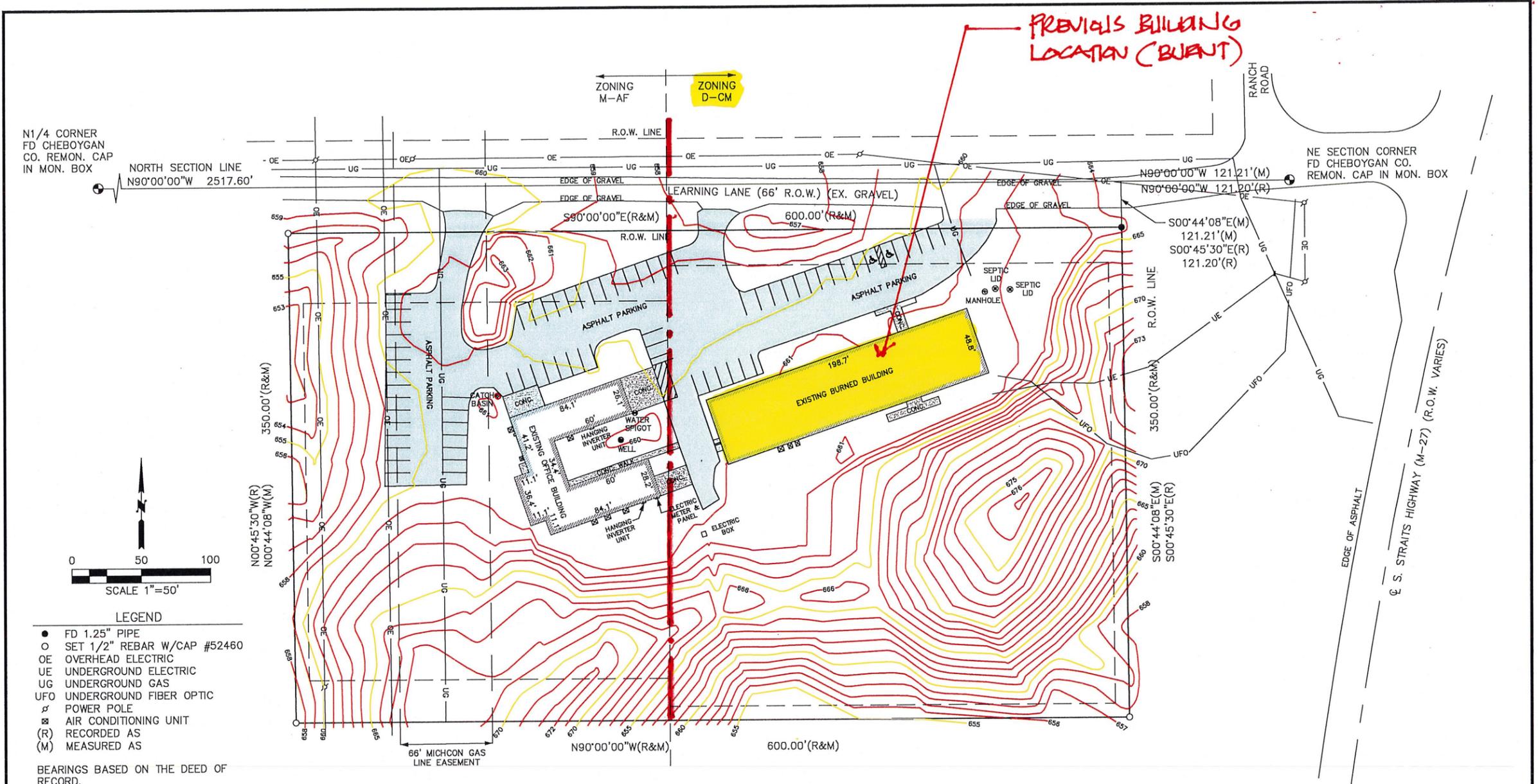
DATE	ISSUED FOR
01-30-2020	Design Development Set
02-12-2020	Set for Board Approval
02-28-2020	30% Construction Document
03-13-2020	60% Construction Document
03-17-2020	PROGRESS
04-03-2020	75% Construction Document
04-22-2020	90% Construction Document
05-13-2020	Permit Set

PK: TGN
Project Manager
SAT

PROJECT NO:
19.523

SHEET TITLE:
TITLE SHEET

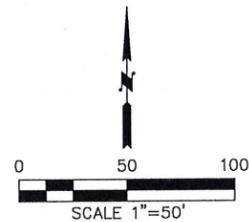
SHEET NO:
ATS



N1/4 CORNER
FD CHEBOYGAN
CO. REMON. CAP
IN MON. BOX

NORTH SECTION LINE
N90°00'00"W 2517.60'

NE SECTION CORNER
FD CHEBOYGAN CO.
REMON. CAP IN MON. BOX



- LEGEND**
- FD 1.25" PIPE
 - SET 1/2" REBAR W/CAP #52460
 - OE OVERHEAD ELECTRIC
 - UE UNDERGROUND ELECTRIC
 - UG UNDERGROUND GAS
 - UFO UNDERGROUND FIBER OPTIC
 - ♂ POWER POLE
 - ⊠ AIR CONDITIONING UNIT
 - (R) RECORDED AS
 - (M) MEASURED AS

BEARINGS BASED ON THE DEED OF RECORD.
LEGAL DESCRIPTION AS SURVEYED PER DEED RECORDED IN LIBER 315, PAGE 372, CHEBOYGAN COUNTY RECORDS.

TO: C.O.P.E.S.D.

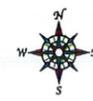
THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 4-6, 7(a), 8, 9, 11, 16, 20(b) OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON NOVEMBER 19, 2019.

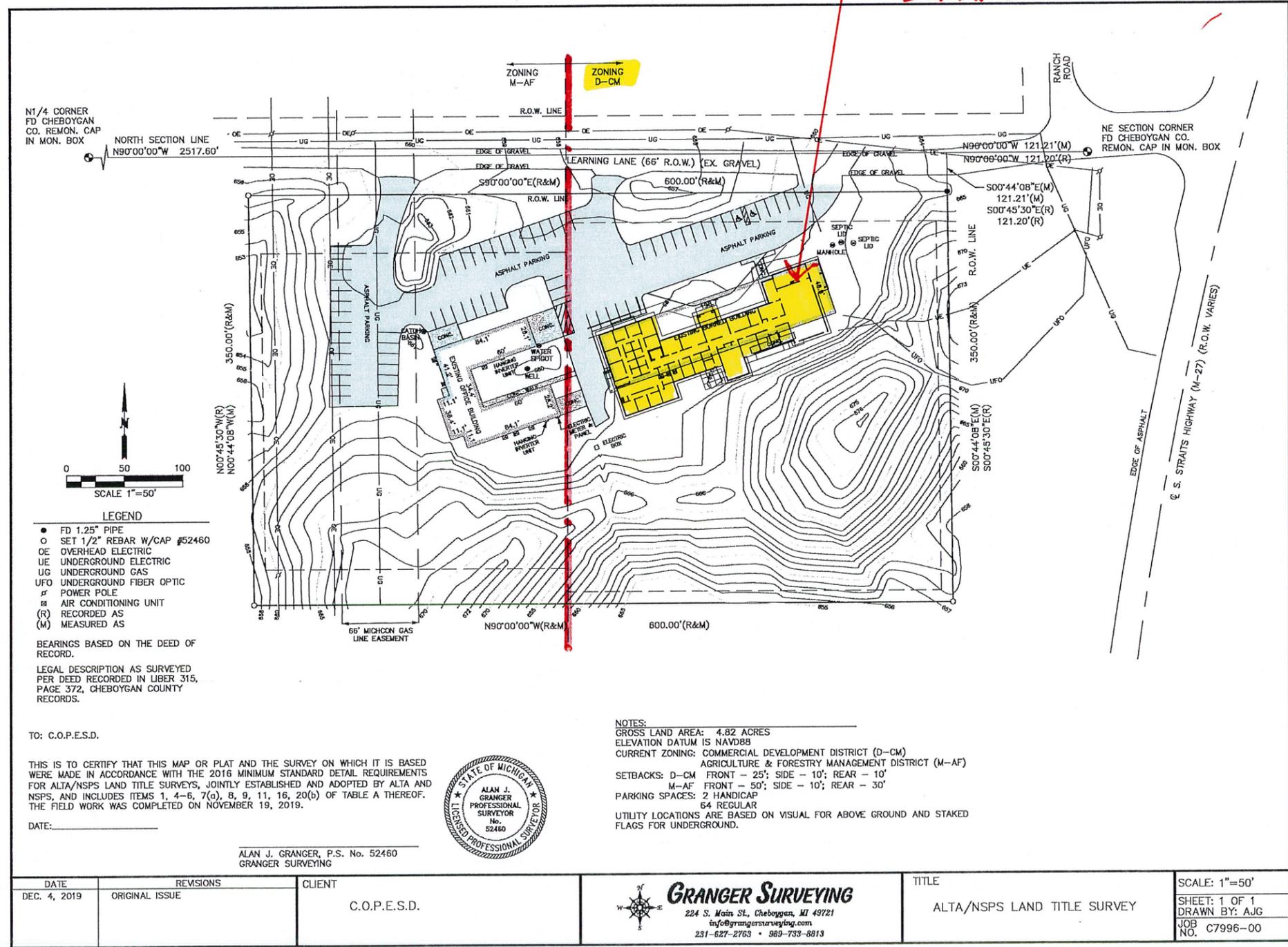
DATE: _____

ALAN J. GRANGER, P.S. No. 52460
GRANGER SURVEYING



NOTES:
GROSS LAND AREA: 4.82 ACRES
ELEVATION DATUM IS NAVD88
CURRENT ZONING: COMMERCIAL DEVELOPMENT DISTRICT (D-CM)
AGRICULTURE & FORESTRY MANAGEMENT DISTRICT (M-AF)
SETBACKS: D-CM FRONT - 25'; SIDE - 10'; REAR - 10'
M-AF FRONT - 50'; SIDE - 10'; REAR - 30'
PARKING SPACES: 2 HANDICAP
64 REGULAR
UTILITY LOCATIONS ARE BASED ON VISUAL FOR ABOVE GROUND AND STAKED FLAGS FOR UNDERGROUND.

DATE DEC. 4, 2019	REVISIONS ORIGINAL ISSUE	CLIENT C.O.P.E.S.D.	 GRANGER SURVEYING 224 S. Main St., Cheboygan, MI 49721 info@grangersurveying.com 231-627-2763 • 989-733-8813	TITLE ALTA/NSPS LAND TITLE SURVEY	SCALE: 1"=50' SHEET: 1 OF 1 DRAWN BY: AJG JOB NO. C7996-00
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PROPOSED REPLACEMENT BUILDING

COPESD Administration Building
New Construction

6065 Learning Lane
Cherry Street Health Services
Grand Rapids, MI 49503

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Grand Rapids Traverse City
Architecture Interior Design Historic Preservation
122 S. Union St., Suite 200 Grand Rapids, MI 49504
231.947.2177 P www.cornerstonearch.com 231.333.4310 F

DATE	ISSUED FOR
01-30-2020	Design Development Set

DATE	REVISIONS	CLIENT	TITLE	SCALE: 1"=50'
DEC. 4, 2019	ORIGINAL ISSUE	C.O.P.E.S.D.	ALTA/NSPS LAND TITLE SURVEY	SHEET: 1 OF 1 DRAWN BY: AJG JOB NO. C7996-00

PI: TGN
PK: Project Manager
DRAFTS: SAT
PROJECT NO: 19.523
SHEET TITLE: SITE SURVEY
SHEET NO:

CHEBOYGAN OTSEGO PRESQUE ISLE ESD PROPOSED ADMINISTRATION BUILDING

FOR

CHEBOYGAN OTSEGO PRESQUE ISLE ESD CHEBOYGAN COUNTY, CHEBOYGAN COUNTY



PROJECT
LOCATION

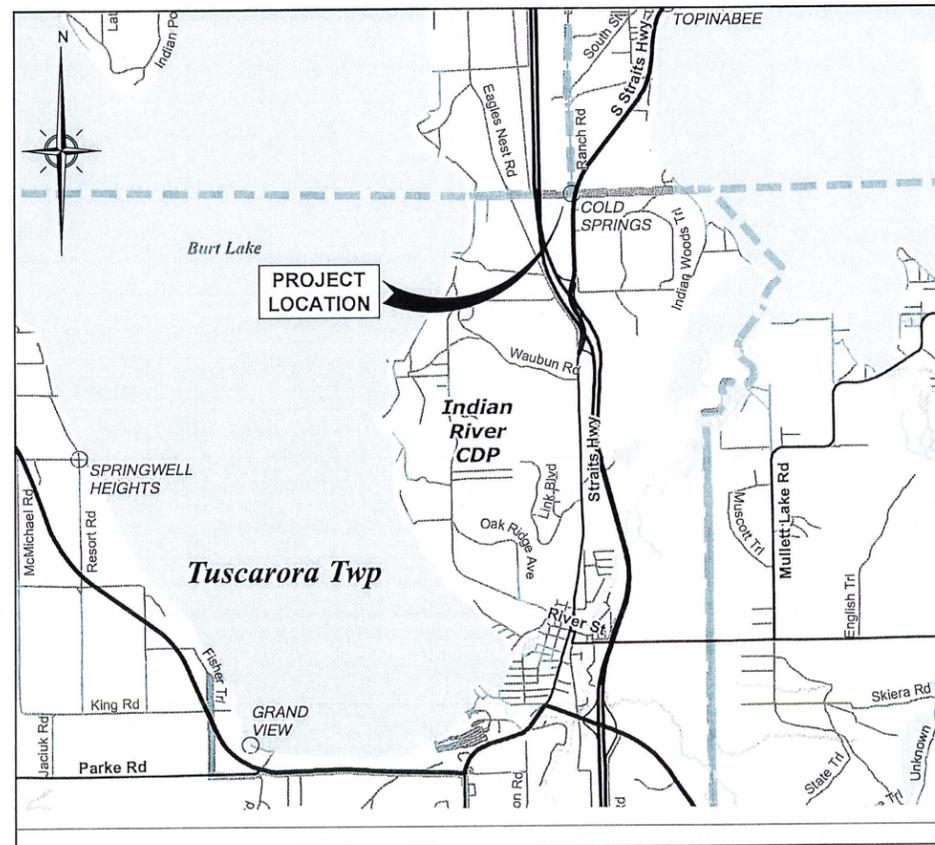
VICINITY MAP
NO SCALE

OWNER

CHEBOYGAN OTSEGO PRESQUE ISLE ESD
CONTACT: DAVID MANIA
SIS MANAGER (POWER SCHOOL) TECH DEPARTMENT
BUILDING AND GROUNDS LEAD COPESED
6065 LEARNING LANE
INDIAN RIVER, MI 49749
PHONE: 231-238-9394 EXT. 1232
CELL: 231-330-4990
EMAIL: MANIADL@COPESED.ORG

PUBLIC AGENCIES & UTILITY CONTACTS

ENTITY	UTILITY / AGENCY
CHEBOYGAN COUNTY SOIL EROSION SOIL EROSION OFFICER PAUL MORSE EMAIL: PMORSE@CHEBOYGANCOUNTY.NET PHONE: 231-627-8407	SESC
DISTRICT HEALTH DEPT. NO. 4 825 S HURON ST. SUITE 1 CHEBOYGAN, MI 49721 PHONE: (231) 627-8850 FAX: (231) 627-9466	WATER/SEWER
WESTERN TEL-COM, INC. CONTACT: RICK VANCAMP 4273 58TH STREET P.O. BOX 1317 HOLLAND, MI 49422 PHONE: 616-393-0138 FAX: 616-393-0132 MOBILE: 616-377-9073 EMAIL: RICKV@WESTERNTel-COM.COM	FIBER OPTIC
AT&T CONTACT: JEFFREY COLLARD 514 E MITCHELL STREET PETOSKEY, MI 49770 PHONE: 231-348-8010 EMAIL: j67632@att.com	TELEPHONE
CONSUMER'S ENERGY CONTACT: PHILLIP J. HASS 100 N EAST STREET, BOYNE CITY MI 49712 OFFICE: 231.582.8302 MOBILE: 231.340.9179	ELECTRIC
POLICE AGENCIES EMERGENCIES: 911 MICHIGAN STATE POLICE, GAYLORD POST NO. 73: 989-732-2778 TUSCARORA TOWNSHIP POLICE DEPARTMENT: 231-238-9481	
FIRE DEPARTMENTS EMERGENCIES: 911 TUSCARORA TOWNSHIP FIRE DEPARTMENT: 231-238-9302	



LOCATION MAP
NOT TO SCALE

ENGINEER

GOSLING CZUBAK ENGINEERING SCIENCES, INC.
1280 BUSINESS PARK DRIVE
TRAVERSE CITY, MICHIGAN, 49686-8607
231.946.9191 - 800.968.1062
www.goslingczubak.com info@goslingczubak.com

SHEET INDEX

C-0	COVER PAGE
C-1	EXISTING CONDITIONS & DEMOLITION PLAN
C-2	SITE PLAN
C-3	UTILITY PLAN
C-4	GRADING PLAN
C-5	SOIL EROSION AND SEDIMENTATION CONTROL PLAN
C-5	CONSTRUCTION DETAILS

Gosling Czubak
Engineering Sciences, Inc.
1280 Business Park Dr.
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231-946-9191 phone
info@goslingczubak.com
www.goslingczubak.com

CIVIL ENGINEERING
SURVEYING
ENVIRONMENTAL SERVICES
GEO TECHNICAL
CONSTRUCTION SERVICES
DRILLING
LANDSCAPE ARCHITECTURE

No.	Date	Revision	By
01	05/10/2020	PERMIT SET	AJP

COVER PAGE
PROPOSED ADMINISTRATION BUILDING
CHEBOYGAN OTSEGO PRESQUE ISLE ESD

Date Issued: _____
Date Surveyed: 2/2019 (BY OTHERS)
Designed By: AJP
Drawn By: AJP
Checked By: RMV
Scale: AS NOTED
Original sheet size is 24x36

Location:
PART OF SECTION 1
TOWNSHIP 35N
RANGE 3W
TUSCARORA TOWNSHIP
CHEBOYGAN COUNTY

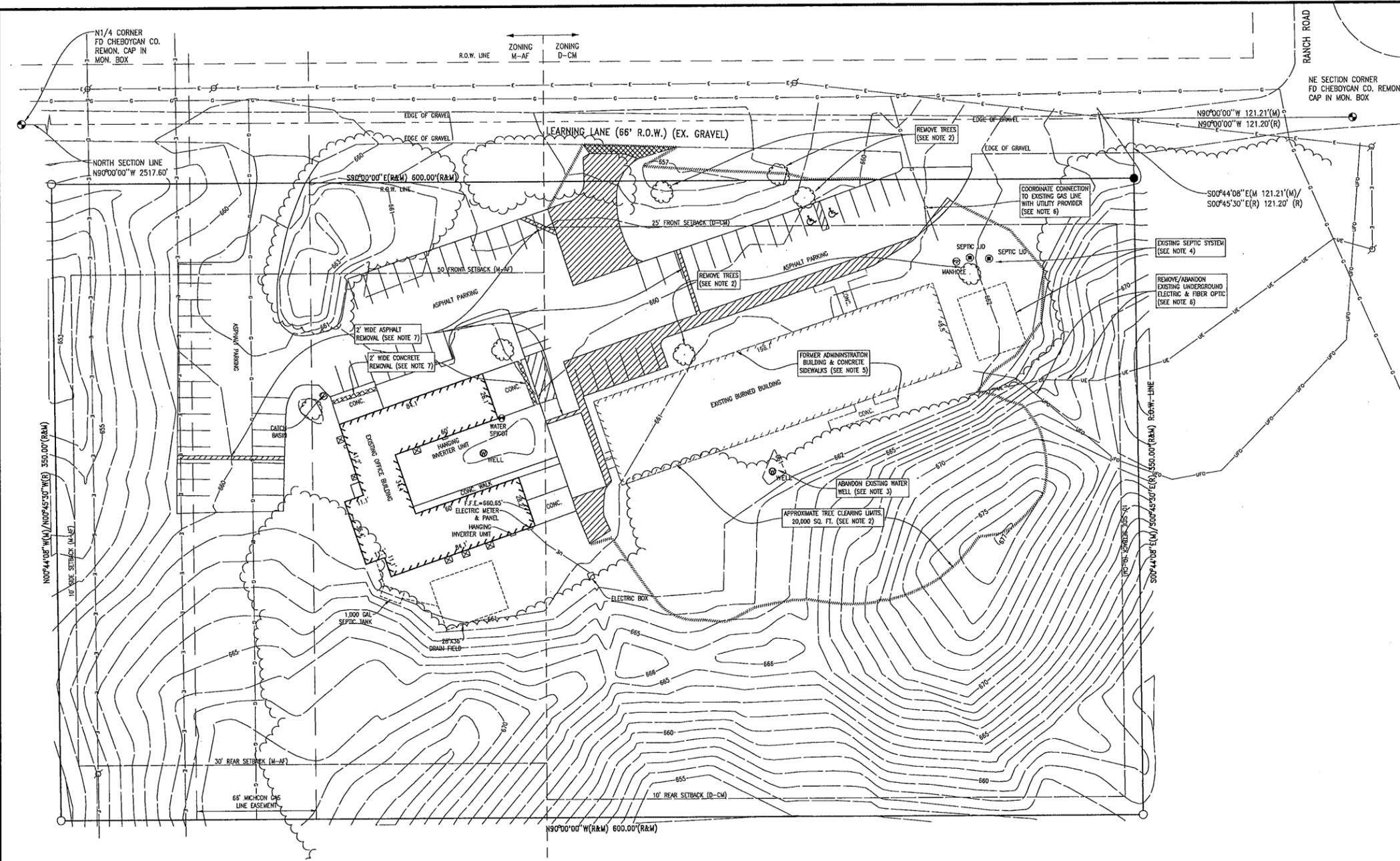
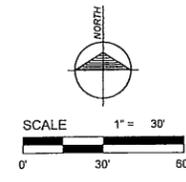
Project Number:
2020727001

Sheet:
C-0



Know what's below.
Call before you dig.

ORIGINAL SHEET SIZE IS 22x34 - HALF SCALE SHEET IS 11x17



EXISTING CONDITIONS & DEMOLITION PLAN NOTES

- BOUNDARY, LAND USE DATA, AND ALL TOPOGRAPHICAL INFORMATION IS BASED ON SURVEY, DATED DECEMBER 9, 2019, PREPARED BY GRANGER SURVEYING.
- EXISTING VEGETATION DEPICTED IS BASED ON AERIAL IMAGERY, DATED JUNE 22, 2016. CONTRACTOR SHOULD COMPARE FEATURES SHOWN ON PLAN TO ACTUAL SITE CONDITIONS.
- EXISTING 4 INCH WATER WELL SHALL BE ABANDONED PER LOCAL HEALTH DEPARTMENT AND EGLE REQUIREMENTS FOR THE CONSTRUCTION OF THE NEW BUILDING.
- CONTRACTOR SHALL REMOVE ALL SEPTIC SYSTEM TANKS, DRAIN FIELD MATERIALS, APPURTENANCES, AND A MINIMUM OF 6 INCHES OF SUBGRADE SOILS FROM BENEATH THE EXISTING DRAIN FIELD AS REQUIRED BY THE LOCAL HEALTH DEPARTMENT PERMIT. SIZE OF DRAIN FIELD IS UNKNOWN.
- FORMER ADMINISTRATION BUILDING DEMOLITION HAS BEEN COMPLETED, HOWEVER ANY BUILDING MATERIALS ENCOUNTERED DURING THE CONSTRUCTION OF NEW BUILDING ARE TO BE REMOVED FROM THE SITE BY CONTRACTOR.
- COORDINATE THE REMOVAL, RELOCATION, CONNECTION AND ABANDONMENT OF ALL UTILITIES WITH THE UTILITY PROVIDER.
- COORDINATE THE LOCATION AND WIDTH OF ASPHALT AND CONCRETE REMOVAL AREAS WITH THE ELECTRICAL CONTRACTOR.

EXISTING FEATURES LEGEND

- FD 1.25" PIPE
- SET 1/2" REBAR W/CAP #52480
- (R) RECORDED AS
- (M) MEASURED AS
- ⚡ POWER POLE
- ⊠ AIR CONDITIONING UNIT
- OVERHEAD ELECTRIC
- UNDERGROUND GAS
- f— UNDERGROUND FIBER OPTIC
- ▨ PROPOSED GRADING/DISTURBANCE LIMITS
- ☁ TREE REMOVAL
- ~ VEGETATION REMOVAL
- ▨ ASPHALT REMOVAL (±570 SY)
- ▩ CONCRETE REMOVAL (±12 SY)

GRANGER SURVEYING NOTES

- LEGAL DESCRIPTION AS SURVEYED PER DEED RECORDED IN LIBER 315, PAGE 372, CHEBOYGAN COUNTY RECORDS.
- BEARINGS BASED ON THE DEED OF RECORD.
- ELEVATION DATUM IS NAVD88
- GROSS LAND AREA: 4.82 ACRES
- CURRENT ZONING: COMMERCIAL DEVELOPMENT DISTRICT (D-CM) AGRICULTURE & FORESTRY MANAGEMENT DISTRICT (M-AF)
- SETBACKS: D-CM FRONT - 25'; SIDE - 10'; REAR - 10'
M-AF FRONT - 50'; SIDE - 10'; REAR - 30'
- PARKING SPACES: 2 HANDICAP
64 REGULAR
- UTILITY LOCATIONS ARE BASED ON VISUAL FOR ABOVE GROUND AND STAKED FLAGS FOR UNDERGROUND.

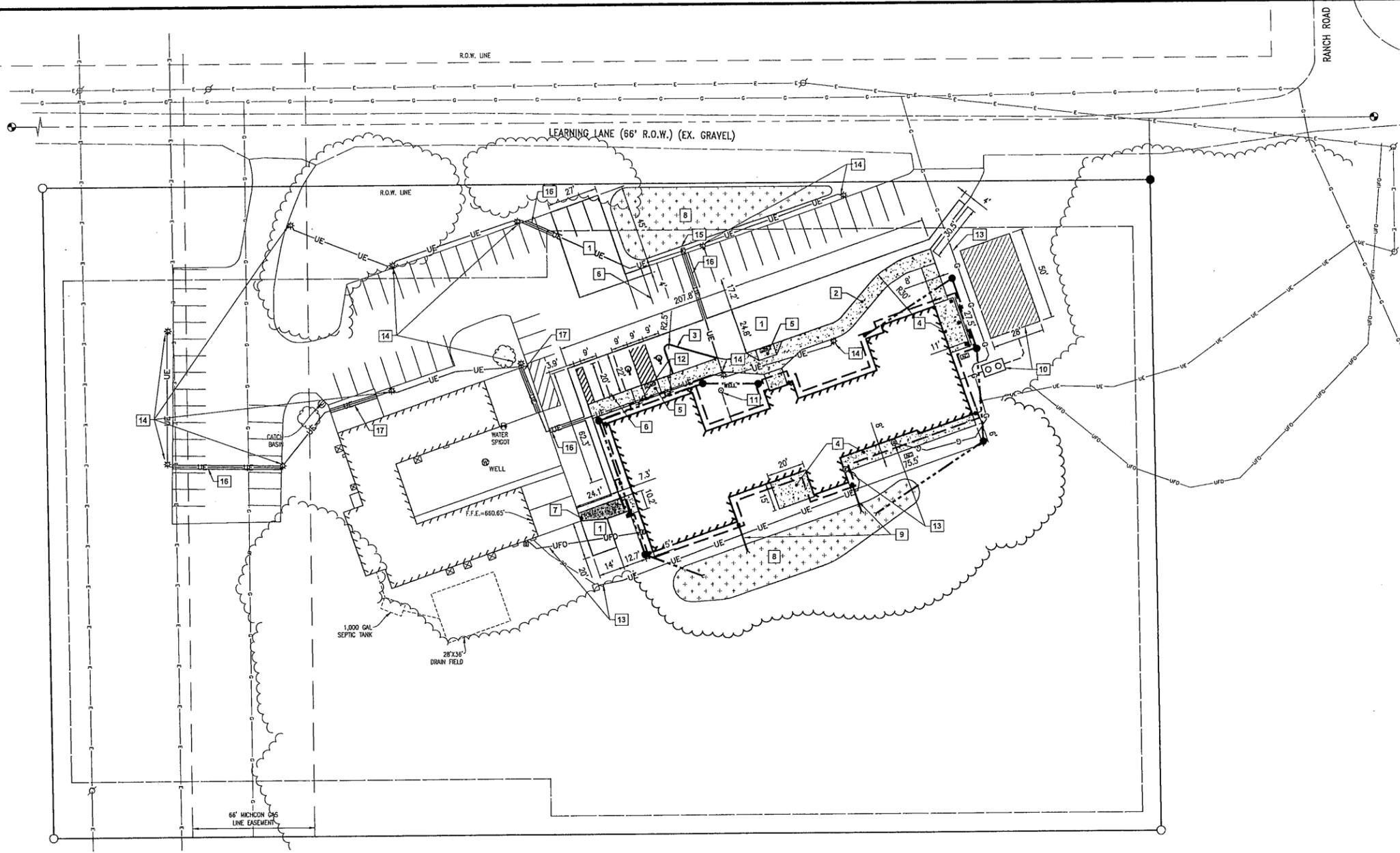
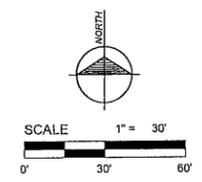
No.	Date	Revision	A.J.P.	By
01	05/13/2020	PERMIT SET		

**EXISTING CONDITIONS & DEMOLITION PLAN
 PROPOSED ADMINISTRATION BUILDING
 CHEBOYGAN OTSEGO PRESQUE ISLE ESD**

Date Issued: 05/13/2020
 Date Surveyed: 12/2019 (BY OTHERS)
 Designed By: A.J.P.
 Drawn By: A.J.P.
 Checked By: R.W.M.
 Scale: AS NOTED
 Original sheet size is 24x36

Location: PART OF SECTION 1
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 TUSCARORA TOWNSHIP
 CHEBOYGAN COUNTY

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 Sheet: C-1



SITE PLAN NOTES

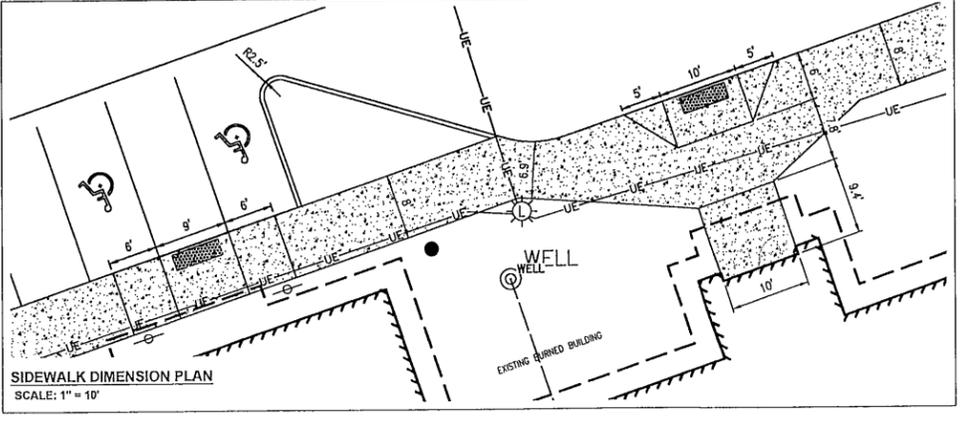
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL VERIFY ALL PUBLIC AND PRIVATE UTILITY LOCATIONS. CONTRACTOR SHALL ALSO CONTACT "MISS DIG" AT 1-800-482-7171 THREE WORKING DAYS PRIOR TO CONSTRUCTION BEGINNING.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL VERIFY ALL PERTINENT VERTICAL CONTROL DATA (I.E. BENCHMARKS, FLOORS, UTILITIES, ETC.)
- INSTALL SILT FENCE AS FIRST STEP BEFORE ANY GRADING ACTIVITIES BEGIN. SEE SESC PLAN. MEASURES SHOWN ON SESC PLAN ARE THE MINIMUM CONTROLS TO BE USED AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR TEMPORARY AND PERMANENT SOIL EROSION CONTROL MEASURES TO PROTECT THE DISTURBED AREAS AND ADJACENT PROPERTIES FROM ACCELERATED EROSION AND SEDIMENTATION RESULTING FROM CONSTRUCTION AT NO ADDITIONAL CHARGE TO THE OWNER. SEE SESC PLAN FOR ADDITIONAL NOTES AND INFORMATION.
- ALL TOPSOIL SHALL BE STRIPPED FROM AREAS TO BE OCCUPIED BY FILL, STRUCTURES, OR IMPROVED SURFACES.
- ALL DISTURBED AREAS SHALL BE TOPSOILED, SEEDED, FERTILIZED, AND MULCHED. MULCH BLANKET SHALL BE INSTALLED IN AREAS WITH SLOPES 1v:3H AND STEEPER OR AS NEEDED AND SHALL BE INCIDENTAL TO THE WORK.
- ANY AREAS UTILIZED BY CONTRACTOR FOR MATERIAL LAYDOWN SHALL BE RESTORED WITH TOPSOIL, SEED, FERTILIZER, AND MULCH.
- CONTRACTOR SHALL OBTAIN AND COMPLY WITH THE REQUIREMENTS OF SESC PERMIT. CONTRACTOR SHALL COMPLY WITH REQUIREMENTS OF ANY OTHER OWNER OBTAINED PERMITS (DRIVEWAY PERMIT, STATE SCHOOLS, ETC.)
- PAVEMENT STRIPING SHALL MEET PROJECT SPECIFICATIONS.

PROPOSED FEATURES LEGEND

- | | | | | | |
|---|--|----|--|-----|---|
| + | PROPOSED HANDICAP PARKING | AC | PROPOSED AIR CONDITIONING UNIT (COORDINATE LOCATION W/ MEP PLANS) | --- | PROPOSED STORM SEWER |
| ▭ | PROPOSED ASPHALT | Ⓜ | PROPOSED ELECTRIC UTILITY METER (COORDINATE LOCATION W/ MEP PLANS) | UE | PROPOSED UNDERGROUND ELECTRIC LINE (COORDINATE LOCATION W/ MEP PLANS) |
| ▭ | PROPOSED CONCRETE | Ⓜ | PROPOSED GAS UTILITY METER (COORDINATE LOCATION W/ MEP PLANS) | G | PROPOSED GAS LINE (COORDINATE LOCATION W/ MEP PLANS) |
| ▭ | PROPOSED THICKENED CONCRETE | Ⓜ | PROPOSED FIBER OPTIC CONNECTION (COORDINATE LOCATION W/ MEP PLANS) | UF | PROPOSED FIBER OPTIC CONNECTION (COORDINATE LOCATION W/ MEP PLANS) |
| ⊙ | PROPOSED WATER WELL | Ⓜ | PROPOSED LIGHT POLE (COORDINATE LOCATION W/ MEP PLANS) | --- | PROPOSED WATER LINE (REFER TO MEP PLANS FOR SERVICE SIZE) |
| ▭ | PROPOSED DRAIN FIELD | Ⓜ | PROPOSED HAND HOLE (COORDINATE LOCATION W/ MEP PLANS) | --- | PROPOSED 6" SANITARY SEWER LINE (COORDINATE TIE IN LOCATION TO BUILDING W/ MEP PLANS) |
| ⊙ | PROPOSED SEPTIC TANK | Ⓜ | PROPOSED 5/700S DETECTABLE WARNING PLATES (2'x6') | | |
| ▭ | PROPOSED STORM WATER BASIN | Ⓜ | PROPOSED 12" DIA. NYLOPLAST DRAIN BASIN W/ SLOTTED COVER | | |
| ~ | PROPOSED TREE LINE | | | | |
| ● | PROPOSED 12" DIA. NYLOPLAST DRAIN BASIN W/ SOLID COVER | | | | |
| ● | APPROXIMATE LOCATION OF CUTTER DOWNSPOUT (COORDINATE LOCATIONS W/ MEP PLANS) | | | | |

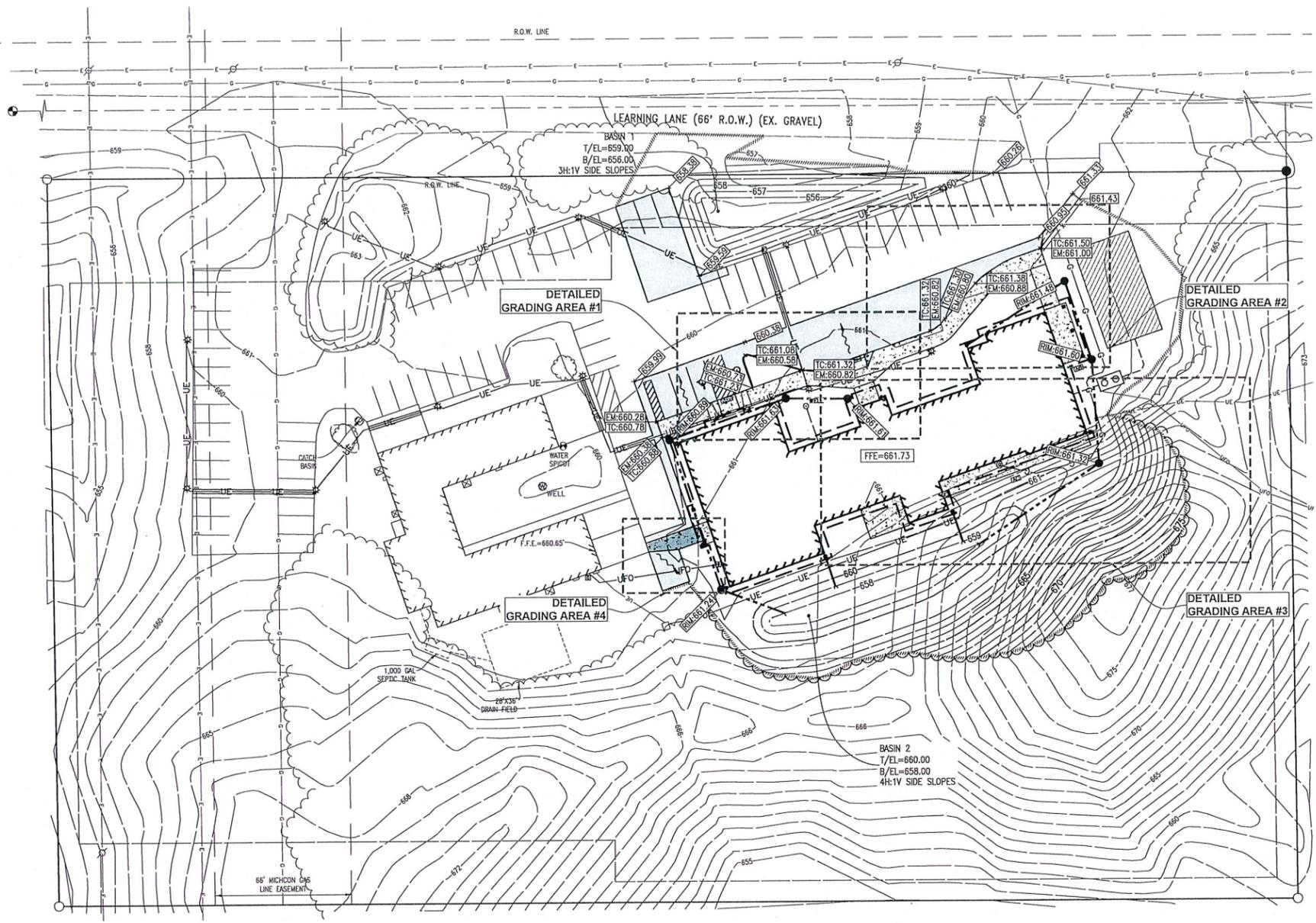
CONSTRUCTION NOTES

- ASPHALT PAVEMENT (SEE DETAIL ON C-6)
- CONCRETE SIDEWALK W/ INTEGRAL CURB (SEE DETAIL ON C-6)
- 6" CONCRETE CURB (SEE DETAIL ON C-6)
- 4" CONCRETE SLAB
- ADA RAMP/LANDING
- PAVEMENT MARKING (TYPICAL WHERE SHOWN FOR NEW PAVEMENT)
- THICKENED CONCRETE SLAB (SEE DETAIL ON C-6)
- STORM WATER RETENTION BASIN (SEE DETAIL ON C-6)
- 6" ROOF DRAIN STORM SEWER (COORDINATE CONNECTION W/ MEP PLANS)
- 2,000 GALLON SEPTIC TANK & 1,400 SQ. FT. DRAIN FIELD (PER HEALTH DEPT. REQUIREMENTS)
- WATER WELL W/ 2" SERVICE LINE TO MEET PROJECT WATER DEMANDS (SEE MEP PLANS)
- ADA PARKING SIGN (SEE DETAIL ON C-6)
- INSTALL LIGHT POLES (SEE MEP PLANS)
- INSTALL HAND HOLE (SEE MEP PLANS)
- ASPHALT PATCH (SEE DETAIL ON C-6)
- CONCRETE PATCH (SEE DETAIL ON C-6)



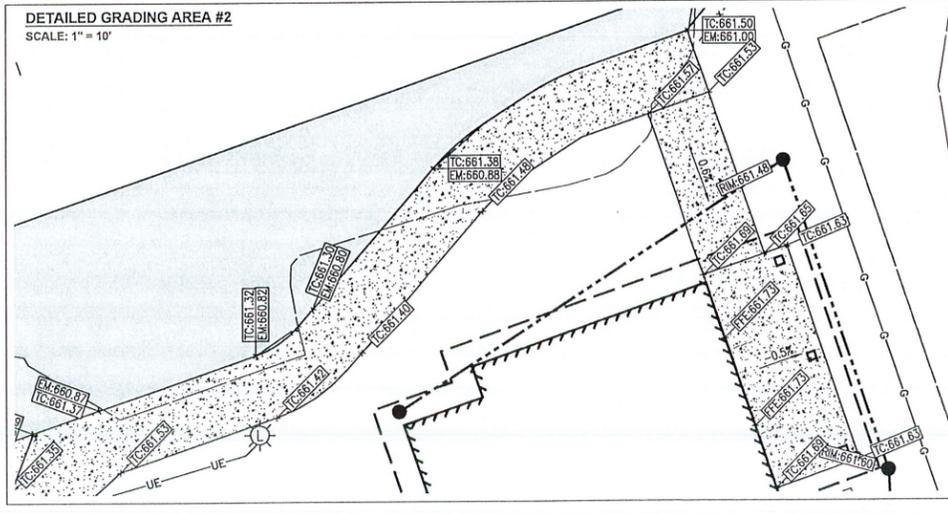
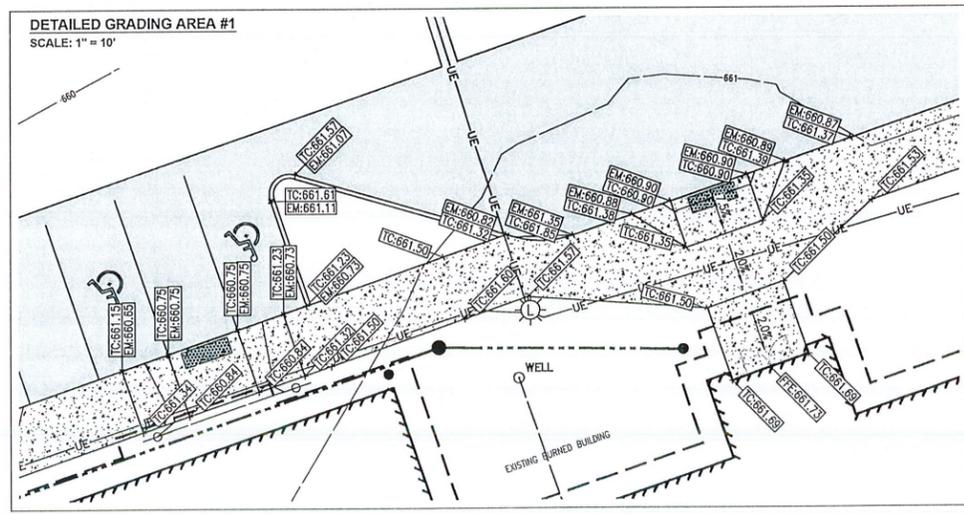
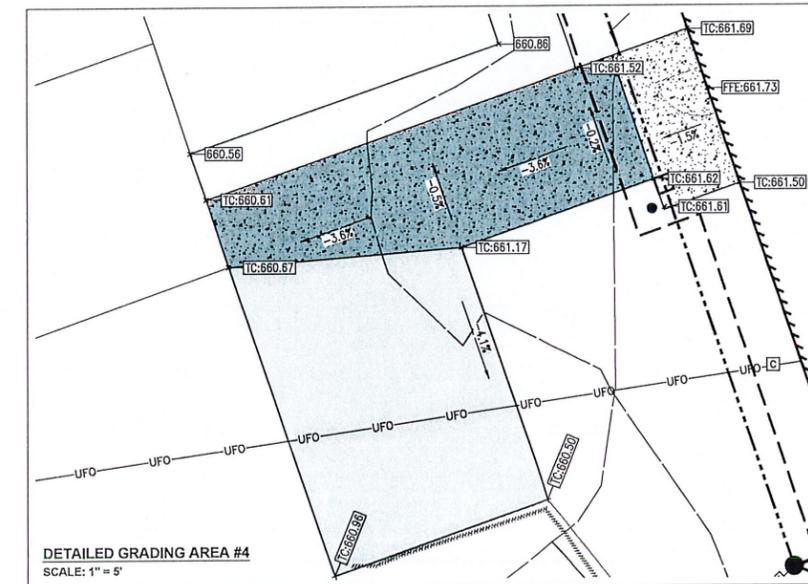
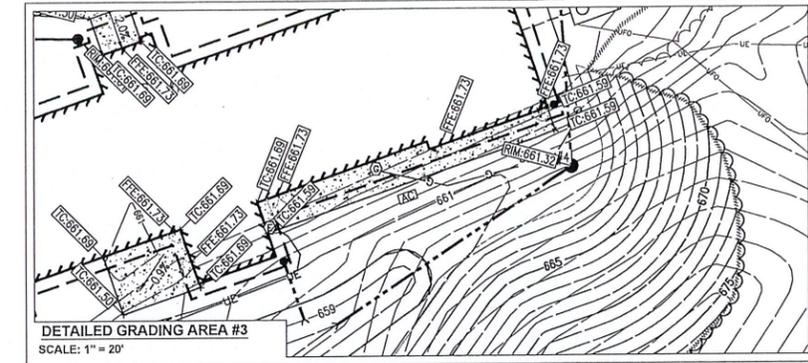
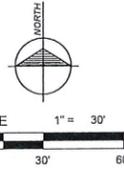
SITE PLAN
PROPOSED ADMINISTRATION BUILDING
CHEBOYGAN OTSEGO PRESQUE ISLE ESD

Date Issued:	12/2019
Designed By:	AJP
Drawn By:	AJP
Checked By:	RMV
Scale:	AS NOTED
Original sheet size is 24x36	
Location:	PART OF SECTION 1 TOWNSHIP 35N RANGE 3W TUSCARORA TOWNSHIP CHEBOYGAN COUNTY
Project Number:	2020727001
Sheet:	C-2



GRADING & DRAINAGE LEGEND

- ~ PROPOSED RUNOFF FLOW DIRECTION
- 1.0% PROPOSED PERCENT SLOPE & DIRECTION OF FALL
- TC-902.65 FINISH GRADE-ASPHALT PAVEMENT
- EM-902.65 FINISH GRADE-CONCRETE
- EM-902.69 FINISH GRADE-EDGE OF METAL
- TC-903.19 FINISH GRADE-CONCRETE
- PROPOSED GRADING MINOR CONTOUR
- PROPOSED GRADING MAJOR CONTOUR
- PROPOSED SILT FENCE
- PROPOSED GRADING LIMITS (±1.00 AC.) (EXCLUDES PAVEMENT REMOVAL AREAS)



STORM WATER BASIS OF DESIGN

BASIS OF DESIGN ASSUMPTIONS:

- INCREASE IN RUN-OFF TO BE STORED ON-SITE BASED ON 2.5" OF RUN-OFF OVER THE PROPOSED IMPERVIOUS SURFACES.

BASIN 1 (EXISTING BASIN)

- PLAN PROPOSES TO RE-CONSTRUCT THIS BASIN TO BE CONTAINED WITHIN PROPERTY LINES. BASIN CURRENTLY EXTENDS INTO LEARNING LANE R.O.W.
- RE-CONSTRUCTED BASIN TO HOLD THE EXISTING BASIN'S STORAGE VOLUME PLUS 2.5 INCHES OF RUN-OFF OVER THE PROPOSED ASPHALT AND CONCRETE SIDEWALK.

APPROXIMATE EXISTING STORAGE VOLUME = 3,018 CU. FT.

PROPOSED ADDITIONAL RUN-OFF:
 ASPHALT AREA= 4,510 SQ. FT.
 CONCRETE AREA= 2,260 SQ. FT.
 TOTAL AREA= 6,770 SQ. FT.
 ADDITIONAL RUN-OFF VOLUME= 6,770 SQ. FT. X 2.5 IN. X 1 FT./12 IN. = 1,410 CU. FT.
 TOTAL BASIN 1 VOLUME REQUIRED = 3,018 CU. FT. + 1,410 CU. FT. = 4,428 CU. FT.

PROPOSED BASIN 1 CHARACTERISTICS:
 BASIN DEPTH = 3 FT.
 BASIN SIDE SLOPES = 3H:1V
 VOLUME PROVIDED = 4,790 CU. FT. (362 CU. FT. > VOLUME REQUIRED)

BASIN 2 (PROPOSED BASIN BEHIND BUILDING)

PROPOSED RUN-OFF:
 BUILDING ROOF AREA= 12,364 SQ. FT.
 CONCRETE AREA= 842 SQ. FT.
 TOTAL AREA= 13,206 SQ. FT.
 TOTAL BASIN 2 VOLUME REQUIRED= 13,206 SQ. FT. X 2.5 IN. X 1 FT./12 IN. = 2,751 CU. FT.

PROPOSED BASIN 2 CHARACTERISTICS:
 BASIN DEPTH = 2 FT.
 BASIN SIDE SLOPES = 4H:1V
 VOLUME PROVIDED = 3,364 CU. FT. (883 CU. FT. > VOLUME REQUIRED)

Gosling Czubak
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 Traverse City, Michigan
 231-946-9191 phone
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CIVIL ENGINEERING SURVEYING ENVIRONMENTAL SERVICES GEOTECHNICAL CONSTRUCTION SERVICES DRILLING LANDSCAPE ARCHITECTURE

No.	Date	Revision	By
01	05/10/2020	PERMIT SET	AJP

GRADING PLAN
PROPOSED ADMINISTRATION BUILDING
CHEBOYGAN OTSEGO PRESQUE ISLE ESD

Date Issued: _____
 Date Surveyed: 2/2019 (BY OTHERS)
 Designed By: AJP
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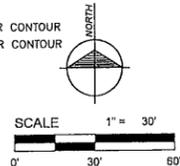
Location: PART OF SECTION 1 TOWNSHIP 35N RANGE 31W TUSCARORA TOWNSHIP CHEBOYGAN COUNTY

Project Number: 2020272001

Sheet: **C-4**

GRADING & DRAINAGE LEGEND

	PROPOSED RUNOFF FLOW DIRECTION & DIRECTION OF FALL		PROPOSED GRADING MINOR CONTOUR
	PROPOSED PERCENT SLOPE		PROPOSED GRADING MAJOR CONTOUR
	FINISH GRADE-ASPHALT PAVEMENT		PROPOSED SILT FENCE
	FINISH GRADE-CONCRETE		PROPOSED GRADING LIMITS (±1.00 AC.) (EXCLUDES PAVEMENT REMOVAL AREAS)
	FINISH GRADE-EDGE OF METAL		
	FINISH GRADE-CONCRETE		



CONSTRUCTION SCHEDULE				
CONSTRUCTION TASK	JUN	JUL	AUG	SEPT-JUN
TEMPORARY SESC MEASURES	XX	XXXX	XXXX	
SITE GRADING, CONC., & ASPHALT	XX	XXXX	XXXX	
BUILDING CONSTRUCTION	X	XXXX	XXXX	XXXXXXXX
RESTORATION			XXXX	
REMOVE TEMPORARY MEASURES (AS ALLOWED AFTER SITE STABILIZED)				X

WATERBODY STATEMENT:
NEAREST WATERBODY IS BURT LAKE, LOCATED ±3,800 FEET WEST OF THE PROJECT AREA

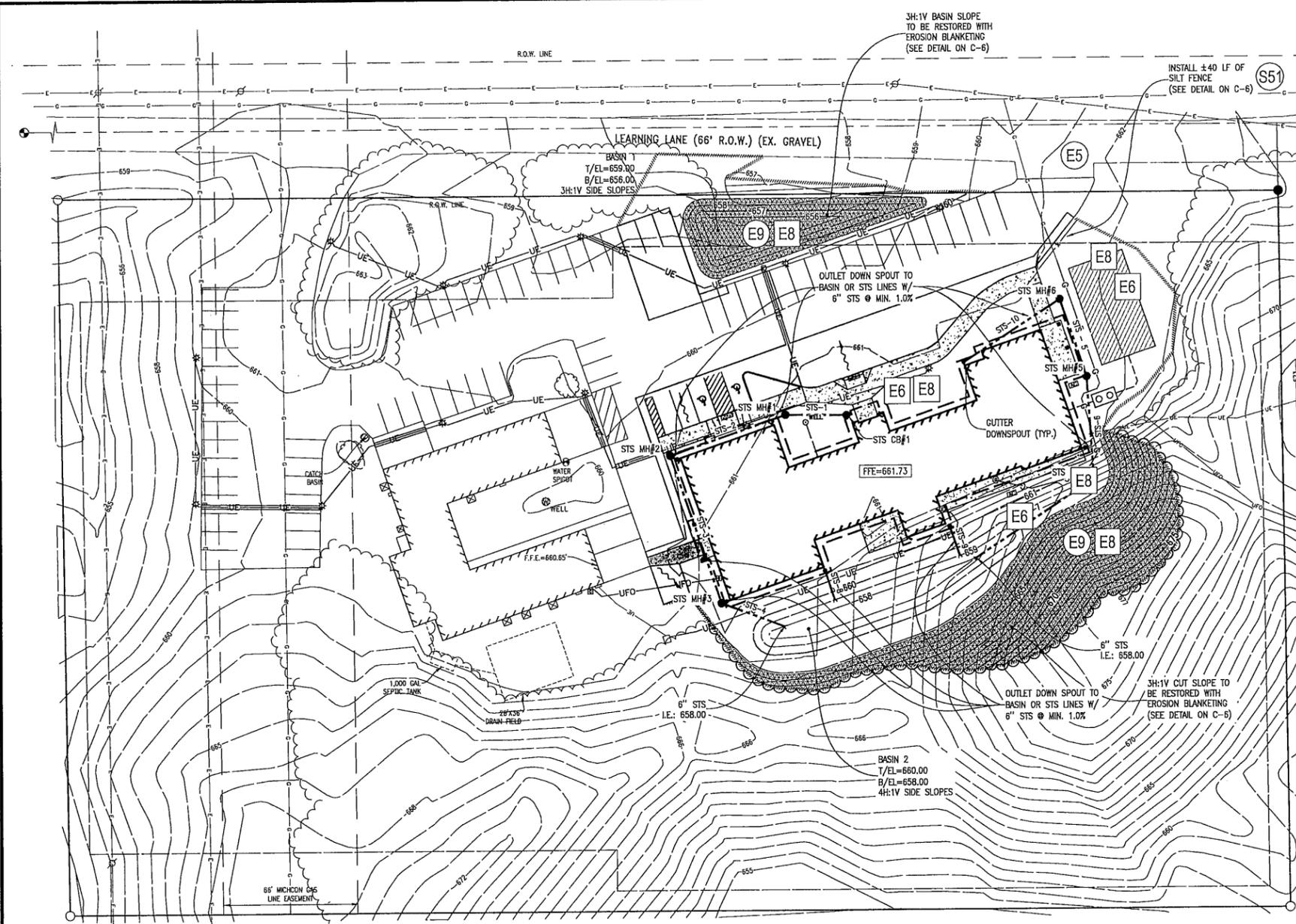
DTMB SESC KEY LEGEND

Code	Measure	Symbol	Description
E5	DUST CONTROL		For use on construction sites, unpaved roads, etc. to reduce dust and sedimentation from wind and construction activities.
E6	MULCH		For use in areas subject to erosive surface flows or severe wind or on newly seeded areas.
E9	MULCH BLANKETS		On exposed slopes, newly seeded areas, new ditch bottoms, or areas subject to erosion.
E8	PERMANENT SEEDING		Stabilization method utilized on sites where earth change has been completed (final grading attained).
S51	SILT FENCE		Use adjacent to critical areas, to prevent sediment laden sheet flow from entering these areas.

DENOTES PERMANENT MEASURE DENOTES TEMPORARY MEASURE

SOIL EROSION & SEDIMENTATION CONTROL NOTES

- ALL WORK SHALL COMPLY WITH THE APPLICABLE SOIL EROSION AND SEDIMENTATION CONTROL (SESC) RULES AND REGULATIONS (SOIL EROSION AND SEDIMENTATION CONTROL - 1994 PA 451, PART 91, AS AMENDED, MCL 324.9101 ET SEQ.).
- SOIL EROSION AND SEDIMENTATION CONTROL SHALL PROTECT AGAINST LOSS OF SOIL BY THE ACTION OF WATER, ICE, AND WIND.
- THE CONTRACTOR IS REQUIRED TO OBTAIN A SOIL EROSION AND SEDIMENTATION CONTROL PERMIT FROM CHEBOYGAN COUNTY.
- THE CONTRACTOR SHALL IMPLEMENT SOIL EROSION AND SEDIMENTATION CONTROL MEASURES AS REQUIRED BY THE PROJECT'S SESC PLAN, CHEBOYGAN COUNTY PERMIT REQUIREMENTS, DTMB'S SOIL EROSION AND SEDIMENTATION CONTROL GUIDEBOOK, DATED FEBRUARY 2005, AND AS DIRECTED BY THE ENGINEER.
- BASIC PRINCIPLES OF THE SOIL EROSION AND SEDIMENTATION CONTROL PLAN ARE AS FOLLOWS:
 - KEEP DISTURBED AREA AS SMALL AS POSSIBLE
 - STABILIZE AND/OR PROTECT DISTURBED AREAS AS SOON AS POSSIBLE
 - KEEP STORM WATER RUNOFF VELOCITIES LOW.
 - RETAIN SEDIMENT WITHIN IMMEDIATE CONSTRUCTION AREA.
- THE CONTRACTOR SHALL INSTALL TEMPORARY EROSION AND SEDIMENTATION CONTROL MEASURES PRIOR TO OR UPON COMMENCEMENT TO EARTHWORK ACTIVITIES.
- THE CONTRACTOR WILL PERFORM SWEEPING AS NEEDED TO REMOVE ANY SEDIMENT TRACKED OFF SITE. FREQUENCY OF SWEEPING WILL BE BASED ON SITE CONDITIONS. ALL DIRT AND MUD TRACKED ONTO PUBLIC ROADS SHALL BE REMOVED DAILY. SCRAPE DAILY OR AS NEEDED. SWEEP ROADS ONCE A WEEK. ROADS SHALL ALSO BE CLEANED IMMEDIATELY AFTER A RAIN EVENT.
- THE CONTRACTOR WILL PERFORM DUST CONTROL AS NEEDED BASED ON SITE CONDITIONS.
- DISTURBED AREAS THAT WILL REMAIN IDLE DURING CONSTRUCTION MUST BE TEMPORARILY STABILIZED, INCLUDING SOIL STOCKPILES, USING DTMB SESC BEST MANAGEMENT PRACTICES.
- ALL DISTURBED SURFACE AREAS (INCLUDING UTILITY TRENCHES) SHALL BE TEMPORARILY GRADED AND/OR DITCHED TO DIRECT WATER RUNOFF FROM SUCH AREAS TO SEDIMENTATION CONTROL DEVICES WHICH WILL PREVENT DISTURBING ERODED WATER CARRYING SOIL FROM ENTERING A WATERCOURSE, SEWER, OR ADJACENT LANDS. SUCH SEDIMENTATION CONTROL DEVICES SHALL INCLUDE BUT NOT BE LIMITED TO PROTECTIVE DICHES, SEDIMENT TRAPS, SEDIMENT FILTERS, DITCH TRAPS, PIPE BARRIERS, STRAW BALE BERMS AND FILTERS AS DETAILED AND REQUIRED AND LOCATED ON THE DRAWINGS. AFTER THE PROJECT WORK HAS BEEN COMPLETED, INSPECTED AND APPROVED, THE CONTRACTOR SHALL REMOVE ALL SEDIMENTATION CONTROL DEVICES, MATERIAL AND OTHER COLLECTED SILT AND DEBRIS AND COMPLETE THE PROJECT WORK IN ACCORDANCE WITH THE DRAWINGS AND SPECIFICATIONS.
- THE CONTRACTOR SHALL MAINTAIN AND INSPECT SESC MEASURES THROUGHOUT THE COURSE OF THE PROJECT. RECOMMEND INSPECTING AND MAINTAINING EROSION AND SEDIMENTATION CONTROLS ON A DAILY BASIS. AT A MINIMUM, THE CONTRACTOR SHALL INSPECT AND MAINTAIN SESC MEASURES ONCE A WEEK AND AFTER RAIN EVENTS. COLLECTED SILT AND SEDIMENTATION SHALL BE REMOVED AS REQUIRED TO MAINTAIN THE EFFECTIVENESS OF THE SILT TRAPS OR SEDIMENTATION CONTROL DEVICES. IN SILT FENCE APPLICATIONS SEDIMENT SHALL BE REMOVED WHEN THE HEIGHT REACHES ONE HALF THE HEIGHT OF THE FABRIC. WHERE REQUIRED, THE CONTRACTOR SHALL REPLACE FILTER MATERIALS WHICH HAVE BECOME INEFFECTIVE DUE TO CONTAMINATION OR PHYSICAL DETERIORATION. THE CONTRACTOR SHALL INSPECT ALL SOIL AND EROSION AND SEDIMENTATION CONTROL DEVICES AFTER ALL STORM EVENTS.
- THE CONTRACTOR SHALL CORRECT NON-CONFORMING SESC MEASURES WITHIN 24 HOURS, IF WATERS OF THE STATE ARE BEING IMPACTED OR WITHIN 48 HOURS FOR ROUTINE MAINTENANCE ITEMS. OTHER SESC MAINTENANCE SHALL BE COMPLETED AS SOON AS POSSIBLE BUT NEVER MORE THAN FIVE (5) DAYS AFTER DETECTION.
- THE CONTRACTOR SHALL COMPLETE PERMANENT SOIL EROSION CONTROL MEASURES FOR ANY DISTURBED LAND AREA WITHIN 5 CALENDAR DAYS AFTER FINAL GRADING OR THE FINAL EARTH CHANGE HAS BEEN COMPLETED. THE CONTRACTOR SHALL MAINTAIN TEMPORARY CONTROL MEASURES UNTIL PERMANENT SOIL EROSION CONTROL MEASURES ARE IN PLACE AND THE AREA IS STABILIZED.
- THE CONTRACTOR SHALL REMOVE TEMPORARY EROSION CONTROL MEASURES AFTER PERMANENT SOIL EROSION MEASURES ARE IN PLACE AND THE AREA IS STABILIZED. CARE SHALL BE TAKEN DURING REMOVAL TO PREVENT SOIL EROSION AND SEDIMENTATION.
- AFTER THE COMPLETION OF THE PROJECT, PERMANENT SESC MEASURES WILL BE MAINTAINED BY THE PROPERTY OWNER.



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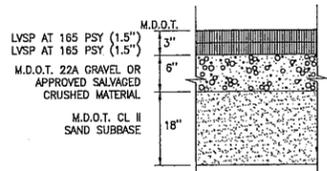
SOIL EROSION AND SEDIMENTATION CONTROL PLAN
PROPOSED ADMINISTRATION BUILDING
CHEBOYGAN OTSEGO PRESQUE ISLE ESD

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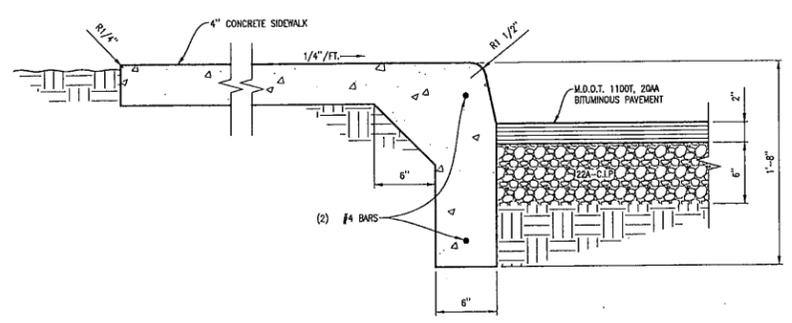
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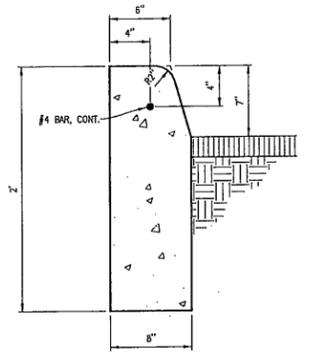
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C-5



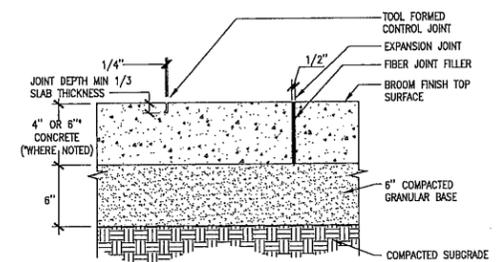
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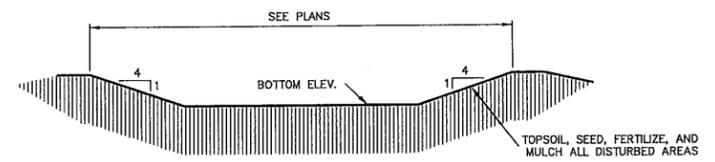
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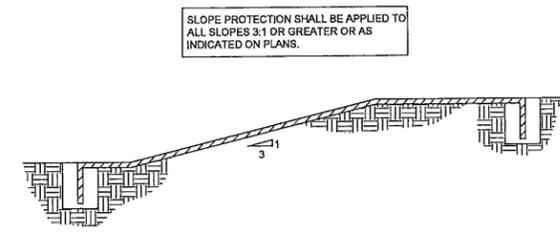
STANDARD M.D.O.T. "E2" CONCRETE CURB & GUTTER DETAIL
 NOT TO SCALE



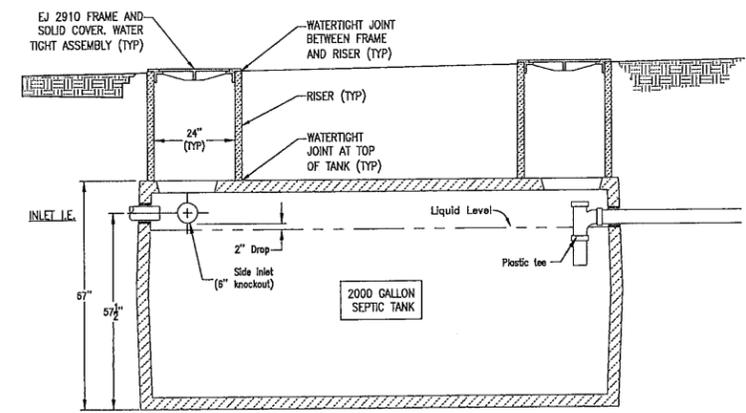
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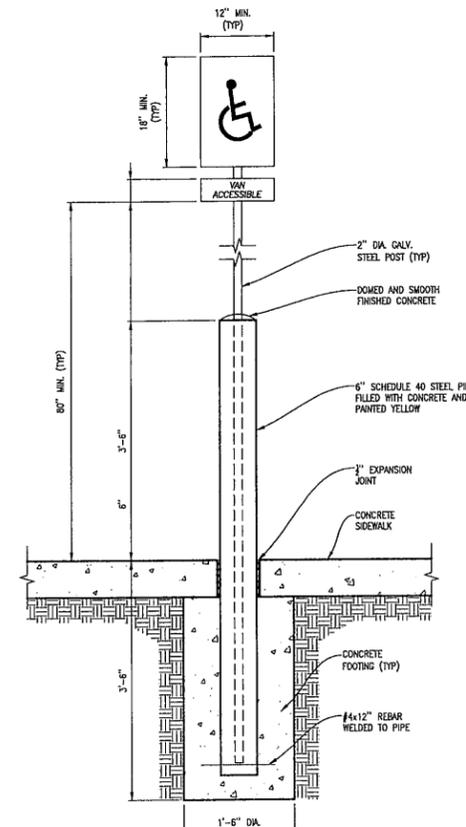
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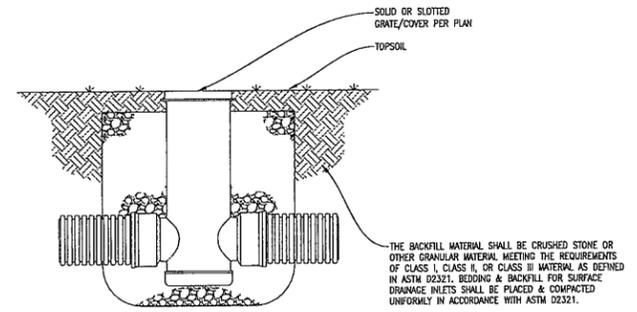
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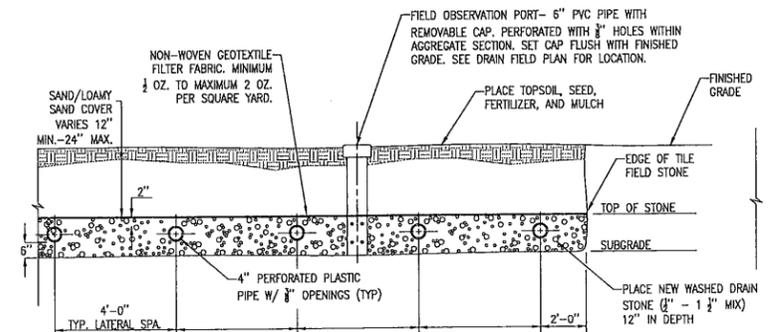
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TYPICAL SITE SIGN DETAIL
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12" NYLOBASIN DETAIL
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TYPICAL DRAIN FIELD SECTION
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No.	Date	Revision	By
01	05/12/2020	PERMIT SET	AJP

CONSTRUCTION DETAILS
PROPOSED ADMINISTRATION BUILDING
CHEBOYGAN OTSEGO PRESQUE ISLE ESD

Date Issued: _____
 Date Surveyed: 2/22/2019 (BY OTHERS)
 Designed By: AJP
 Drawn By: RMV
 Checked By: RMV
 Scale: AS NOTED

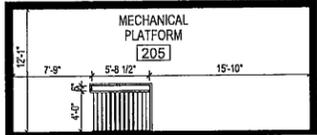
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Location:
 PART OF SECTION 1
 TOWNSHIP 35N
 RANGE 3W
 TUSCARORA TOWNSHIP
 CHEBOYGAN COUNTY

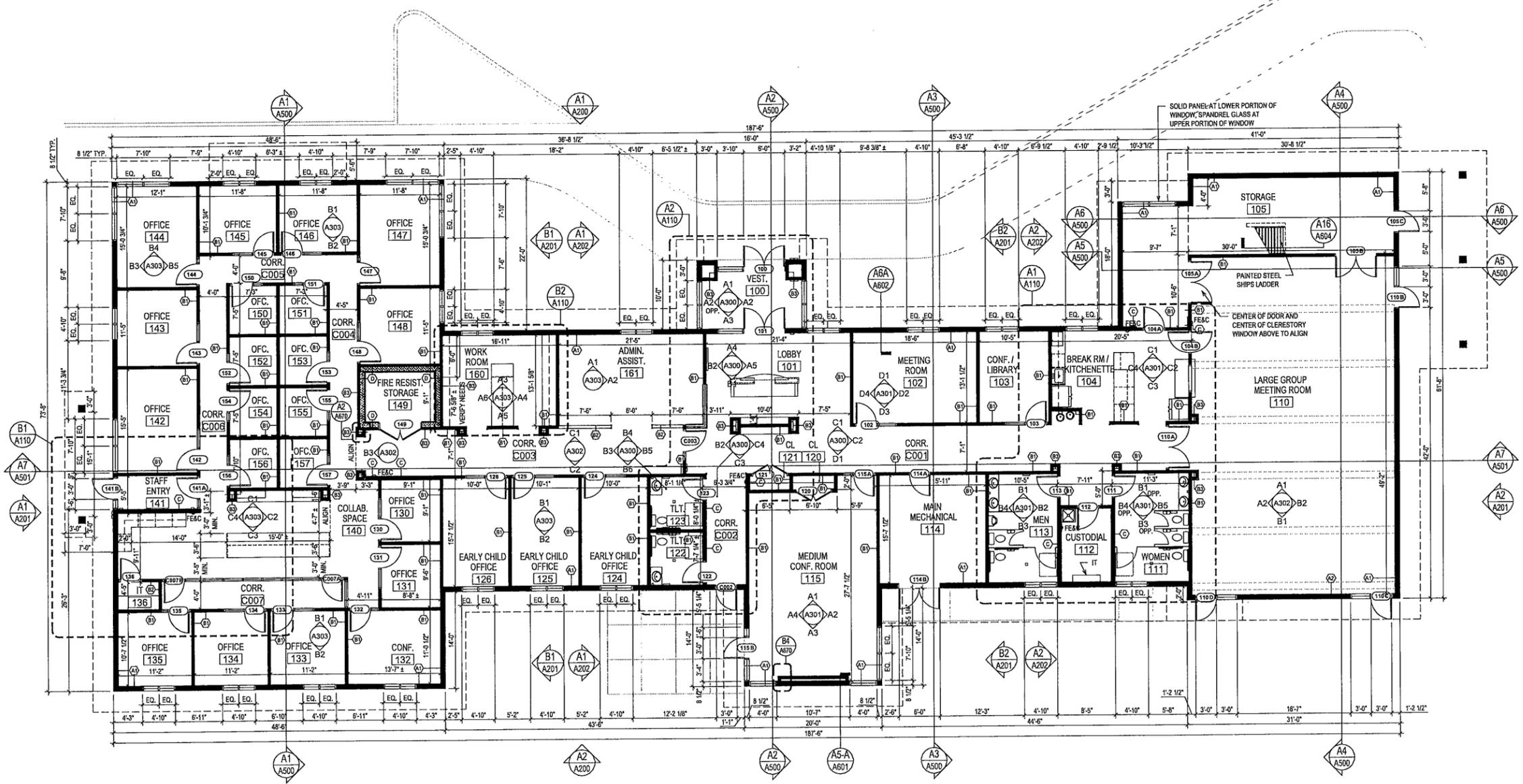
Project Number:
 2020727001

Sheet:
C-6

P:\2020\727001\CAD\CONSTRUCTION\CONSTRUCTION DETAILS.dwg, Sheet No. 01 of 01, Date Plotted: 05/12/2020 10:29:41 AM, Plotter: AutoCAD Plot Driver, PLOT: 24x36



MECHANICAL LOFT
SCALE: 1/8" = 1'-0"



MAIN LEVEL FLOOR PLAN
SCALE: 1/8" = 1'-0"

COPESD Administration Building
New Construction
6065 Learning Lane
Indian River, MI 49749

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Cornerstone Architects
Architecture Interior Design Historic Preservation
122 S. Union St., Suite 200
Grand Rapids, MI 49504
231.947.2177 P www.cornerstone-arch.com

DATE	ISSUED FOR
01-30-2020	Design Development Set
02-12-2020	Set for Board Approval
02-26-2020	30% Construction Documents
03-11-2020	50% Construction Documents
03-17-2020	PROGRESS
04-03-2020	75% Construction Documents
04-22-2020	80% Construction Documents
05-13-2020	Permit Set

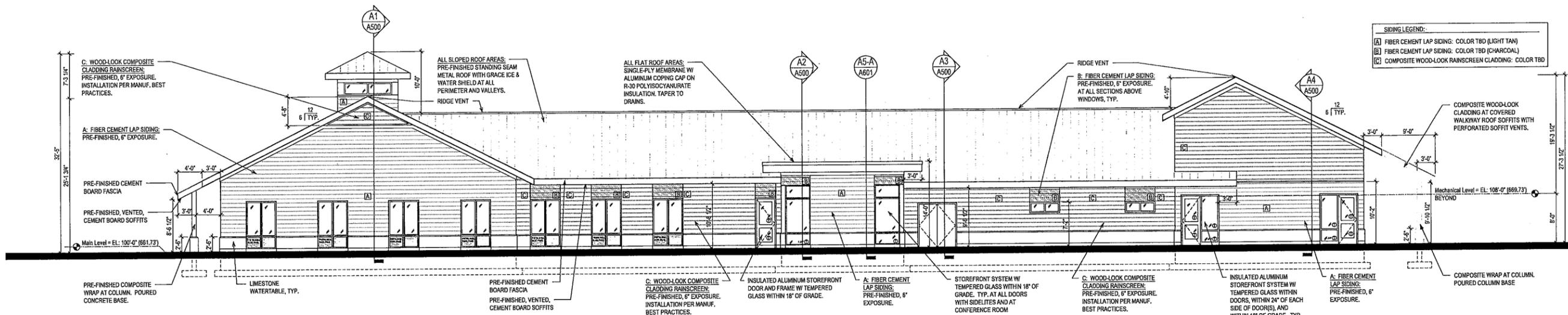
FIG: TGN
PK: Project Manager
DRAFTS: SAT

PROJECT NO:
19.523

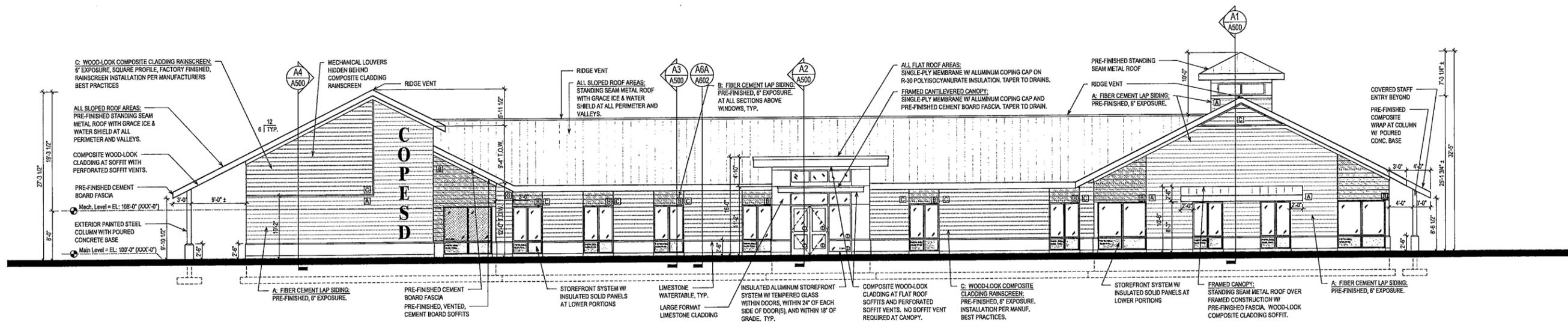
SHEET TITLE:
MAIN LEVEL FLOOR PLAN

SHEET NO:

A101



A2 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



A1 NORTH ELEVATION
SCALE: 1/8" = 1'-0"

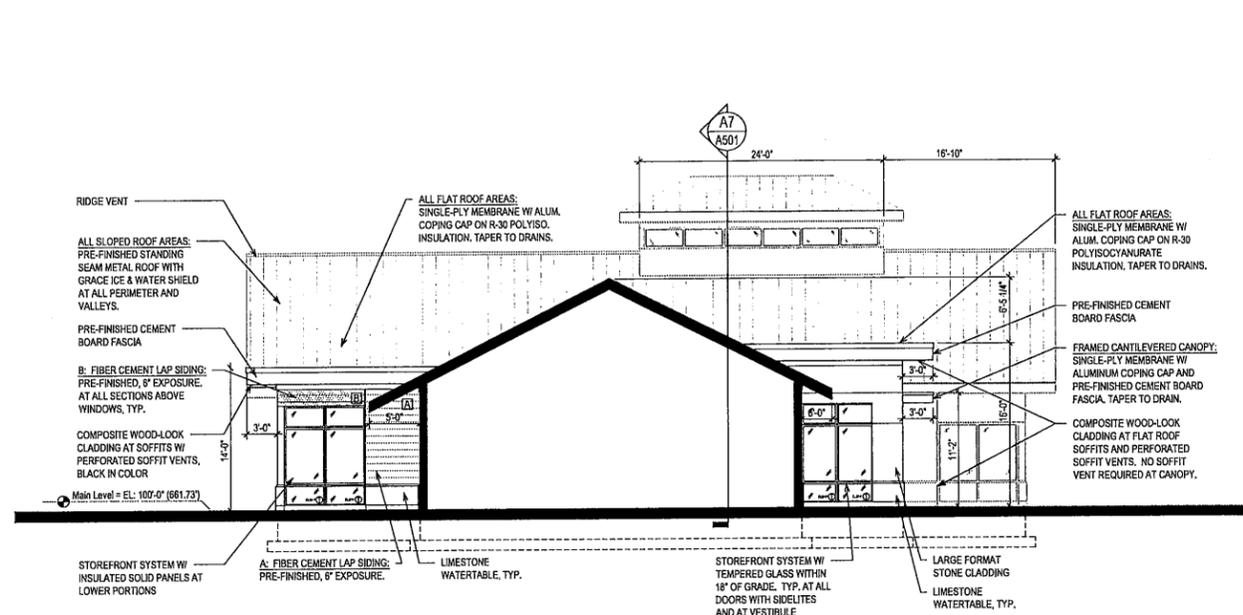
COPESD Administration Building
New Construction
6065 Learning Lane
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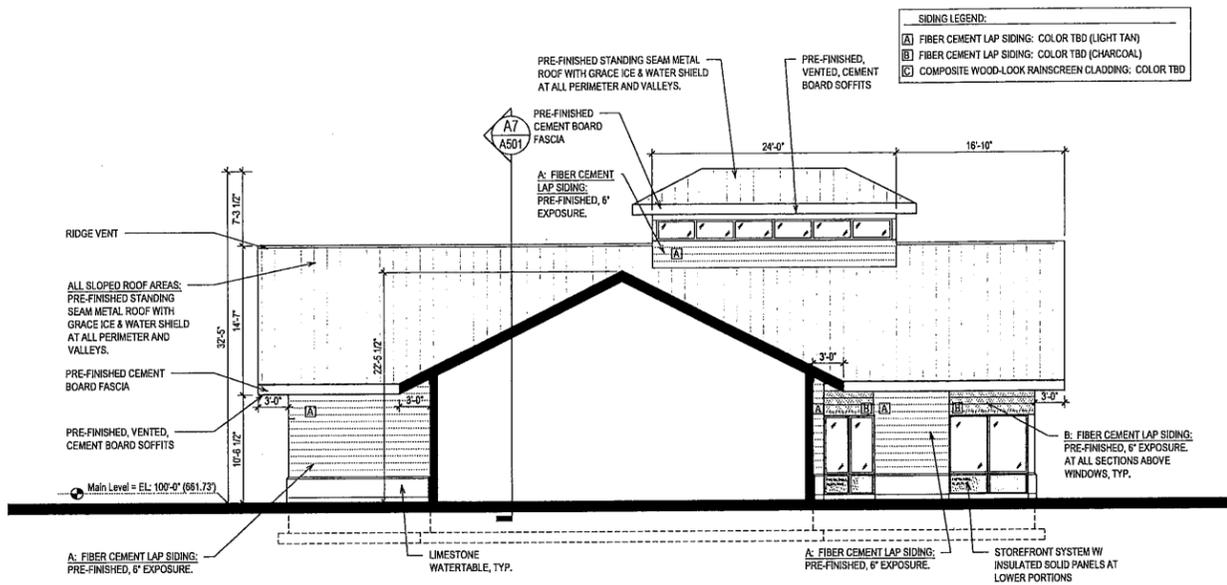
Cornerstone Architects
Interior Design Historic Preservation
Architecture
122 S. Union St., Suite 200
Grand Rapids, MI 49504
253.947.2117 P www.cornerstone-arch.com 251.653.4510 F

DATE	ISSUED FOR
01-20-2020	Design Development Set
02-02-2020	Set for Board Approval
02-08-2020	30% Construction Documents
03-13-2020	50% Construction Documents
03-17-2020	PROGRESS
04-03-2020	75% Construction Documents
04-22-2020	90% Construction Documents
05-13-2020	Permit Set

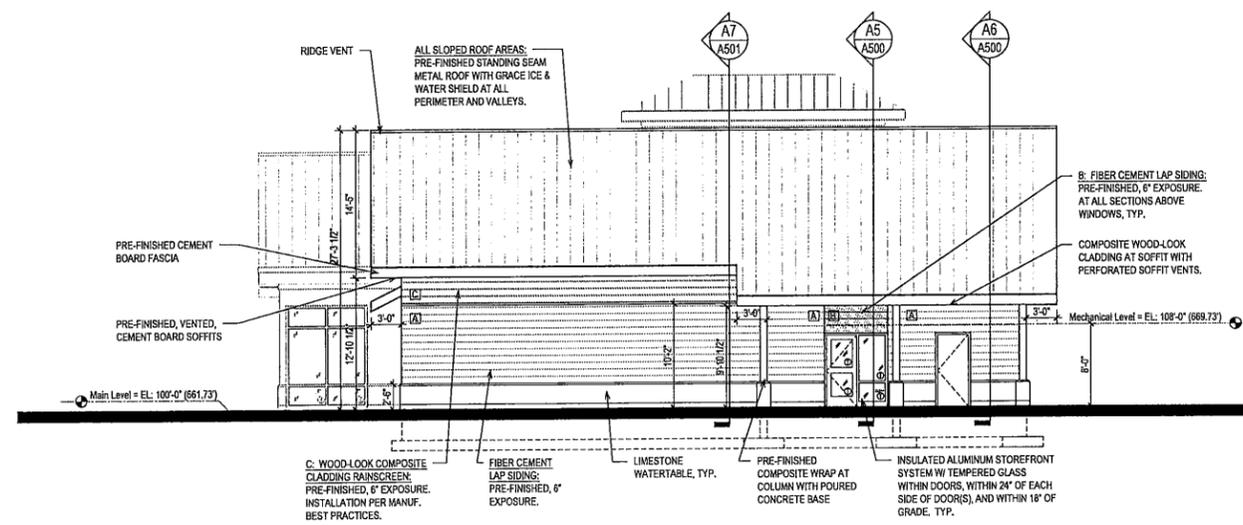
PI:	TGN
PR:	Project Manager
DR:	SAT
PROJECT NO:	19.523
SHEET TITLE:	EXTERIOR ELEVATIONS
SHEET NO:	A200



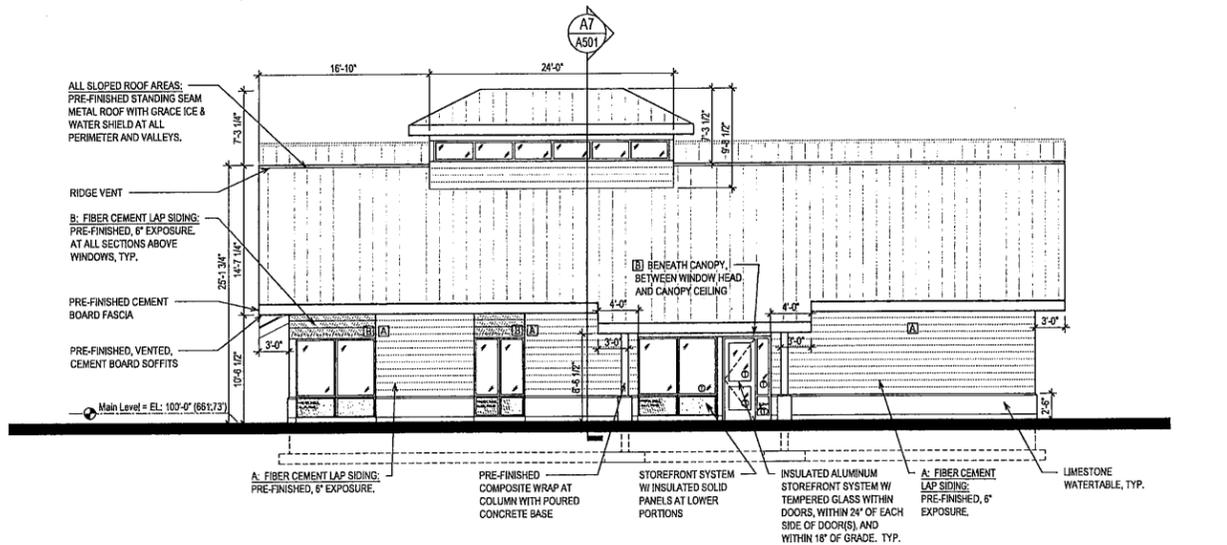
B2
A201 EAST ELEVATION
SCALE: 1/8" = 1'-0"



B1
A201 EAST ELEVATION
SCALE: 1/8" = 1'-0"



A2
A201 EAST ELEVATION
SCALE: 1/8" = 1'-0"



A1
A201 WEST ELEVATION
SCALE: 1/8" = 1'-0"

SIDING LEGEND:

A	FIBER CEMENT LAP SIDING: COLOR TBD (LIGHT TAN)
B	FIBER CEMENT LAP SIDING: COLOR TBD (CHARCOAL)
C	COMPOSITE WOOD-LOOK RAINSCREEN CLADDING: COLOR TBD

COPESED Administration Building
New Construction
6065 Learning Lane
Indian River, MI 49749

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122 S. Union St., Suite 200
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231.947.2177 p
www.cornerstone-arch.com 231.933.4310 f

DATE	ISSUED FOR
01-30-2020	Design Development Set
02-12-2020	Set for Board Approval
03-28-2020	30% Construction Document
03.13.2020	50% Construction Document
03.17.2020	PROGRESS
04.20.2020	75% Construction Document
04.22.2020	90% Construction Document
05.13.2020	Permit Set

FIG: TGN
PK: Project Manager
DRAFTS: SAT

PROJECT NO:
19.523

SHEET TITLE:
EXTERIOR ELEVATIONS

SHEET NO:

A201

Cheboygan-Otsego-Presque Isle ESD

6065 Learning Ln - Location/Aerial Map

Legend

-  6065 Learning Ln
-  Indian River Sports Center



Google Earth

© 2020 Google

3000 ft



6

Cheboygan County Zoning



8/13/2020, 8:32:27 PM

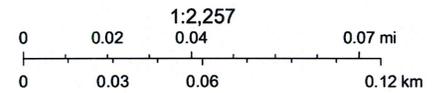
 Property Address _Query result

Zone - Zoning

 D-CM

 Exempt

 M-AF



Source: Esri, DigitalGlobe, GeoEye, Earthstar Geographics, CNES/Airbus DS, USDA, USGS, AeroGRID, IGN, and the GIS User Community

Web AppBuilder for ArcGIS
For reference only. Please call Cheboygan County Zoning for Verification, 231-627-8489

120-036-400-012-01
JACOBSON, ERIC A REVOCABLE
PO BOX 75
INDIAN RIVER, MI 49749

120-036-400-012-03
MOORE, ALBERT & PEGGY H/W
11 RANCH RD
INDIAN RIVER, MI 49749

120-036-416-160-00
COP INTERMEDIATE SCHOOL DIST
6065 LEARNING LN
INDIAN RIVER, MI 49749

120-036-400-012-00
LAKE, TODD & TAMARA H/W
2025 NICKLESS ROAD
GLADWIN, MI 48624

120-036-400-005-00
PATRICK, ANDREW & COLLEEN H/W
315 MIDDLETON RD
OWOSSO, MI 48867

120-036-400-004-00
HUNTER, KATHLEEN J
4507 HARTLAND CENTER RD
COLLINS, OH 44826

162-006-100-004-02
MICELI, LUCA & SILVIJA RAGINSKIS,
107 VIVIAN AVE
SAULT ST MARIE ON P62E9 CA

161-001-200-003-00
COP INTERMEDIATE SCHOOL DIST
6065 LEARNING LN
INDIAN RIVER, MI 49749

161-001-200-005-01
CCE CENTRAL DISPATCH AUTHORITY
1694 US-131
PETOSKEY, MI 49770

161-001-200-005-02
CONNERS, TRAVIS & RENEE, TRUSTEES
PO BOX 726
INDIAN RIVER, MI 49749

162-006-100-001-00
LUND, CHRISTOPHER & TINA CARTWRIGHT
30851 OLYMPIC PL
LAGUNA NIGUEL, CA 92677

162-006-100-002-00
UPTGRAFF, DONALD SCOTT
5545 WOODFIELD CT
GRAND BLANC, MI 48439

162-006-100-003-00
NORTHERN SHORES INVESTMENTS
989 VFW RD
CHEBOYGAN, MI 49721

130-031-311-110-00
TEMPLE, STEVEN & SHARI H/W
4324 KATERI LN
INDIAN RIVER, MI 49749

120-036-400-012-01
OCCUPANT
6058 LEARNING LN
INDIAN RIVER, MI 49749

120-036-400-012-03
OCCUPANT
11 RANCH RD
INDIAN RIVER, MI 49749

120-036-416-160-00
OCCUPANT
6020 LEARNING LN
INDIAN RIVER, MI 49749

120-036-400-012-00
OCCUPANT
117 RANCH RD
INDIAN RIVER, MI 49749

162-006-100-002-00
OCCUPANT
23 S STRAITS HWY
INDIAN RIVER, MI 49749

120-036-400-004-00
OCCUPANT
6176 LEARNING LN
INDIAN RIVER, MI 49749

162-006-100-004-02
OCCUPANT
51 S STRAITS HWY
INDIAN RIVER, MI 49749

161-001-200-003-00
OCCUPANT
6065 LEARNING LN
INDIAN RIVER, MI 49749

162-006-100-003-00
OCCUPANT
37 S STRAITS HWY
INDIAN RIVER, MI 49749

161-001-200-005-02
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100 S STRAITS HWY
INDIAN RIVER, MI 49749

162-006-100-001-00
OCCUPANT
11 S STRAITS HWY
INDIAN RIVER, MI 49749

130-031-311-110-00
OCCUPANT
106 N STRAITS HWY
INDIAN RIVER, MI 49749

120-036-400-012-01
OCCUPANT
6030 LEARNING LN
INDIAN RIVER, MI 49749

Michael C. Turisk

From: Deborah Tomlinson
Sent: Thursday, August 13, 2020 12:58 PM
To: Michael C. Turisk
Subject: FW: Cheboygan Otsego Presque Isle Educational School District - Rezoning Application and Site Plan Review Application

Mike,

Please see Dave Carpenter's email below.

Debbie Tomlinson
Assistant to Director of Planning & Zoning
Cheboygan County Planning & Zoning Department
PO Box 70, 870 South Main Street
Cheboygan, MI 49721
(231)627-8489 phone
(231)627-3646 fax
debbiet@cheboygancounty.net
www.cheboygancounty.net/planning

From: Dave Carpenter [mailto:dpcarpenter@voyager.net]
Sent: Thursday, August 13, 2020 10:10 AM
To: Deborah Tomlinson
Subject: Re: Cheboygan Otsego Presque Isle Educational School District - Rezoning Application and Site Plan Review Application

CAUTION: This email originated from outside of the Cheboygan County email system. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Hi Deb,

I have no issues in regards to fire with the Douglas Duke or the COP,ESD projects.

Dave Carpenter
Fire Chief

From: Deborah Tomlinson
Sent: Wednesday, August 12, 2020 10:44 AM
To: Kyle Keller ; David Carpenter (dpcarpenter@voyager.net) ; Brent Shank (mgr@chcrc.com) ; Jay Gailitis (gailitisj@michigan.gov) ; Scott Fisher (FisherS22@michigan.gov) ; Bobbi Balazovic (treasurer@tuscaroratwp.com) ; Craig Waldron (cwaldron@centurylink.net) ; Jane McGinnis (jane@mcvideo.com) ; Tuscarora ; Sue Fisher (clerk@tuscaroratwp.com) ; Dan Nivelt (d-repair@sbcglobal.net) ; jhschams@outlook.com ; Kelly Ashford ; Mike Cherveney
Subject: Cheboygan Otsego Presque Isle Educational School District - Rezoning Application and Site Plan Review Application

The following is a link to the 08/19/20 Planning Commission notice: <http://is0.gaslightmedia.com/cheboygancounty/ ORIGINAL /fs19-1596733508-05612.pdf> The following is a link to the Cheboygan Otsego Presque Isle Educational School District's Rezoning Application

CHAPTER 8

COMMUNITY GOALS AND OBJECTIVES

Introduction

Before a community can actively plan for its future growth and development, it must first set certain goals and objectives that define the boundaries of its needs and aspirations and, thus, establish a basis for Master Plan formulation. In developing community goals and policies, it is important to analyze existing community characteristics, such as: social and economic features, environmental resources, available services and facilities, and existing land use. In addition to examining existing characteristics, another important tool in the development of community goals and policies is to identify community assets, problems and other issues to be addressed.

The following goals (the ultimate purposes or intent of the plan) and objectives (means of attaining community goals) set forth to guide local decision-makers in reviewing future land use proposals are the result of input received during the preparation of the Master Plan update.

Goals and Objectives

Land Use Goal

GOAL:

Maintain an ecologically sound balance between human activities, economic growth and the environment to retain the Township's scenic and rural character, while meeting the needs of the current and future residents.

OBJECTIVES AND ACTION STEPS:

1. Pursue the development of a sewer system to enhance development opportunities in downtown Indian River, while protecting the water quality.
2. Review the county Zoning Ordinance as related to the Township Master Plan, and work cooperatively to amend the County Ordinance as appropriate.
3. Pursue the establishing of downtown Indian River as a mixed-use Village Center.
4. Work with the County to control the location of new development by designating appropriate areas for new residential, commercial, and industrial land uses.
5. Encourage growth and development in and immediately around Indian River.
6. Consistent with smart growth principles and the complete streets initiative, encourage the use of access management standards, non-motorized facilities, appropriate setbacks, retention of green space, buffer zones between differing land uses, screened parking areas, and roadside landscaping; and encourage the retention of open space and scenic vistas with PUD's, clustering, and conservation easements.

Residential Goal

GOAL:

Promote the development of suitable housing opportunities for the varied economic and lifestyle needs of the residents.

OBJECTIVES AND ACTION STEPS:

1. Work with the County to ensure areas are designated as appropriate for all types of residential development compatible with the surrounding natural environment, including single family, multi-family, condominium, low to moderate-income rental complexes, and extended care facilities.
2. Encourage the development of continuous care housing options for the increasing senior population in the area.
3. Encourage participation with Northern Homes and Michigan State Housing Development Authority (MSHDA) programs to rehabilitate substandard housing and to provide needed moderately priced housing in the Township.
4. Preserve the integrity of existing residentially zoned areas by protecting from intrusion of incompatible uses.
5. Work with Cheboygan County to address potential zoning incompatibilities, such as residential uses from locating in areas zoned for agriculture or industrial uses.
6. Require a buffer between Residential uses and other more intensive uses.

Economic Development

GOALS:

Strengthen the local economy through the development and retention of enterprises, which provide employment opportunities

To provide for a full range of commercial facilities and infrastructure which are adequate to serve both the resident and tourist markets.

OBJECTIVES AND ACTION STEPS:

1. Encourage the promotion and development of Indian River area as a business center serving both the local consumer population and sub-regional market base.
2. Encourage the expansion of existing establishments and the establishment of new commercial uses in downtown Indian River.
3. Encourage the development of clustered commercial, light industrial and/or office facilities in industrial park in close proximity to the I-75 interchange
4. Encourage the development of new types of industries and those that are economically associated with the existing industrial base.
5. Provide industry at locations that are easily accessible to the existing transportation network and in areas likely to be served by public utilities.
6. Limit commercial thoroughfare frontage developments to Straits Highway for auto-oriented type businesses and other business uses that are, too large or are otherwise unsuited to location in downtown Indian River.
7. Encourage the implementation of access management standards, including the use of shared driveways and access drives as a means of reducing traffic conflicts along main corridors.
8. Work with the County to ensure appropriate buffers are required to transition between commercial and residential areas.
9. Encourage the development of professional enterprises which offer employment and growth opportunities to the Township's skilled workforce.
10. Encourage the development of local Main Street program in coordination with or through the Downtown Development Authority.
11. Encourage the establishment of home based businesses, especially those which rely primarily on internet based business and/or provide web-based jobs.
12. Promote the Indian River area as an ALL season recreation destination.

Agriculture & Forestry Goal

GOAL:

Acknowledge the importance of agricultural lands and forestry management.

OBJECTIVES AND ACTION STEPS:

1. Recognize that the presence of agricultural and forested lands adds to the scenic and rural character of the Township.
2. Work to provide economically feasible options for continued agricultural and forestry use of lands with prime farmland and forestland soils.
3. Allow for and encourage farmland protection, such as through the transfer of development rights (when available), purchase of development rights, conservation easements and the clustering of non-farm development.
4. Participate in efforts to educate the community regarding agricultural preservation
5. Work to retain and manage existing forestland
6. Promote re-forestation and sound forestry management practices for areas with productive forest soils.
7. Work with County to provide greater zoning flexibility regarding uses of large parcels of land.

Recreation Goal

GOAL:

Provide and maintain recreation lands and facilities for safe access and year-round healthy enjoyment by residents and visitors.

OBJECTIVES AND ACTION STEPS:

1. Maintain an up-to-date recreation plan to address the needs (current and anticipated) and maintenance plan for all recreation trails, facilities and parklands.
2. Promote the use of the North Central State Trail, through the establishment of Marina Park as a designated trailhead.
3. Develop or designate bike/pedestrian routes linking downtown Indian River, the educational facilities, tourist destinations and recreation areas in the Township, including (but not limited to) Inland Lakes Schools and Burt Lake State Park, consistent with a Complete Streets policy.
4. Maintain, improve and expand Township parks and facilities to serve the needs of residents and visitors.
5. Work cooperatively with neighboring townships, Counties and other key stakeholders to establish connecting bike trail or routes, such as between the North Central State Trail and the [currently unimproved] Petoskey to Mackinaw City trail.
6. Promote winter tourism for the area, including snowmobiling, x-country skiing, snowshoeing, and ice fishing.
7. Establish a handicap accessible fishing area, such as the proposed Veterans Pier at DeVoe Park.
8. Promote the accessibility of ORV and Snowmobile trails from the Indian River area.
9. Promote the hunting and fishing opportunities of the area.
10. Seek grant assistance for trail and park improvement projects.

Natural Resource Goal

GOAL:

Protect and preserve groundwater, surface water, woodlands, wetlands, open space, wildlife habitat and steep slopes.

OBJECTIVES AND ACTION STEPS:

1. Pursue the implementation of a municipal sewer system, to protect the water quality of the groundwater and surface water in the area.
2. Work with Cheboygan County to encourage a land use pattern that is oriented to the natural features and water resources of the area by evaluating type and density of proposed developments based on soil suitability; slope of land; potential for ground water and surface water degradation and contamination; compatibility with adjacent land uses; and impacts to sensitive natural areas like wetlands, greenways and wildlife corridors.
3. Encourage the maintenance of natural vegetation adjacent to lakes, streams, and wetlands.
4. Support the strengthening of groundwater protection and stormwater management regulations in the County's zoning ordinance, while encouraging the continued natural use of wetlands as groundwater recharge, stormwater filtering and stormwater holding areas.
5. Promote regulations for development on steeply sloped areas and require erosion control measures where construction is permitted. Require slope stabilization and re-vegetation on disturbed slopes or in extraction areas.
6. Encourage planting of native tree and shrub species when properties are developed.
7. Encourage the retention and management of existing forest lands.

Infrastructure & Public Service Goal

GOAL:

Maintain and improve the Township facilities, programs and systems consistent with the community needs, and the ability to finance the improvements.

OBJECTIVES AND ACTION STEPS:

1. Pursue the implementation of a sewer system in the Indian River area.
2. Develop, adopt and begin implementation of a Complete Streets policy, to improve transportation equity, while encouraging health through physical activity and active transportation.
3. Continue to support the local public safety and emergency services including the local Police Department and Fire Department .
4. Continue to work with the County on road improvements consistent with funding ability and the Township's priority list.
5. Participate in county-wide comprehensive waste management efforts, including emphasis on recycling.
6. Continue to pursue expansion of affordable high-speed communications throughout the entire Township.
7. Monitor and explore the utility expansion needs, as more development occurs.
8. Pursue placement of utilities underground.
9. Work to create a more pedestrian friendly downtown by providing sidewalks, reducing curb cuts and improving parking.
10. Establish and maintain on-going communication with adjacent Townships regarding planned projects in order to facilitate joint projects, such as road improvements where wider shoulders could facilitate a cooperative and coordinated bicycle connector route.

CHAPTER 9

Future Land Use Recommendations

Introduction

The Future Land Use Plan is designed to serve as a guide for future development. If it is to serve the needs of the community and function effectively, it must incorporate several important characteristics.

The Plan must be general

The Plan, by its very nature, cannot be implemented immediately. Therefore, only generalized locations (not necessarily related to property lines) for various land uses are indicated on the Plan.

The Plan should embrace an extended but foreseeable time period

The Plan depicts land uses and community development strategies through the Year 2020.

The Plan should be comprehensive

The Plan, if it is to serve its function as an important decision-making tool, must give adequate consideration to the sensitive relationships which exist between all major land use categories, including environmentally sensitive properties. Development in environmentally sensitive areas should be discouraged by Tuscarora Township. All future development as indicated on the Future Land Use (Figure 9-1) shall occur only as environmental conditions permit and must take into consideration those environmental restrictions as outlined in the Natural Features element of this Plan.

The Plan should acknowledge regional conditions and trends

Tuscarora Township is an integral part of Cheboygan County and the Northeast Michigan Council of Governments, a multi-county regional planning agency; therefore, the Plan should acknowledge the Township's regional context. Through recognition of regional implications, the Township's Future Land Use Plan will be more realistic and reasonable in terms of guiding the future utilization of land resources in the Township.

The Plan must be updated periodically

The Plan may require periodic revisions to reflect significant changes in local, state, or national conditions which cannot be foreseen at this time.

For example, over the past fifty years, several major innovations in land development have occurred. Included among these are: the initiation and expansion of the freeway system; modifications in shopping facilities; relocation of employment centers from the cities to the suburbs; changes in housing preferences; and the declining family size.

It is, of course impossible to predict the type of changes which may occur over the next decade or two. In compliance with the Michigan Planning Enabling Act, a comprehensive review of the Master Plan should be undertaken every five years to provide for an adequate analysis of new conditions and trends, and the plan updated as appropriate. If major re-zoning requests which are in conflict with Plan recommendations are deemed desirable, then, the Plan should be reviewed and amended as appropriate prior to the re-zoning.

Plan Recommendations

Ten (10) future land use categories plus a category for water are proposed for Tuscarora Township. The various land uses are portrayed on Future Land Use Map, Figure 9-1 and in Table 9-1. A discussion of each land use category is presented below.

**Table 9-1
Future Land Use Acreage**

Land Use Category	Area in Acres	Percent in Total
1. Agricultural / Forestry	4,843.9	18.0
2. Single Family Residential	6,436.2	24.0
3. Multi-Family Residential	63.2	0.2
4. Village Mixed Use	33.7	0.1
5. General Commercial	580.9	2.2
6. Industrial	262.4	1.0
7. Park/Recreation	508.4	1.9
8. Conservation Recreation	5,450.0	20.3
9. Public/Semi-Public	279.4	1.0
10. Right-of-Way (I-75)	334.3	1.2
Water	8,045.4	30.0
Total	26,837.8	99.9

*Note: Numbers do not add to 100 due to rounding.

Agricultural/Forestry: This category is intended to preserve the rural character of the Township. A total 4,844 acres (18%) are devoted to this classification. Farming and related agricultural activities and rural housing are the principal uses. Central water and sanitary sewer facilities are not currently available and are not intended to be available during the planning period.

The Agricultural/Forestry area is designed to conserve, stabilize, enhance, and develop farming and related natural resource based activities; to minimize conflicting uses of parcels, lots, buildings, and structures detrimental to, or incompatible with these activities; and to prohibit uses of parcels, lots, buildings, and structures which require streets, drainage, and other public facilities and services of a different type and quantity than those that currently exist. The district, in preserving area for agricultural use, is also designed to prevent proliferation of residential subdivision and urban sprawl.

Agricultural properties may be used for general and specialized farming, including the raising or growing of crops, livestock, poultry, bees, and other farm animals and product. Buildings or structures may be located which are used for the day-to-day operation of such activities. Any lot that is kept as idle cropland should be managed to prevent soil erosion by wind or water and should be free of excessive weeds and shrubs.

Single-family homes that are compatible with the agricultural use and rural character of the district are encouraged. Setting a maximum lot area of one or two acres for each residential unit would help preserve the majority of land in the agricultural area for farm and forest use, and should be considered. Clustering of residential units is another recommended technique to preserve farmland and open space.

Within this future land use category, limited use outdoor recreation/event facilities may be

compatible when located on parcels 40 acres in size or greater depending on the specific use and with site specific conditions required to address potential issues such as site access, traffic, noise, lights, etc and provide safeguards to protect the neighboring property owners. Allowing for such a use could take the form of a property owner initiated conditional rezoning; a Planned Unit Development; or a Special Land Use if allowed for in the Zoning District. The pursuit of this type of use should be explored with the Cheboygan County Department of Planning and Zoning (in coordination with Tuscarora Township) in consideration of the Cheboygan County Zoning Ordinance.

Single Family Residential: This future land use category is intended to serve as the principal residential area of the Township. It covers 6,436 acres or 24.2% of the total Township area.

Relatively high density (lot size less than one acre) homes are encouraged in and around the community of Indian River, while low density homes (minimum one-acre lot) are encouraged in the outlying areas north of Indian River and areas along the Burt Lake shore. In the future, the Township may wish to consider designating two types of residential development areas: one where subdivision or small lot development is anticipated and the other where large-lot or “estate residential” development is to be encouraged. To fully implement this concept, an additional “estate residential” zoning classification may be needed at the County level.

Sanitary sewer facilities should be provided in the Indian River area. Such services to other parts of the district should be extended on an as-needed and cost-effective basis only.

Multi-Family Residential: This area (63 acres or 0.2%) encompasses the existing mobile home parks, apartments, and condominiums. No new land is designated for such uses. However, proposals for new multi-family developments should be approved on a case-by-case basis if certain conditions are met. Compatibility with the surrounding uses, land suitability, access, and availability of public services are among the factors that should be considered in locating multi-family developments.

Village Mixed-Use: This plan identifies two distinctly different areas for future commercial development: “Village Mixed Use” and “General Commercial”. The Village Mixed Use area encompasses the downtown portions of Indian River, generally extending along Straits Highway from the Indian River to South Avenue. As used in this Plan, the term “Village Mixed Use” is not intended to refer to Village as a governmental entity, but rather to communicate the idea of a small-scale Village-like setting for commercial and community activity. The Village Mixed Use concept anticipates a synergistic mix of commercial, civic, residential and recreational uses in close proximity, rather than exclusive commercial use.

Consistent with planning goals developed by the Tuscarora Township Downtown Development Authority, commercial development in the Village Mixed Use area is anticipated to be relatively small-scale, and oriented to pedestrian as well as vehicular access. It will serve both the retail commercial needs of year-round residents, and provide an attractive, unique shopping environment for tourists and seasonal residents. Desirable commercial uses in this area include retail and specialty shops, personal services, commercial and professional offices, restaurants and taverns. Future design features in the Village Mixed Use area ideally will include an integrated and coherent system of sidewalks, landscaping, lighting, seating and signs. Both on and off-street parking will be provided.

It is important to note that residential uses exist immediately adjacent to the Village Mixed Use

area, both to the east and west of Straits Highway. The concept of a Village Mixed Use in downtown Indian River includes and depends upon maintaining vibrant residential neighborhoods within walking distance of downtown. Therefore, the Village Mixed Use area would be suitable for mixed use type of zoning, similar to the Village Center zoning district, currently provided in the Cheboygan County Zoning Ordinance. Provisions for zero lot line (zero setback) should be explored for this area, especially once sewers are available.

Further, it is acknowledged that the Village Mixed Use area also contains a number of important civic uses, such as the Tuscarora Township Hall, Library, Post Office and Chamber of Commerce (Tourist Information) office. Maintaining these civic uses at the heart of downtown is also important to the future success of the Village Mixed Use area.

Because the downtown area is in close proximity to both the Sturgeon and Indian Rivers, and to Burt Lake, recreation is an important existing and future use in the Village Mixed Use area. As part of this Plan, the Tuscarora Township Planning Commission recommends and supports improved recreational opportunities, both public and private, in the downtown area. Two important future recreational opportunities are mentioned here. First, it is recommended that the Township continue to work with the DNRE to promote the North Central State Trail and related recreational uses. This trail has the potential to bring a positive flow of tourist and recreational traffic to and through downtown Indian River. Second, it is recommended that public dockage and water access downtown be maintained and expanded. At present, the Township uses the "Green Dock", as a waterfront walkway and public fishing area. This dock is located just west of Straits Highway, on the north side of Indian River. Additionally, efforts are in progress to site a new public marina in or near downtown, which could provide transient docking for approximately 30 boats. One location under consideration is at the juncture of the Little Sturgeon and the Indian River, just east of Straits Highway.

General Commercial: In contrast to the proposed Village Mixed Use area, the General Commercial area is envisioned to serve primarily vehicular traffic. Most of the General Commercial area is located along the Old 27 corridor, north of the Indian River and between South Avenue and the Sturgeon River. The remainder of the General Commercial area is located on the M-68 corridor, near the I-75 interchange. Parcels in the General Commercial area are generally larger than that available downtown. Therefore, commercial uses requiring proportionately larger scale sites are encouraged to locate in the General Commercial area. Examples of existing appropriate large-scale commercial uses in this area include commercial nursery and landscape material sales, lumber and hardware stores with large storage and inventory areas, and commercial recreation facilities such as miniature golf and boat liveries. Additionally, highway oriented uses such as vehicle sales, automobile service stations, motels and restaurants are appropriate in the general commercial area. Design standards in this area would ideally include off-street parking, a landscaped setback from the highway, access controls to minimize interference with through traffic on the highway, and highway-oriented sign regulations.

Within this future land use category, limited use outdoor recreation/event facilities may be compatible depending on the specific use and with site specific conditions required to address potential issues such as site access, traffic, noise, lights, etc and provide safeguards to protect the neighboring property owners. The pursuit of this type of use should be explored with the Cheboygan County Department of Planning and Zoning (in coordination with Tuscarora Township) in consideration of the Cheboygan County Zoning Ordinance.

Industrial: The Future Land Use Plan designates one primary location for expanded industrial development: the industrial park area southeast of the I-75 interchange at Indian River. Because of good commercial visibility and proximity to I-75, it is recognized that some of the M-68 frontage property at this location may actually be developed for highway-related commercial use. Therefore, lands adjacent to the existing industrial park have been designated for future industrial use to allow additional industrial expansion space behind the M-68 frontage parcels. The Cheboygan County Road Commission facility located on Old 27 South is also designated Industrial.

Parks & Recreation: The Tuscarora Township is blessed with a large amount of land devoted for recreational purposes. The existing 508 acres (1.9%) is adequate to serve the recreational needs of the current and future population of the Township. Additionally, three recreation sites in the Indian River area which were proposed for improvements in the previous plan, have been completed: a recreational trail on the old rail right-of-way, fishing and waterfront walkway improvements at the Green Dock location and public dockage near downtown, and the juncture of the Little Sturgeon and Indian Rivers, thus increasing the recreational opportunities.

Conservation/Recreation: If Tuscarora Township is to continue to fulfill its role as an attractive place to live and visit, it must actively encourage the preservation of its environmentally sensitive resources.

It is necessary for a Township to have lands available for recreational use, but it is also necessary to have land remain in its natural state untouched by any type of development. The value to the public of certain open areas of the Township is represented in their natural, undeveloped, or unbuilt condition. It is recognized that the principal use of certain open areas is, and ought to be, the preservation, management, and utilization of the natural resource base possessed by these areas.

On privately held parcels in this area, very low density residential and recreational use are appropriate. Assets to be protected include woodlands, wetlands, lands containing protected species, and scenic areas. In doing so, the Township may see a reduction of hardships and financial burdens imposed upon the community through the destruction of resources, improper use of open land or wooded areas, and the periodic flooding of creeks and streams.

Conservation/open space areas are of extreme importance to a community. Not only do they meet the increasing opportunities afforded by increasing leisure time and are a source of health and pleasure, but also serve as a reminder that people can never put their natural habitat back. A total of 5,450.0 acres (20.3%) are designated for conservation/recreation purposes. Mackinaw State Forest covers slightly more than one-half of this acreage; most of the remainder being wetlands along the Sturgeon River west of I-75, and along the Indian River and Mullett Lake, east of I-75, including the ecologically significant Indian River Spreads.

Public/Semi-Public: The Plan designates 279 acres (1.0%) as public/semi-public area. This category includes most of the major existing public or semi-public facilities, such as Campbell Landing Field, schools, churches, and government offices.

Water: Water bodies account for the largest share of the Tuscarora Township area. A total of 8,045 acres (30.0%) is classified as water, which includes portions of Burt Lake, Mullett Lake, and the Indian River. The difference between the acreage of water listed in the previous plan and this plan are due to changes in available mapping data (with the recent data typically

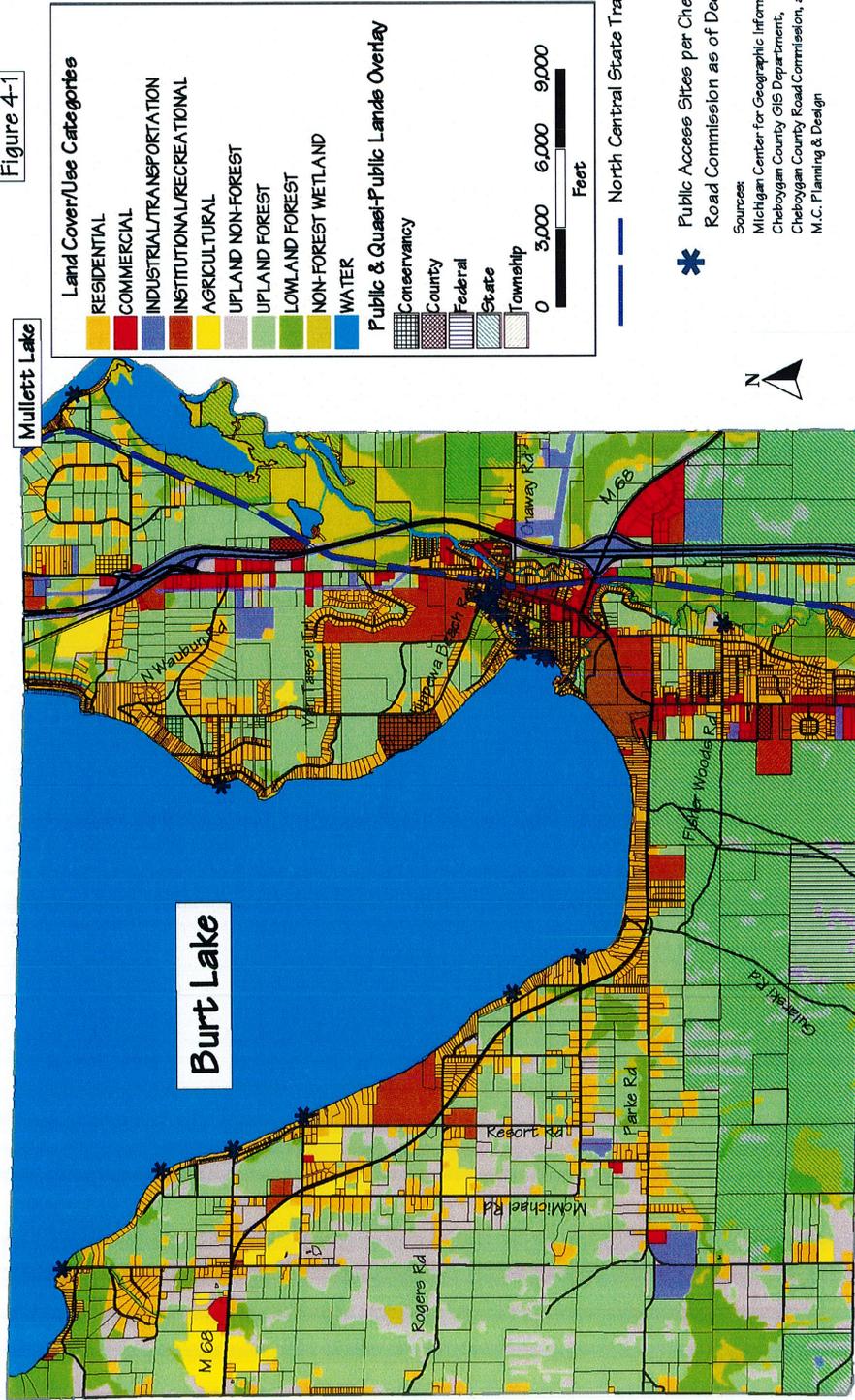
considered more accurate) and mapping techniques.

Right-of-Way: The dedicated rights-of-way of the I-75 corridor within the Township account for the 334 acres, or 1.2% of the total. Due to the variation in road rights-of-way from one road to another, and the relatively limited width of the rights-of-way for most county roads, the other rights-of-way are not separated from the surrounding land uses.

TUSCARORA TOWNSHIP

Existing Land Cover/Use Map

Figure 4-1





CHEBOYGAN COUNTY COMMUNITY DEVELOPMENT DEPARTMENT

CHEBOYGAN COUNTY BUILDING ■ 870 S. MAIN STREET, PO BOX 70 ■ CHEBOYGAN, MI 49721
PHONE: (231)627-8489 ■ FAX: (231)627-3646
www.cheboygancounty.net/planning/

STAFF REPORT

Item: Site plan review application for Offices, per Section 6.2.15 of the Zoning Ordinance.	Prepared by: Michael Turisk
Date: August 13, 2020	Expected Meeting Date: August 19, 2020

GENERAL INFORMATION

Property Owner(s): Cheboygan-Otsego-Presque Isle Intermediate School District/Educational Services District

Applicant(s): Same as above

Contact Person(s): Jamie Huber, Superintendent, Cheboygan-Otsego-Presque Isle Educational Service District

Contact Phone: 231.238.9394

Property Location: The 4.8-acre subject property is located at 6065 Learning Lane (accessed via M-27, a Michigan State Highway) in Indian River, just south of Tuscarora Township's boundary with Burt Township and approximately .6-mile north of the M-27/Interstate-75 interchange (I-75 Exit 313).

Requested Action: Approval of a site plan review application for administrative and educational services training offices to serve the Cheboygan-Otsego-Presque Isle Educational Service District.

1. BACKGROUND/HISTORY

The subject property is approximately 4.8-acres, located at 6065 Learning Lane in Indian River and home to the Cheboygan-Otsego-Presque Isle Educational Service District's (COPESD) administrative and educational services training offices. The COPESD is a community education resource serving 23 schools and approximately 8,000 kindergarten to Grade 12 students in Cheboygan, Otsego, and Presque Isle Counties.

The 9,700 sq.-ft. main administrative building was destroyed by a catastrophic fire event in September 2019; however, the office building to the west of the main building site that is currently in use was spared.

**Note that this site plan review application regards the reconstruction of the principal building, and is associated with the zoning amendment application included in Wednesday's meeting packet. (The subject property is zoned Commercial Development (D-CM) and Agriculture and Forestry Management (M-AF)).*

Note, too, that the main administrative/office building slated for reconstruction is entirely within the Commercial Development-zoned portion of the property, so construction may proceed with approval of the site plan review application (rather than after approval of the zoning amendment application).

The only historical permit application on record that has been reviewed by the Planning Commission is a 2001 site plan review application to construct a 48-ft. x 50-ft. addition to the conference room. The applicant has indicated that the main building was constructed circa 1970. Counsel directed staff to request a site plan review application for review by the Planning Commission given the somewhat clouded history. (Specifically, uncertainty as to the precise time of establishment of the building and land use, the destruction of the main building in 2019, and the fact that the new building at 10,100 sq.-ft. will be 400 sq.-ft. larger than the previous 9,700 sq.-ft. building).

Section 20.3 of the Zoning ordinance indicates that site plan review shall be required for any new construction in a Commercial Development zoning district (except single family dwellings, two family dwellings and private storage buildings, and any development (except single family dwellings and two family dwellings) for which off-street parking areas are required.

2. Current Zoning:

As noted, the subject property is zoned D-CM and M-AF.

3. Adjacent Zoning:

North: Burt Township is directly north. Commercial Development (D-CM) and Agriculture and Forestry Management (M-AF) to the northeast.

East: Commercial Development (D-CM) and Agriculture and Forestry Management (M-AF)

South: Commercial Development (D-CM) and Agriculture and Forestry Management (M-AF)

West: Agriculture and Forestry Management (M-AF)

4. Surrounding Land Uses:

The area surrounding the subject property includes a mix of residential and non-residential land uses. Residential uses are noted directly north of the subject property across Learning Lane, as well as east of the subject property across M-27. Various commercial land uses in the area include, but are not limited to, commercial sales of premade storage buildings, Natural Landscape landscaping contractors, Rhadigan and Sons Custom Homes, OrthoSport Physical Therapy and Wellness Center and the Indian River Sports Center to the south near to the I-75 interchange.

5. Environmentally Sensitive Areas (steep slopes, wetlands, woodlands, stream corridor, floodplain):

Steep slopes exist in the vicinity of the construction site. Given the extent of onsite grading activity anticipated (Sheet C-4 of the submitted plan set provides details regarding the four, onsite grading areas), soil erosion and sedimentation control mitigation design strategies have been implemented, per review, approval and continuing oversight by the County's Soil Erosion Officer.

6. Historic Buildings/Features:

There are no historic buildings or features on the subject property.

7. Traffic Implications:

The use on the subject property takes access via Learning Lane off M-27, a Michigan State Highway. Staff is unaware of any previous onsite and offsite traffic circulation and volume issues associated with the historic administrative and training offices land use, so it is anticipated that traffic will not be negatively impacted at the time the project achieves full operation.

8. Parking:

Sixty-four (64) standard onsite parking spaces will be provided in addition to two (2) disabled spaces, per the submitted plan set. Section 17.6 of the Zoning Ordinance indicates that one (1) parking space per two employees for all uses is required, as well as one (1) parking space per 300 square feet of gross floor area under Offices - Business and Professional. The precise number of employees is unknown; however, given in part the dimensions of the existing and new buildings, adequate parking will likely be available. (The new building will be 400 sq.-ft. larger than previously).

9. Access and street design: (secondary access, pedestrian access, sidewalks, residential buffer, ROW width, access to adjacent properties):

Direct access to dedicated onsite parking will be provided via three driveways off Learning Lane.

10. Signs:

The existing freestanding locational sign would remain (a permit was issued in 2012 to replace the old sign with a new internally illuminated sign (96 in. x 40 in.) This sign is under the maximum dimensional standards for freestanding signs located in the D-CM zoning districts. Wall signage will be installed ("COPESD") on the reconstructed building on the north-facing elevation that, according to the submitted plan set, will also comply with the applicable standards for wall signs in the D-CM zoning districts.

11. Fence/Hedge/Buffer:

Although Section 17.18.2 of the Zoning Ordinance indicates that nonresidential uses (except farms) that abut a permitted residential area, or which are adjacent to a Residential or Lake and Stream Protection District, greenbelts, walls or fences are required to provide greenbelts, walls or fences, the residential uses across Learning Lane are located in Burt Township.

12. Lighting:

Lighting will be installed and will be cut-off to minimize light trespass and be "dark sky compliant."

13. Stormwater Management:

Runoff will be managed entirely on site. Sheet C-4 of the submitted plan set provides details for the stormwater basis of design, including for the two detention basins. (e.g., Basin 1 is to be reconstructed so that it lies entirely within the subject property).

14. Review or Permits From Other Government Agencies or Departments:

The Department of Building Safety and District Health Department No. 4 have reviewed the applications (per the submitted plan set, the Health Department will require a 2,000 gallon septic and an approximately 1,400 sq.-ft. drain field).

15. Recommendation (proposed conditions):

1. The applicant shall obtain permits, as applicable, from the Department of Building Safety and District Health Department No. 4.
2. Any changes to the approved site plan shall be subject to review by the Planning and Zoning Department and may require submittal of a site plan review amendment application for review and approval by the Planning and Zoning Department or the Planning Commission.
3. It is the applicant's responsibility to obtain any additional permits or meet additional conditions, if any, that may be applicable to the land use pursuant to other federal, state, or local laws or regulations.

**CHEBOYGAN COUNTY
PLANNING COMMISSION
SITE PLAN REVIEW REQUEST**

Applicant: Cheboygan-Otsego-Presque Isle Educational Services District
6065 Learning Lane
Indian River, MI 49749

Owner: Same as above.

Parcel: Tuscarora Township, parcel ID 161-001-200-003-00, Section 1

Hearing Date: Wednesday, August 19, 2020; 7:00 PM

APPLICATION

The Applicant seeks approval of a site plan review application for administrative and educational services training offices, per Section 6.2.15 (Offices) of the Zoning Ordinance.

GENERAL FINDINGS OF FACT

1. The Planning Commission finds that the applicant requests a site plan review approval for administrative and educational services training offices, per Section 6.2.15 (Offices) of the Zoning Ordinance. (See Exhibits 3, 4 and 11)
2. The Planning Commission finds that Offices require a site plan review in accordance with Section 20.10 of the Zoning Ordinance. (See Exhibits 1, 3 and 11)
3. The Planning Commission finds that the subject property for the proposed administrative and educational services training office building is zoned Commercial Development (D-CM) and Agriculture and Forestry Management (M-AF). (See Exhibits 5, 7 and 11)
4. The Planning Commission finds that a 10,100 sq.-ft. administrative and educational services training office building would be constructed to replace the former 9,700 sq.-ft. building destroyed by a catastrophic fire event in September 2019. (See Exhibits 3, 4, 5 and 11)
5. The Planning Commission finds that the subject property is 4.8-acres located at 6065 Learning Lane in Tuscarora Township. (See Exhibits 3, 4, 6 and 11)
6. The Planning Commission finds that the main administrative/office building slated for reconstruction will be located entirely within the Commercial Development-zoned portion of the subject property. (See Exhibits 4, 5 and 11)

SPECIFIC FINDINGS OF FACT UNDER SECTION 20.10 OF THE ZONING ORDINANCE

The Planning Commission makes the following findings of fact as required by Section 20.10 of the Zoning Ordinance for each of the following standards listed in that Section:

a. The site plan shall be designed so that there is a limited amount of change in the overall natural contours of the site and shall minimize reshaping in favor of designing the project to respect existing features of the site in relation to topography, the size and type of the lot, the character of adjoining property and the type and size of buildings. The site shall be developed so as not to impede the normal and orderly development or improvement of surrounding property for uses permitted in this Ordinance.

1. The Planning Commission finds that the proposed building is similar in size and will be constructed in the same location on the subject property. (See Exhibits 3, 4, 5 and 11)
2. Standard has been met.

OR

1. None found.
2. Standard has not been met.

b. The landscape shall be preserved in its natural state, insofar as practical, by minimizing tree and soil removal, and by topographic modifications which result in smooth natural appearing slopes as opposed to abrupt changes in grade between the project and adjacent areas.

1. The Planning Commission finds that the proposed building is similar in size and will be constructed in the same location on the subject property. (See Exhibits 3, 4, 5 and 11)
2. The Planning commission finds that although site grading would occur as part of site preparation, effort has been and will continue to be made to stabilize soils and maintain the natural contours of the site. (See Exhibits 3, 4, 5 and 11)
3. Standard has been met.

OR

1. The Planning Commission finds that some grading will occur in the construction phase. (See Exhibits 4, 5 and 11)
2. Standard has not been met.

c. Special attention shall be given to proper site drainage so that removal of storm waters will not adversely affect neighboring properties.

1. The Planning Commission finds that stormwater would be maintained on the project site so as not to adversely affect neighboring properties, per the submitted Grading Plan. (See Exhibits 3, 4, 5 and 11)
- 2.
3. Standard has been met.

OR

1. None found.
2. Standard has not been met.

d. The site plan shall provide reasonable, visual and sound privacy for all dwelling units located therein. Fences, walls, barriers and landscaping shall be used, as appropriate, for the protection and enhancement of property and for the privacy of its occupants.

Not applicable, as no dwelling units are proposed.

e. All buildings or groups of buildings should be so arranged as to permit emergency vehicle access by some practical means.

1. The Planning Commission finds that practical means for access for emergency vehicles is provided via three access points/driveway cuts from/to Learning Lane. (See Exhibits 3, 4, 5 and 11)
- 2.
3. Standard has been met.

OR

1. None found.
2. Standard has not been met.

f. Every structure or dwelling unit shall have access to a public street, walkway or other area dedicated to common use.

1. The Planning Commission finds that the administrative and educational services training office building would have access to public roadways, principally Learning Lane. (See Exhibits 4, 5 and 11)
2. Standard has been met.

OR

1. None found.
2. Standard has not been met.

g. For subdivision plats and subdivision condominiums, there shall be a pedestrian circulation system as approved by the Planning Commission.

Not applicable, as no subdivision condominiums or subdivision plats are proposed.

h. Exterior lighting shall be arranged as follows: a. It is deflected away from adjacent properties, b. It does not impede the vision of traffic along adjacent streets and c. It does not unnecessarily illuminate night skies.

1. The Planning Commission finds that all lighting will be shielded to minimize any effects to the surrounding area from transient light (adjacent properties and adjacent streets). (See Exhibits 4, 5 and 11)
- 2.
3. Standard has been met.

OR

1. None found.
2. Standard has not been met.

i. The arrangement of public or common ways for vehicular and pedestrian circulation shall respect the pattern of existing or planned streets and pedestrian or bicycle pathways in the area. Streets and drives which are part of an existing or planned street pattern which serves adjacent development shall be of a width appropriate to the traffic volume they will carry and shall have a dedicated right-of-way equal to that specified in the Master Plan.

Not applicable. No public common ways are proposed.

j. Site plans shall conform to all applicable requirements of state and federal statutes and the Cheboygan County Master Plan.

1. The Planning Commission finds that the site plan conforms to the applicable requirements of state and federal statutes and the Tuscarora Township Master Plan, as the project would help to attain the Plan goal that speaks to “strengthening the local economy through the development and retention of enterprises, which provide employment opportunities”. (See Exhibits 2, 5, 10 and 11)
- 2.
3. Standard has been met.

OR

1. None found.
2. Standard has not been met.

TIME PERIOD FOR JUDICIAL REVIEW

State law provides that a person having an interest affected by the zoning ordinance may appeal a decision of the Planning Commission to the Circuit Court. Pursuant to MCR 7.101 any appeal must be filed within twenty-one (21) days after this Decision and Order is adopted by the Planning Commission.

DATE DECISION AND ORDER ADOPTED

Wednesday, August 19, 2020

Patty Croft, Chairperson

Charles Freese, Secretary

CHEBOYGAN COUNTY PLANNING COMMISSION

ZONING AMENDMENT APPLICATION - Cheboygan-Otsego-Presque Isle Educational Service District (COPESD)

Exhibit List

1. Cheboygan County Zoning Ordinance
2. Cheboygan County Master Plan and Future Land Use Map
3. Zoning Amendment Application (2 Pages)
4. Location/Aerial Map (1 Page)
5. Zoning Map (1 Page)
6. Mailing List (1 Page)
7. Email Dated August 13, 2020 from Fire Chief, Dave Carpenter (1 Page)
8. Chapters 8 and 9 of the Tuscarora Township Master Plan and Future Land Use Map (14 Pages)
9. Sections 6.2 (Permitted Uses) and 6.3 (Uses Requiring Special Use Permits) of Zoning Ordinance No. 200 - Commercial Development District (D-CM) (2 Pages)
10. Sections 9.2 (Permitted Uses) and 9.3 (Uses Requiring Special Use Permits) of Zoning Ordinance No. 200 – Agriculture and Forestry Management District (M-AF) (3 Pages)
11. Staff Report (3 Pages)
12. Draft Findings of Fact (8 Pages)

Note: Planning Commission members also have Exhibits 1 and 2.

ZONING AMENDMENT APPLICATION

Fee \$ 225 Date 7.27.20

Application Approved by: M. TURISK

CHEBOYGAN COUNTY
PLANNING & ZONING DEPT.
870 S. MAIN ST., RM 103. PO BOX 103
CHEBOYGAN, MI 49721

TELEPHONE: (231) 627-8489
FAX: (231) 627-3646
www.cheboygancounty.net

PLEASE PRINT

LOCATION (For property rezoning)

Address <u>APPROX:</u> <u>6065 LEARNING LANE</u>	City / Village <u>INDIAN RIVER</u>	Township/Sec. <u>TUSCARORA</u> <u>1 1</u>	Zoning District <u>M.AF</u>
Property Tax I.D. (Parcel) Number <u>161.001.200.003.00</u>	Subdivision or Condo. Name/Plat or Lot No.		

APPLICANT

Name <u>C.O.P.E.S.D.</u>	Telephone <u>231.238.9394</u>	Fax <u>231.238.8551</u>
Address <u>6065 LEARNING LANE</u>	City & State <u>INDIAN RIVER,</u> <u>MI</u>	Zip Code <u>49749</u>
		E-Mail <u>HUBERT@</u> <u>COPESD.ORG</u>

PROPERTY OWNER (If different from applicant)

Name <u>AS ABOVE</u>	Telephone	Fax
Address	City & State	Zip Code

I. Action Requested

I (we) the undersigned do hereby request that the Cheboygan County Board of Commissioners approve the following petition for a zoning amendment.

A. Text Amendment: Amend Article ____ Section ____ of Cheboygan County Zoning Ordinance No. 200 by making the following change(s):

B. Rezone from M.AF to D.CM the property(s) described in Section II. A previous application for a variance, special use permit, or rezoning on this land has / has not been made with respect to these premises in the last year. If a previous appeal, special use permit, or rezoning application was made, state the date N/A, nature of action requested N/A, and the decision N/A.

II. Property Information (For rezoning)

A. Legal description of property(s) proposed for rezoning:
AS RECORDED IN LIBER 315, PAGE 372, CHEBOYGAN COUNTY
RECORDS.

B. List all deed restrictions, if applicable:

NONE WE ARE AWARE OF.

C. Names and addresses of all other persons, firms, or corporations having a legal or equitable interest in the land, if applicable.

NONE

D. This area is unplatted, platted, will be platted. If platted, name of plat:

E. Present use of the property is: ADMINISTRATIVE OFFICE USE

F. Attach a drawing of the property. SEE ATTACHED

III. Justification for Requested Action

A. State specifically the reason(s) for this text amendment request at this time. Also attach any supporting documentation.

REQUESTED BY PLANNING & ZONING - CHEBOYGAN COUNTY TO REMOVE CURRENT SPLIT ZONING ON EXISTING PARCEL.

B. If this is a proposed rezoning, what possible negative impacts could occur and what proposed mitigation would take place?

NO NEGATIVE IMPACTS ANTICIPATED.

Does the property owner give permission for County zoning officials to enter his or her property for inspection purposes? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
Owner's Signature <u>[Signature]</u>	Date <u>7/23/2020</u>

IV. Affidavit

The undersigned affirms that he or she is the _____ (owner, lessee, other type of interest) involved in the Petition and that the answers and statements herein contained and the information herewith submitted are in all respects true and correct to the best of his or her knowledge and belief.

[Signature]
Applicant's Signature

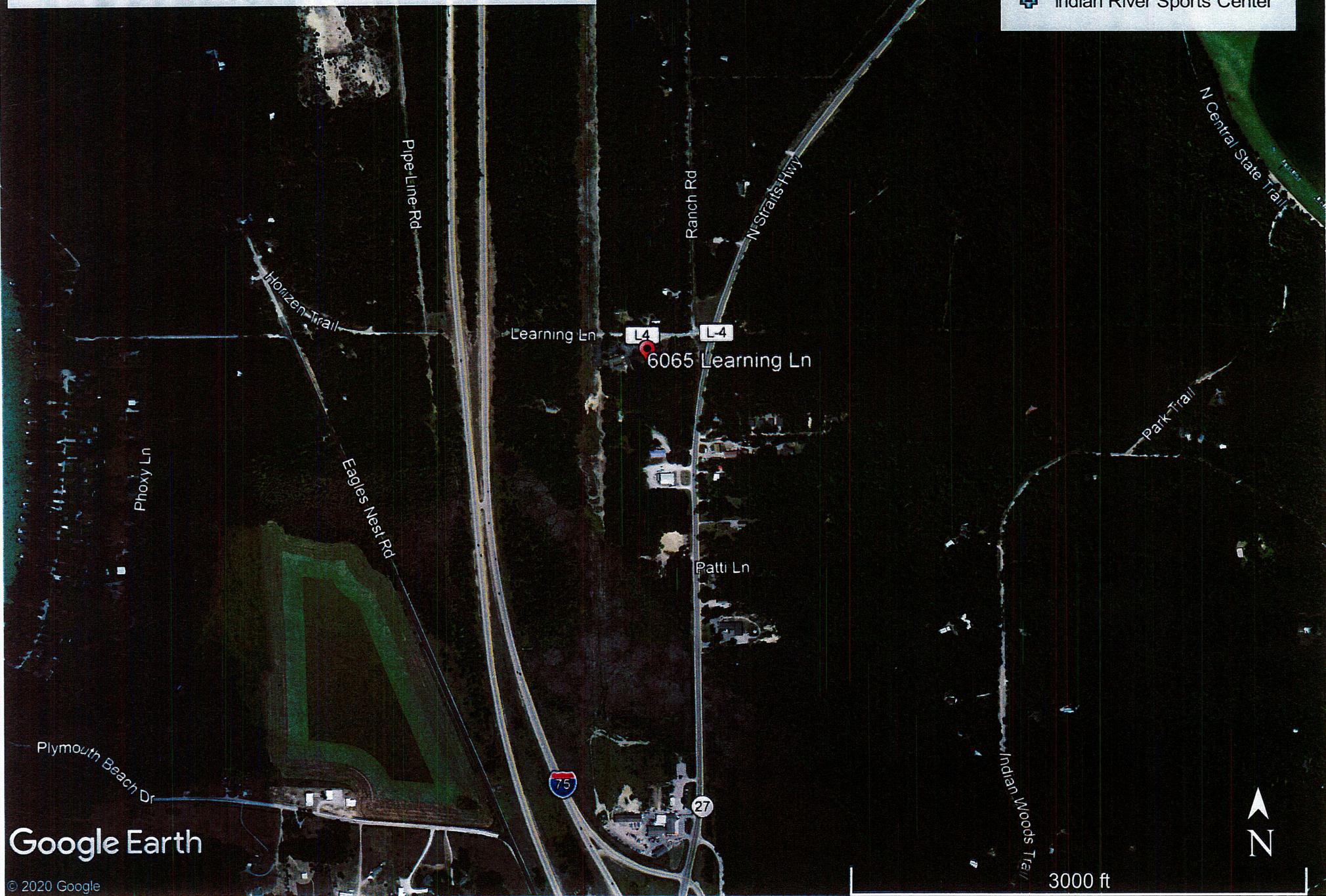
7/23/2020
Date

Cheboygan-Otsego-Presque Isle ESD

6065 Learning Ln - Location/Aerial Map

Legend

-  6065 Learning Ln
-  Indian River Sports Center



4

Cheboygan County Zoning



8/13/2020, 8:32:27 PM

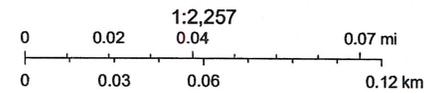
Property Address _Query result

Zone - Zoning

D-CM

Exempt

M-AF



Source: Esri, DigitalGlobe, GeoEye, Earthstar Geographics, CNES/Airbus DS, USDA, USGS, AeroGRID, IGN, and the GIS User Community

Web AppBuilder for ArcGIS
For reference only. Please call Cheboygan County Zoning for Verification, 231-627-8489

120-036-400-012-01
JACOBSON, ERIC A REVOCABLE
PO BOX 75
INDIAN RIVER, MI 49749

120-036-400-012-03
MOORE, ALBERT & PEGGY H/W
11 RANCH RD
INDIAN RIVER, MI 49749

120-036-416-160-00
COP INTERMEDIATE SCHOOL DIST
6065 LEARNING LN
INDIAN RIVER, MI 49749

120-036-400-012-00
LAKE, TODD & TAMARA H/W
2025 NICKLESS ROAD
GLADWIN, MI 48624

120-036-400-005-00
PATRICK, ANDREW & COLLEEN H/W
315 MIDDLETON RD
OWOSSO, MI 48867

120-036-400-004-00
HUNTER, KATHLEEN J
4507 HARTLAND CENTER RD
COLLINS, OH 44826

162-006-100-004-02
MICELI, LUCA & SILVIJA RAGINSKIS,
107 VIVIAN AVE
SAULT ST MARIE ON P62E9 CA

161-001-200-003-00
COP INTERMEDIATE SCHOOL DIST
6065 LEARNING LN
INDIAN RIVER, MI 49749

161-001-200-005-01
CCE CENTRAL DISPATCH AUTHORITY
1694 US-131
PETOSKEY, MI 49770

161-001-200-005-02
CONNERS, TRAVIS & RENEE, TRUSTEES
PO BOX 726
INDIAN RIVER, MI 49749

162-006-100-001-00
LUND, CHRISTOPHER & TINA CARTWRIGHT
30851 OLYMPIC PL
LAGUNA NIGUEL, CA 92677

162-006-100-002-00
UPTGRAFF, DONALD SCOTT
5545 WOODFIELD CT
GRAND BLANC, MI 48439

162-006-100-003-00
NORTHERN SHORES INVESTMENTS
989 VFW RD
CHEBOYGAN, MI 49721

130-031-311-110-00
TEMPLE, STEVEN & SHARI H/W
4324 KATERI LN
INDIAN RIVER, MI 49749

120-036-400-012-01
OCCUPANT
6058 LEARNING LN
INDIAN RIVER, MI 49749

120-036-400-012-03
OCCUPANT
11 RANCH RD
INDIAN RIVER, MI 49749

120-036-416-160-00
OCCUPANT
6020 LEARNING LN
INDIAN RIVER, MI 49749

120-036-400-012-00
OCCUPANT
117 RANCH RD
INDIAN RIVER, MI 49749

162-006-100-002-00
OCCUPANT
23 S STRAITS HWY
INDIAN RIVER, MI 49749

120-036-400-004-00
OCCUPANT
6176 LEARNING LN
INDIAN RIVER, MI 49749

162-006-100-004-02
OCCUPANT
51 S STRAITS HWY
INDIAN RIVER, MI 49749

161-001-200-003-00
OCCUPANT
6065 LEARNING LN
INDIAN RIVER, MI 49749

162-006-100-003-00
OCCUPANT
37 S STRAITS HWY
INDIAN RIVER, MI 49749

161-001-200-005-02
OCCUPANT
100 S STRAITS HWY
INDIAN RIVER, MI 49749

162-006-100-001-00
OCCUPANT
11 S STRAITS HWY
INDIAN RIVER, MI 49749

130-031-311-110-00
OCCUPANT
106 N STRAITS HWY
INDIAN RIVER, MI 49749

120-036-400-012-01
OCCUPANT
6030 LEARNING LN
INDIAN RIVER, MI 49749

Michael C. Turisk

From: Deborah Tomlinson
Sent: Thursday, August 13, 2020 12:58 PM
To: Michael C. Turisk
Subject: FW: Cheboygan Otsego Presque Isle Educational School District - Rezoning Application and Site Plan Review Application

Mike,

Please see Dave Carpenter's email below.

Debbie Tomlinson
Assistant to Director of Planning & Zoning
Cheboygan County Planning & Zoning Department
PO Box 70, 870 South Main Street
Cheboygan, MI 49721
(231)627-8489 phone
(231)627-3646 fax
debbiet@cheboygancounty.net
www.cheboygancounty.net/planning

From: Dave Carpenter [mailto:dpcarpenter@voyager.net]
Sent: Thursday, August 13, 2020 10:10 AM
To: Deborah Tomlinson
Subject: Re: Cheboygan Otsego Presque Isle Educational School District - Rezoning Application and Site Plan Review Application

CAUTION: This email originated from outside of the Cheboygan County email system. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Hi Deb,

I have no issues in regards to fire with the Douglas Duke or the COP,ESD projects.

Dave Carpenter
Fire Chief

From: Deborah Tomlinson
Sent: Wednesday, August 12, 2020 10:44 AM
To: Kyle Keller ; David Carpenter (dpcarpenter@voyager.net) ; Brent Shank (mgr@chcrc.com) ; Jay Gailitis (gailitisj@michigan.gov) ; Scott Fisher (FisherS22@michigan.gov) ; Bobbi Balazovic (treasurer@tuscaroratwp.com) ; Craig Waldron (cwaldron@centurylink.net) ; Jane McGinnis (jane@mcvideo.com) ; Tuscarora ; Sue Fisher (clerk@tuscaroratwp.com) ; Dan Nivelt (d-repair@sbcglobal.net) ; jhschams@outlook.com ; Kelly Ashford ; Mike Cherveney
Subject: Cheboygan Otsego Presque Isle Educational School District - Rezoning Application and Site Plan Review Application

The following is a link to the 08/19/20 Planning Commission notice: <http://is0.gaslightmedia.com/cheboygancounty/ ORIGINAL /fs19-1596733508-05612.pdf> The following is a link to the Cheboygan Otsego Presque Isle Educational School District's Rezoning Application

CHAPTER 8

COMMUNITY GOALS AND OBJECTIVES

Introduction

Before a community can actively plan for its future growth and development, it must first set certain goals and objectives that define the boundaries of its needs and aspirations and, thus, establish a basis for Master Plan formulation. In developing community goals and policies, it is important to analyze existing community characteristics, such as: social and economic features, environmental resources, available services and facilities, and existing land use. In addition to examining existing characteristics, another important tool in the development of community goals and policies is to identify community assets, problems and other issues to be addressed.

The following goals (the ultimate purposes or intent of the plan) and objectives (means of attaining community goals) set forth to guide local decision-makers in reviewing future land use proposals are the result of input received during the preparation of the Master Plan update.

Goals and Objectives

Land Use Goal

GOAL:

Maintain an ecologically sound balance between human activities, economic growth and the environment to retain the Township's scenic and rural character, while meeting the needs of the current and future residents.

OBJECTIVES AND ACTION STEPS:

1. Pursue the development of a sewer system to enhance development opportunities in downtown Indian River, while protecting the water quality.
2. Review the county Zoning Ordinance as related to the Township Master Plan, and work cooperatively to amend the County Ordinance as appropriate.
3. Pursue the establishing of downtown Indian River as a mixed-use Village Center.
4. Work with the County to control the location of new development by designating appropriate areas for new residential, commercial, and industrial land uses.
5. Encourage growth and development in and immediately around Indian River.
6. Consistent with smart growth principles and the complete streets initiative, encourage the use of access management standards, non-motorized facilities, appropriate setbacks, retention of green space, buffer zones between differing land uses, screened parking areas, and roadside landscaping; and encourage the retention of open space and scenic vistas with PUD's, clustering, and conservation easements.

Residential Goal

GOAL:

Promote the development of suitable housing opportunities for the varied economic and lifestyle needs of the residents.

OBJECTIVES AND ACTION STEPS:

1. Work with the County to ensure areas are designated as appropriate for all types of residential development compatible with the surrounding natural environment, including single family, multi-family, condominium, low to moderate-income rental complexes, and extended care facilities.
2. Encourage the development of continuous care housing options for the increasing senior population in the area.
3. Encourage participation with Northern Homes and Michigan State Housing Development Authority (MSHDA) programs to rehabilitate substandard housing and to provide needed moderately priced housing in the Township.
4. Preserve the integrity of existing residentially zoned areas by protecting from intrusion of incompatible uses.
5. Work with Cheboygan County to address potential zoning incompatibilities, such as residential uses from locating in areas zoned for agriculture or industrial uses.
6. Require a buffer between Residential uses and other more intensive uses.

Economic Development

GOALS:

Strengthen the local economy through the development and retention of enterprises, which provide employment opportunities

To provide for a full range of commercial facilities and infrastructure which are adequate to serve both the resident and tourist markets.

OBJECTIVES AND ACTION STEPS:

1. Encourage the promotion and development of Indian River area as a business center serving both the local consumer population and sub-regional market base.
2. Encourage the expansion of existing establishments and the establishment of new commercial uses in downtown Indian River.
3. Encourage the development of clustered commercial, light industrial and/or office facilities in industrial park in close proximity to the I-75 interchange
4. Encourage the development of new types of industries and those that are economically associated with the existing industrial base.
5. Provide industry at locations that are easily accessible to the existing transportation network and in areas likely to be served by public utilities.
6. Limit commercial thoroughfare frontage developments to Straits Highway for auto-oriented type businesses and other business uses that are, too large or are otherwise unsuited to location in downtown Indian River.
7. Encourage the implementation of access management standards, including the use of shared driveways and access drives as a means of reducing traffic conflicts along main corridors.
8. Work with the County to ensure appropriate buffers are required to transition between commercial and residential areas.
9. Encourage the development of professional enterprises which offer employment and growth opportunities to the Township's skilled workforce.
10. Encourage the development of local Main Street program in coordination with or through the Downtown Development Authority.
11. Encourage the establishment of home based businesses, especially those which rely primarily on internet based business and/or provide web-based jobs.
12. Promote the Indian River area as an ALL season recreation destination.

Agriculture & Forestry Goal

GOAL:

Acknowledge the importance of agricultural lands and forestry management.

OBJECTIVES AND ACTION STEPS:

1. Recognize that the presence of agricultural and forested lands adds to the scenic and rural character of the Township.
2. Work to provide economically feasible options for continued agricultural and forestry use of lands with prime farmland and forestland soils.
3. Allow for and encourage farmland protection, such as through the transfer of development rights (when available), purchase of development rights, conservation easements and the clustering of non-farm development.
4. Participate in efforts to educate the community regarding agricultural preservation
5. Work to retain and manage existing forestland
6. Promote re-forestation and sound forestry management practices for areas with productive forest soils.
7. Work with County to provide greater zoning flexibility regarding uses of large parcels of land.

Recreation Goal

GOAL:

Provide and maintain recreation lands and facilities for safe access and year-round healthy enjoyment by residents and visitors.

OBJECTIVES AND ACTION STEPS:

1. Maintain an up-to-date recreation plan to address the needs (current and anticipated) and maintenance plan for all recreation trails, facilities and parklands.
2. Promote the use of the North Central State Trail, through the establishment of Marina Park as a designated trailhead.
3. Develop or designate bike/pedestrian routes linking downtown Indian River, the educational facilities, tourist destinations and recreation areas in the Township, including (but not limited to) Inland Lakes Schools and Burt Lake State Park, consistent with a Complete Streets policy.
4. Maintain, improve and expand Township parks and facilities to serve the needs of residents and visitors.
5. Work cooperatively with neighboring townships, Counties and other key stakeholders to establish connecting bike trail or routes, such as between the North Central State Trail and the [currently unimproved] Petoskey to Mackinaw City trail.
6. Promote winter tourism for the area, including snowmobiling, x-country skiing, snowshoeing, and ice fishing.
7. Establish a handicap accessible fishing area, such as the proposed Veterans Pier at DeVoe Park.
8. Promote the accessibility of ORV and Snowmobile trails from the Indian River area.
9. Promote the hunting and fishing opportunities of the area.
10. Seek grant assistance for trail and park improvement projects.

Natural Resource Goal

GOAL:

Protect and preserve groundwater, surface water, woodlands, wetlands, open space, wildlife habitat and steep slopes.

OBJECTIVES AND ACTION STEPS:

1. Pursue the implementation of a municipal sewer system, to protect the water quality of the groundwater and surface water in the area.
2. Work with Cheboygan County to encourage a land use pattern that is oriented to the natural features and water resources of the area by evaluating type and density of proposed developments based on soil suitability; slope of land; potential for ground water and surface water degradation and contamination; compatibility with adjacent land uses; and impacts to sensitive natural areas like wetlands, greenways and wildlife corridors.
3. Encourage the maintenance of natural vegetation adjacent to lakes, streams, and wetlands.
4. Support the strengthening of groundwater protection and stormwater management regulations in the County's zoning ordinance, while encouraging the continued natural use of wetlands as groundwater recharge, stormwater filtering and stormwater holding areas.
5. Promote regulations for development on steeply sloped areas and require erosion control measures where construction is permitted. Require slope stabilization and re-vegetation on disturbed slopes or in extraction areas.
6. Encourage planting of native tree and shrub species when properties are developed.
7. Encourage the retention and management of existing forest lands.

Infrastructure & Public Service Goal

GOAL:

Maintain and improve the Township facilities, programs and systems consistent with the community needs, and the ability to finance the improvements.

OBJECTIVES AND ACTION STEPS:

1. Pursue the implementation of a sewer system in the Indian River area.
2. Develop, adopt and begin implementation of a Complete Streets policy, to improve transportation equity, while encouraging health through physical activity and active transportation.
3. Continue to support the local public safety and emergency services including the local Police Department and Fire Department .
4. Continue to work with the County on road improvements consistent with funding ability and the Township's priority list.
5. Participate in county-wide comprehensive waste management efforts, including emphasis on recycling.
6. Continue to pursue expansion of affordable high-speed communications throughout the entire Township.
7. Monitor and explore the utility expansion needs, as more development occurs.
8. Pursue placement of utilities underground.
9. Work to create a more pedestrian friendly downtown by providing sidewalks, reducing curb cuts and improving parking.
10. Establish and maintain on-going communication with adjacent Townships regarding planned projects in order to facilitate joint projects, such as road improvements where wider shoulders could facilitate a cooperative and coordinated bicycle connector route.

CHAPTER 9

Future Land Use Recommendations

Introduction

The Future Land Use Plan is designed to serve as a guide for future development. If it is to serve the needs of the community and function effectively, it must incorporate several important characteristics.

The Plan must be general

The Plan, by its very nature, cannot be implemented immediately. Therefore, only generalized locations (not necessarily related to property lines) for various land uses are indicated on the Plan.

The Plan should embrace an extended but foreseeable time period

The Plan depicts land uses and community development strategies through the Year 2020.

The Plan should be comprehensive

The Plan, if it is to serve its function as an important decision-making tool, must give adequate consideration to the sensitive relationships which exist between all major land use categories, including environmentally sensitive properties. Development in environmentally sensitive areas should be discouraged by Tuscarora Township. All future development as indicated on the Future Land Use (Figure 9-1) shall occur only as environmental conditions permit and must take into consideration those environmental restrictions as outlined in the Natural Features element of this Plan.

The Plan should acknowledge regional conditions and trends

Tuscarora Township is an integral part of Cheboygan County and the Northeast Michigan Council of Governments, a multi-county regional planning agency; therefore, the Plan should acknowledge the Township's regional context. Through recognition of regional implications, the Township's Future Land Use Plan will be more realistic and reasonable in terms of guiding the future utilization of land resources in the Township.

The Plan must be updated periodically

The Plan may require periodic revisions to reflect significant changes in local, state, or national conditions which cannot be foreseen at this time.

For example, over the past fifty years, several major innovations in land development have occurred. Included among these are: the initiation and expansion of the freeway system; modifications in shopping facilities; relocation of employment centers from the cities to the suburbs; changes in housing preferences; and the declining family size.

It is, of course impossible to predict the type of changes which may occur over the next decade or two. In compliance with the Michigan Planning Enabling Act, a comprehensive review of the Master Plan should be undertaken every five years to provide for an adequate analysis of new conditions and trends, and the plan updated as appropriate. If major re-zoning requests which are in conflict with Plan recommendations are deemed desirable, then, the Plan should be reviewed and amended as appropriate prior to the re-zoning.

Plan Recommendations

Ten (10) future land use categories plus a category for water are proposed for Tuscarora Township. The various land uses are portrayed on Future Land Use Map, Figure 9-1 and in Table 9-1. A discussion of each land use category is presented below.

**Table 9-1
Future Land Use Acreage**

Land Use Category	Area in Acres	Percent in Total
1. Agricultural / Forestry	4,843.9	18.0
2. Single Family Residential	6,436.2	24.0
3. Multi-Family Residential	63.2	0.2
4. Village Mixed Use	33.7	0.1
5. General Commercial	580.9	2.2
6. Industrial	262.4	1.0
7. Park/Recreation	508.4	1.9
8. Conservation Recreation	5,450.0	20.3
9. Public/Semi-Public	279.4	1.0
10. Right-of-Way (I-75)	334.3	1.2
Water	8,045.4	30.0
Total	26,837.8	99.9

*Note: Numbers do not add to 100 due to rounding.

Agricultural/Forestry: This category is intended to preserve the rural character of the Township. A total 4,844 acres (18%) are devoted to this classification. Farming and related agricultural activities and rural housing are the principal uses. Central water and sanitary sewer facilities are not currently available and are not intended to be available during the planning period.

The Agricultural/Forestry area is designed to conserve, stabilize, enhance, and develop farming and related natural resource based activities; to minimize conflicting uses of parcels, lots, buildings, and structures detrimental to, or incompatible with these activities; and to prohibit uses of parcels, lots, buildings, and structures which require streets, drainage, and other public facilities and services of a different type and quantity than those that currently exist. The district, in preserving area for agricultural use, is also designed to prevent proliferation of residential subdivision and urban sprawl.

Agricultural properties may be used for general and specialized farming, including the raising or growing of crops, livestock, poultry, bees, and other farm animals and product. Buildings or structures may be located which are used for the day-to-day operation of such activities. Any lot that is kept as idle cropland should be managed to prevent soil erosion by wind or water and should be free of excessive weeds and shrubs.

Single-family homes that are compatible with the agricultural use and rural character of the district are encouraged. Setting a maximum lot area of one or two acres for each residential unit would help preserve the majority of land in the agricultural area for farm and forest use, and should be considered. Clustering of residential units is another recommended technique to preserve farmland and open space.

Within this future land use category, limited use outdoor recreation/event facilities may be

compatible when located on parcels 40 acres in size or greater depending on the specific use and with site specific conditions required to address potential issues such as site access, traffic, noise, lights, etc and provide safeguards to protect the neighboring property owners. Allowing for such a use could take the form of a property owner initiated conditional rezoning; a Planned Unit Development; or a Special Land Use if allowed for in the Zoning District. The pursuit of this type of use should be explored with the Cheboygan County Department of Planning and Zoning (in coordination with Tuscarora Township) in consideration of the Cheboygan County Zoning Ordinance.

Single Family Residential: This future land use category is intended to serve as the principal residential area of the Township. It covers 6,436 acres or 24.2% of the total Township area.

Relatively high density (lot size less than one acre) homes are encouraged in and around the community of Indian River, while low density homes (minimum one-acre lot) are encouraged in the outlying areas north of Indian River and areas along the Burt Lake shore. In the future, the Township may wish to consider designating two types of residential development areas: one where subdivision or small lot development is anticipated and the other where large-lot or "estate residential" development is to be encouraged. To fully implement this concept, an additional "estate residential" zoning classification may be needed at the County level.

Sanitary sewer facilities should be provided in the Indian River area. Such services to other parts of the district should be extended on an as-needed and cost-effective basis only.

Multi-Family Residential: This area (63 acres or 0.2%) encompasses the existing mobile home parks, apartments, and condominiums. No new land is designated for such uses. However, proposals for new multi-family developments should be approved on a case-by-case basis if certain conditions are met. Compatibility with the surrounding uses, land suitability, access, and availability of public services are among the factors that should be considered in locating multi-family developments.

Village Mixed-Use: This plan identifies two distinctly different areas for future commercial development: "Village Mixed Use" and "General Commercial". The Village Mixed Use area encompasses the downtown portions of Indian River, generally extending along Straits Highway from the Indian River to South Avenue. As used in this Plan, the term "Village Mixed Use" is not intended to refer to Village as a governmental entity, but rather to communicate the idea of a small-scale Village-like setting for commercial and community activity. The Village Mixed Use concept anticipates a synergistic mix of commercial, civic, residential and recreational uses in close proximity, rather than exclusive commercial use.

Consistent with planning goals developed by the Tuscarora Township Downtown Development Authority, commercial development in the Village Mixed Use area is anticipated to be relatively small-scale, and oriented to pedestrian as well as vehicular access. It will serve both the retail commercial needs of year-round residents, and provide an attractive, unique shopping environment for tourists and seasonal residents. Desirable commercial uses in this area include retail and specialty shops, personal services, commercial and professional offices, restaurants and taverns. Future design features in the Village Mixed Use area ideally will include an integrated and coherent system of sidewalks, landscaping, lighting, seating and signs. Both on and off-street parking will be provided.

It is important to note that residential uses exist immediately adjacent to the Village Mixed Use

area, both to the east and west of Straits Highway. The concept of a Village Mixed Use in downtown Indian River includes and depends upon maintaining vibrant residential neighborhoods within walking distance of downtown. Therefore, the Village Mixed Use area would be suitable for mixed use type of zoning, similar to the Village Center zoning district, currently provided in the Cheboygan County Zoning Ordinance. Provisions for zero lot line (zero setback) should be explored for this area, especially once sewers are available.

Further, it is acknowledged that the Village Mixed Use area also contains a number of important civic uses, such as the Tuscarora Township Hall, Library, Post Office and Chamber of Commerce (Tourist Information) office. Maintaining these civic uses at the heart of downtown is also important to the future success of the Village Mixed Use area.

Because the downtown area is in close proximity to both the Sturgeon and Indian Rivers, and to Burt Lake, recreation is an important existing and future use in the Village Mixed Use area. As part of this Plan, the Tuscarora Township Planning Commission recommends and supports improved recreational opportunities, both public and private, in the downtown area. Two important future recreational opportunities are mentioned here. First, it is recommended that the Township continue to work with the DNRE to promote the North Central State Trail and related recreational uses. This trail has the potential to bring a positive flow of tourist and recreational traffic to and through downtown Indian River. Second, it is recommended that public dockage and water access downtown be maintained and expanded. At present, the Township uses the "Green Dock", as a waterfront walkway and public fishing area. This dock is located just west of Straits Highway, on the north side of Indian River. Additionally, efforts are in progress to site a new public marina in or near downtown, which could provide transient docking for approximately 30 boats. One location under consideration is at the juncture of the Little Sturgeon and the Indian River, just east of Straits Highway.

General Commercial: In contrast to the proposed Village Mixed Use area, the General Commercial area is envisioned to serve primarily vehicular traffic. Most of the General Commercial area is located along the Old 27 corridor, north of the Indian River and between South Avenue and the Sturgeon River. The remainder of the General Commercial area is located on the M-68 corridor, near the I-75 interchange. Parcels in the General Commercial area are generally larger than that available downtown. Therefore, commercial uses requiring proportionately larger scale sites are encouraged to locate in the General Commercial area. Examples of existing appropriate large-scale commercial uses in this area include commercial nursery and landscape material sales, lumber and hardware stores with large storage and inventory areas, and commercial recreation facilities such as miniature golf and boat liveries. Additionally, highway oriented uses such as vehicle sales, automobile service stations, motels and restaurants are appropriate in the general commercial area. Design standards in this area would ideally include off-street parking, a landscaped setback from the highway, access controls to minimize interference with through traffic on the highway, and highway-oriented sign regulations.

Within this future land use category, limited use outdoor recreation/event facilities may be compatible depending on the specific use and with site specific conditions required to address potential issues such as site access, traffic, noise, lights, etc and provide safeguards to protect the neighboring property owners. The pursuit of this type of use should be explored with the Cheboygan County Department of Planning and Zoning (in coordination with Tuscarora Township) in consideration of the Cheboygan County Zoning Ordinance.

Industrial: The Future Land Use Plan designates one primary location for expanded industrial development: the industrial park area southeast of the I-75 interchange at Indian River. Because of good commercial visibility and proximity to I-75, it is recognized that some of the M-68 frontage property at this location may actually be developed for highway-related commercial use. Therefore, lands adjacent to the existing industrial park have been designated for future industrial use to allow additional industrial expansion space behind the M-68 frontage parcels. The Cheboygan County Road Commission facility located on Old 27 South is also designated Industrial.

Parks & Recreation: The Tuscarora Township is blessed with a large amount of land devoted for recreational purposes. The existing 508 acres (1.9%) is adequate to serve the recreational needs of the current and future population of the Township. Additionally, three recreation sites in the Indian River area which were proposed for improvements in the previous plan, have been completed: a recreational trail on the old rail right-of-way, fishing and waterfront walkway improvements at the Green Dock location and public dockage near downtown, and the juncture of the Little Sturgeon and Indian Rivers, thus increasing the recreational opportunities.

Conservation/Recreation: If Tuscarora Township is to continue to fulfill its role as an attractive place to live and visit, it must actively encourage the preservation of its environmentally sensitive resources.

It is necessary for a Township to have lands available for recreational use, but it is also necessary to have land remain in its natural state untouched by any type of development. The value to the public of certain open areas of the Township is represented in their natural, undeveloped, or unbuilt condition. It is recognized that the principal use of certain open areas is, and ought to be, the preservation, management, and utilization of the natural resource base possessed by these areas.

On privately held parcels in this area, very low density residential and recreational use are appropriate. Assets to be protected include woodlands, wetlands, lands containing protected species, and scenic areas. In doing so, the Township may see a reduction of hardships and financial burdens imposed upon the community through the destruction of resources, improper use of open land or wooded areas, and the periodic flooding of creeks and streams.

Conservation/open space areas are of extreme importance to a community. Not only do they meet the increasing opportunities afforded by increasing leisure time and are a source of health and pleasure, but also serve as a reminder that people can never put their natural habitat back. A total of 5,450.0 acres (20.3%) are designated for conservation/recreation purposes. Mackinaw State Forest covers slightly more than one-half of this acreage; most of the remainder being wetlands along the Sturgeon River west of I-75, and along the Indian River and Mullett Lake, east of I-75, including the ecologically significant Indian River Spreads.

Public/Semi-Public: The Plan designates 279 acres (1.0%) as public/semi-public area. This category includes most of the major existing public or semi-public facilities, such as Campbell Landing Field, schools, churches, and government offices.

Water: Water bodies account for the largest share of the Tuscarora Township area. A total of 8,045 acres (30.0%) is classified as water, which includes portions of Burt Lake, Mullett Lake, and the Indian River. The difference between the acreage of water listed in the previous plan and this plan are due to changes in available mapping data (with the recent data typically

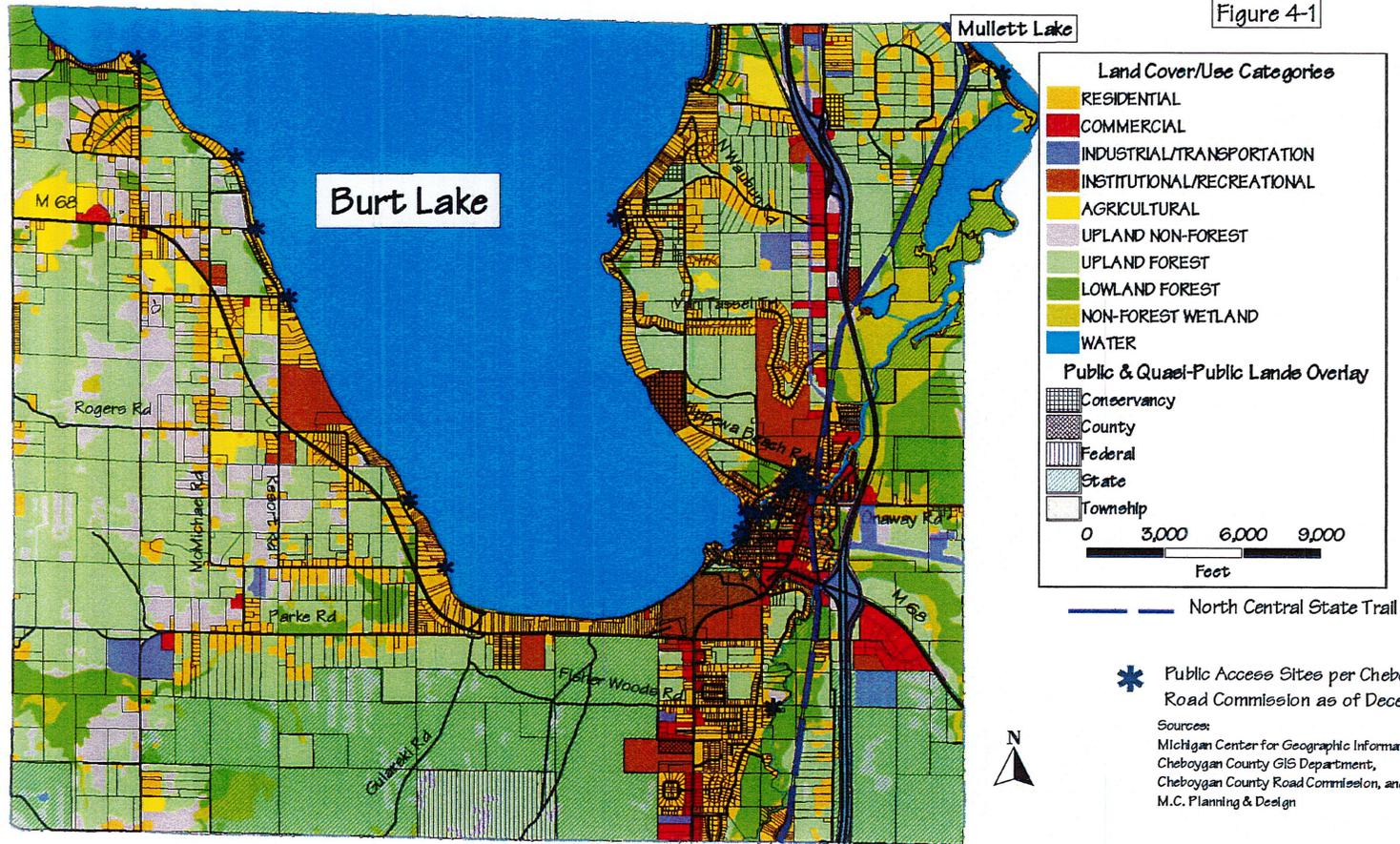
considered more accurate) and mapping techniques.

Right-of-Way: The dedicated rights-of-way of the I-75 corridor within the Township account for the 334 acres, or 1.2% of the total. Due to the variation in road rights-of-way from one road to another, and the relatively limited width of the rights-of-way for most county roads, the other rights-of-way are not separated from the surrounding land uses.

TUSCARORA TOWNSHIP

Existing Land Cover/Use Map

Figure 4-1



ARTICLE 6 - COMMERCIAL DEVELOPMENT DISTRICT (D-CM)

SECTION 6.1. PURPOSE

This District is designed to provide for General Business Activities such as retail sales, commercial service uses, and selected light manufacturing, production, processing and fabrication uses. Additional commercial development will be encouraged in existing Commercial Districts rather than creating new Commercial Districts.

SECTION 6.2. PERMITTED USES

- 6.2.1. Any use permitted in the D-RS, Residential Development District. (Rev. 05/23/15, Amendment #127)
- 6.2.2. Car wash (Rev. 11/27/18, Amendment #149)
- 6.2.3. Bar and Restaurant, Restaurant, carry out, Restaurant, drive in and Restaurant, fast food. (Rev. 01/16/18, Amendment #144)
- 6.2.4. Bed and Breakfast (Rev. 10/25/09, Amendment #80)
- 6.2.5. Arcades, bowling alleys or billiard parlors. (Rev. 09/01/17, Amendment #140)
- 6.2.6. Cabinet making shops.
- 6.2.7. Dance, music, voice studios.
- 6.2.8. Dress making, millinery, clothing stores.
- 6.2.9. Drive-through. (Rev. 04/12/07, Amendment #67) (Rev. 01/16/18, Amendment #144)
- 6.2.10. Farm product stands.
- 6.2.11. Funeral homes, undertaking establishments.
- 6.2.12. Hotels, motels.
- 6.2.13. Laboratories.
- 6.2.14. Nurseries for flowers and plants.
- 6.2.15. Offices.
- 6.2.16. Parking lots, buildings and garages.
- 6.2.17. Retail sales establishment, General
- 6.2.18. Retail sales establishment, Household
- 6.2.19. Retail sales establishment, Specialty
- 6.2.20. Retail lumber yards.
- 6.2.21. Rifle or pistol ranges when in completely enclosed buildings. (Rev. 09/28/11, Amendment #92)
- 6.2.22. Assembly, educational or social even facilities (Rev. 09/01/17, Amendment #140)
- 6.2.23. Wholesale sales and storage when in completely enclosed buildings. (Rev. 09/28/11, Amendment #92)
- 6.2.24. Multiple family housing. (Rev. 05/23/15, Amendment #127)
- 6.2.25. Nurseries and day care centers for children. (Rev. 05/23/15, Amendment #127)
- 6.2.26. Adult Daycare Center, Assisted Living Center or Health Care Living Center. (Rev. 09/01/17, Amendment #141)
- 6.2.27. Boarding and lodging houses. (Rev. 05/23/15, Amendment #127)
- 6.2.28. Medical clinics and doctor's offices. (Rev. 05/23/15, Amendment #127)
- 6.2.29. Private storage buildings, subject to the requirements of Section 17.23. Rev. 05/23/15, Amendment #127)
- 6.2.30. Mobile food units, subject to the requirements of Section 17.29 (Rev. 02/25/17, Amendment #137)
- 6.2.31. Health and fitness center (Rev. 01/16/18, Amendment #143)
- 6.2.32. Personal service center (Rev. 01/16/18, Amendment #143)
- 6.2.33. Pet grooming (Rev. 01/16/18, Amendment #143)
- 6.2.34. Motor Vehicle Service Station (Rev. 11/27/18, Amendment #149)
- 6.2.35. Retail sales establishment, small scale convenience (Rev. 11/27/18, Amendment #149)
- 6.2.36. Level 1 SES-PV Systems in accordance with Section 17.30.6.A (Rev. 03/01/19, Amendment #150)
- 6.2.37. Type I, Level 2 SES-PV Systems in accordance with Section 17.30.6.B (Rev. 03/01/19, Amendment #150)

ARTICLE 6 - COMMERCIAL DEVELOPMENT DISTRICT (D-CM)

SECTION 6.3 USES REQUIRING SPECIAL LAND USE PERMITS

- 6.3.1. Bus Terminals.
- 6.3.2. Commercial cleaning plants, dry cleaning, laundry establishments.
- 6.3.3. Contractor's yards, equipment storage and materials handling operations.
- 6.3.4. Motor vehicle sales and/or repair facility. (Rev. 11/27/18, Amendment #149)
- 6.3.5. Commercial kennels, pet shops, and veterinary hospitals, according to Section 17.16. (Rev. 11/22/09, Amendment #81)
- 6.3.6. Outdoor, drive-in theaters.
- 6.3.7. Outdoor commercial recreation activities.
- 6.3.8. Trailer and mobile home parks.
- 6.3.9. Manufacturing, production, processing and fabrication when the operational effects are determined to be no greater than the other uses permitted in this district with respect to noise, glare, radiation, vibration, smoke, odor and/or dust.
- 6.3.10. Junk yards, salvage yards and waste disposal sites.
- 6.3.11. Uses which are not expressly authorized in any zoning district, either by right or by special use permit, or uses which have not been previously authorized by the Planning Commission pursuant to this subsection or corresponding subsections in other zoning districts may be allowed in this zoning district by special use permit if the Planning Commission determines that the proposed use is of the same general character as the other uses allowed in this zoning district, either by right or by special use permit, and the proposed use is in compliance with the applicable requirements of the Cheboygan County Comprehensive Plan for this zoning district. (Rev. 04/26/08, Amendment #75)
- 6.3.12. Public and private wind generation and anemometer towers. (Rev. 06/17/04, Amendment #31)
- 6.3.13. Child Caring Institutions, subject to the requirements of Section 17.24 (Rev. 04/28/10, Amendment #85)
- 6.3.14. Boat Storage (Rev. 08/26/10, Amendment #88)
- 6.3.15. Truck Terminals or Warehouses subject to the requirements of Section 17.26 (Rev. 03/28/12, Amendment #107)
- 6.3.16. Indoor Storage Facilities (Rev. 05/25/13, Amendment #116)
- 6.3.17. Planned Projects subject to provisions of Section 17.28 (Rev. 10/13/16, Amendment #136)
- 6.3.18. Type II, Level 2 SES-PV Systems in accordance with Section 17.30.6.B (Rev. 03/01/19, Amendment #150)
- 6.3.19. Level 3 SES-PV Systems in accordance with Section 17.30.6.C (Rev. 03/01/19, Amendment #150)

SECTION 6.4. SUPPLEMENTAL REQUIREMENTS FOR D-CM, COMMERCIAL DEVELOPMENT DISTRICTS

- 6.4.1. See ARTICLE 17, SUPPLEMENTAL REGULATIONS for standards and conditions for special uses and ARTICLE 18, SPECIAL LAND USE PERMIT PROCEDURES AND STANDARDS for instructions on applying for permits.
- 6.4.2. When adjacent to a Residential Development District (D-RS), Rural Character Development District (D-RC), Lake and Stream Protection District (P-LS), or Natural Rivers Protection District (P-NR), uses described in Sections 6.2. and 6.3. shall be located not less than fifty (50) feet distant from any of these zones and shall require a green belt, wall or concealing fence in accordance with Section 17.18. (Rev. 08/05/06, Amendment #60), (Rev. 05/23/15, Amendment #127)
- 6.4.3. Applicants for permits for new construction or for alterations to existing structures, for permitted and for uses requiring special land use permits, shall be required to submit their plans showing how they will comply with these supplemental requirements.

ARTICLE 9 - AGRICULTURE AND FORESTRY MANAGEMENT DISTRICT (M-AF)

SECTION 9.1. PURPOSE

Agriculture and Forestry Management Districts are those areas where farming, dairying, forestry operations and other such rural-type activities exist and should be preserved or encouraged. They include areas which, although not currently so used, have a potential for agriculture and forestry. Large vacant areas, fallow land and wooded areas may also be included. Although the demand for other uses in these districts may ultimately outweigh their use as zoned, any such zoning changes should be made cautiously with the realization that adequate food supply and timber resources are essential to the health and welfare of the county, state and nation.

SECTION 9.2.

PERMITTED USES

- | | |
|---|--|
| 9.2.1. Single Family Dwellings and Two Family Dwellings (Rev. 03/28/12, Amendment #108). | 9.2.11. Tree farms, forest production and forest harvesting operations including portable sawmills, log storage yards and related activities. |
| 9.2.2. Commercial Farm Buildings. (Rev. 10/24/13, Amendment #120) | 9.2.12. Hunting grounds, fishing sites and wildlife preserves. |
| 9.2.3. Commercial Farms. (Rev. 10/24/13, Amendment #120) | 9.2.13. Private hunting and fishing cabins. (Rev. 04/28/00, Amendment #14) |
| 9.2.4. Greenhouses and nurseries. | 9.2.14. Private Storage Buildings, Private Storage/Workshop Buildings and Agricultural/Private Storage/Workshop Buildings (Rev. 04/12/07, Amendment #67) (Rev. 10/24/13, Amendment #120) |
| 9.2.5. Markets for the sale of products grown or produced upon the premises together with incidental products related thereto not grown or produced upon the premises but which are an unsubstantial part of said business. | 9.2.15. Hobby Farm Buildings. (Rev. 10/24/13, Amendment #120) |
| 9.2.6. <u>Home occupations</u> as defined in this ordinance. | 9.2.16. Hobby Farms. (Rev. 10/24/13, Amendment #120) |
| 9.2.7. <u>Essential services</u> . | 9.2.17. Type I, Level 2 SES-PV Systems in accordance with Section 17.30.6.B (Rev. 03/01/19, Amendment #150) |
| 9.2.8. Cemeteries. | |
| 9.2.9. Private aircraft landing strips. | |
| 9.2.10. Level 1 SES-PV Systems in accordance with Section 17.30.6.A (Rev. 03/01/19, Amendment #150) | |

ARTICLE 9 - AGRICULTURE AND FORESTRY MANAGEMENT DISTRICT (M-AF)

SECTION 9.3.

USES REQUIRING SPECIAL LAND USE PERMITS

- 9.3.1. See ARTICLE 17, SUPPLEMENTAL REGULATIONS for standards and conditions for special uses and ARTICLE 18, SPECIAL LAND USE (SLU) PERMIT PROCEDURES AND STANDARDS for instructions on applying for permits.
- 9.3.2. Motor vehicle sales and/or repair facility. (Rev. 11/27/18, Amendment #149)
- 9.3.3. Assembly, educational or social event facilities (Rev. 09/01/17, Amendment #140).
- 9.3.4. Public parks and recreational areas, playgrounds and campgrounds. (Rev. 09/01/17, Amendment #140)
- 9.3.5. Bar and Restaurant. (Rev. 01/16/18, Amendment #144)
- 9.3.6. Commercial Hunting and fishing cabins. (Rev. 04/28/00, Amendment #14)
- 9.3.7. Golf courses, country clubs and sportsmen's associations or clubs.
- 9.3.8. Retail sales establishment, small-scale convenience. (Rev. 11/27/18, Amendment #149)
- 9.3.9. Resorts, resort hotels, recreation farms, vacation lodges, motor inns, motels and other tourist lodging facilities.
- 9.3.10. Slaughter houses and meat packing plants.
- 9.3.11. Travel trailer courts, tenting areas and general camping grounds.
- 9.3.12. Public airports and landing fields, with appurtenant facilities.
- 9.3.13. Non-essential public utility and service buildings.
- 9.3.14. Adult Daycare Center, Assisted Living Center or Health Care Living Center. (Rev. 09/01/17, Amendment #141)
- 9.3.15. Animal feedlots or piggeries.
- 9.3.16. Earth removal, quarrying, gravel processing, mining and related mineral extraction businesses.
- 9.3.17. Commercial kennels, pet shops, and veterinary hospitals according to Section 17.16. (Rev. 11/23/09, Amendment #81)
- 9.3.18. Junk yards, salvage yards and waste disposal sites. (Rev. 04/26/08, Amendment #75)
- 9.3.19. Commercial composting (Rev. 04/28/00, Amendment #14)
- 9.3.20. Contractor's Yards, provided all of the following requirements are met: (Rev. 12/24/03, Amendment #26)
- 9.3.20.1. Minimum 10 acre parcel.
- 9.3.20.2. Minimum 330' of road frontage / lot width.
- 9.3.20.3. Minimum Setbacks: 100' front; 75' side; 100' rear.
- 9.3.20.4. All related equipment and materials must be stored within an enclosed building, not to exceed 5,000 square feet, or screened from view from public or private roads and adjoining properties under different ownership behind a wooden fence or greenbelt.
- 9.3.20.5. Buildings and uses permitted herein shall only be approved for parcels occupied by the parcel owner and which shall contain the owner's primary residence.
- 9.3.21. Public and private wind generation and anemometer towers. (Rev. 06/17/04, Amendment #31)

ARTICLE 9 - AGRICULTURE AND FORESTRY MANAGEMENT DISTRICT (M-AF)

SECTION 9.3.

USES REQUIRING SPECIAL LAND USE PERMITS

- 9.3.22. Uses which are not expressly authorized in any zoning district, either by right or by special use permit, or uses which have not been previously authorized by the Planning Commission pursuant to this subsection or corresponding subsections in other zoning districts may be allowed in this zoning district by special use permit if the Planning Commission determines that the proposed use is of the same general character as the other uses allowed in this zoning district, either by right or by special use permit, and the proposed use is in compliance with the applicable requirements of the Cheboygan County Comprehensive Plan for this zoning district. **(Rev. 04/26/08, Amendment #75)**
- 9.3.23 Child Caring Institutions, subject to the requirements of Section 17.24. **(Rev. 04/28/10, Amendment #85)**
- 9.3.24 Indoor Storage Facilities, subject to requirements of section 17.27.1. **(Rev. 05/25/13, Amendment #116)**
- 9.3.25 Planned Projects subject to provisions of Section 17.28. **(Rev. 05/25/13, Amendment #116)**
- 9.3.26 Type II, Level 2 SES-PV Systems in accordance with Section 17.30.6.B **(Rev. 03/01/19, Amendment #150)**
- 9.3.27 Level 3 SES-PV Systems in accordance with Section 17.30.6.C **(Rev. 03/01/19, Amendment #150)**

SECTION 9.4. SUPPLEMENTAL REQUIREMENTS FOR M-AF AGRICULTURE AND FORESTRY MANAGEMENT ZONING DISTRICT

(Rev. 11/28/15, Amendment #131)

- 9.4.1. A 40 ft setback shall be required for structures from the shoreline's ordinary high water mark (measured horizontally and perpendicular to the shoreline) of any stream, pond or lake which can be identified on the U.S. Geological Survey Maps of the 7.5' quadrangle series of Cheboygan County. Ground decking and patios without railings and which are less than thirty (30) inches above the natural grade at the deck building line may extend into the setback area but not nearer to the shoreline than twenty five (25) feet. Walkways and pathways, if not wider than eight (8) feet, are not restricted by this paragraph.



CHEBOYGAN COUNTY PLANNING AND ZONING DEPARTMENT

CHEBOYGAN COUNTY BUILDING ■ 870 S. MAIN STREET, PO Box 70 ■ CHEBOYGAN, MI 49721
PHONE: (231) 627-8489 ■ FAX: (231) 627-3646
www.cheboygancounty.net/planning/

STAFF REPORT

Item: An application to rezone property from Agriculture and Forestry Management (M-AF) and Commercial Development (D-CM) to entirely Commercial Development (D-CM), per Article 24 (Amendments) of the Zoning Ordinance	Prepared by: Michael Turisk
Date: August 13, 2020	Expected Meeting Date: August 19, 2020

GENERAL INFORMATION

Property Owner(s): Cheboygan-Otsego-Presque Isle Intermediate School District/Educational Services District

Applicant(s): Same as above

Contact Person(s): Jamie Huber, Superintendent, Cheboygan-Otsego-Presque Isle Educational Service District

Contact Phone: 231.238.9394

Property Location: The 4.8-acre subject property is located at 6065 Learning Lane (accessed via M-27, a Michigan State Highway) in Indian River, just south of Tuscarora Township's boundary with Burt Township and approximately .6-mile north of the M-27/Interstate-75 interchange (I-75 Exit 313).

Requested Action: Approval of an application to rezone property from Agriculture and Forestry Management (M-AF) and Commercial Development (D-CM) to entirely Commercial Development (D-CM).

1. INTRODUCTION/BACKGROUND

This rezoning application to be considered by the Planning Commission for recommendation to the Board of Commissioners regards a 4.8-acre property located at 6065 Learning Lane in Indian River, home to the Cheboygan-Otsego-Presque Isle Educational Service District (COPESD). The COPESD is a community education resource serving 23 schools and approximately 8,000 kindergarten to grade 12 students in Cheboygan, Otsego, and Presque Isle Counties. The COPESD property includes shared office space and accessory buildings and parking that serve the principal use.

The subject property lies at the northern terminus of an extended Commercial Development-zoned corridor that extends southward for approximately six miles through Indian River into Mentor Township. Not unlike many properties along the commercial corridor, the subject property has two distinct zoning designations -- D-CM that is approximately 3-acres as depicted on the County's Geographic Information System (GIS), with the remaining approximately 2-acre portion zoned M-AF.

If the zoning amendment application is approved, D-CM zoning would encompass the entire property, thus establishing a uniform zoning district. (Reducing the number of properties with multiple zoning districts represents an overarching policy decision that is suggested would provide efficiency in the administration of the Zoning Ordinance and provide clarity for property owners, applicants, County staff, the Planning Commission and the Board of Commissioners).

2. Adjacent Zoning:

North: Burt Township is directly north. Commercial Development (D-CM) and Agriculture and Forestry Management (M-AF) to the northeast.

East: Commercial Development (D-CM) and Agriculture and Forestry Management (M-AF)

South: Commercial Development (D-CM) and Agriculture and Forestry Management (M-AF)

West: Agriculture and Forestry Management (M-AF)

3. Surrounding Land Uses:

The area surrounding the subject property includes a mix of residential and non-residential land uses. Residential uses are noted directly north of the subject property across Learning Lane, as well as east of the subject property across M-27. Various commercial land uses in the area include, but are not limited to, commercial sales of premade storage buildings, Natural Landscape landscaping contractors, Rhadigan and Sons Custom Homes, OrthoSport Physical Therapy and Wellness Center and the Indian River Sports Center to the south near to the I-75 interchange.

4. Consistency with County Master Plan and Future Land Use Map/Tuscarora Township Master Plan:

As the Planning Commission is aware, in Michigan, townships have authority to administer township-level planning and zoning activities. To this point, Tuscarora Township has an adopted Master Plan and Future Land Use Map; the Cheboygan County Master Plan recommends that the Township's Master Plan (and the most recently adopted Future Land Use Map) guide land use decision-making within the Township. (However, in light of the fact that Tuscarora Township does not have an adopted township-specific zoning ordinance, the County's Zoning Ordinance applies.

The Cheboygan County Master Plan/Tuscarora Township Master Plan and Future Land Use Map designates the subject area as General Commercial and Single Family Residential. General Commercial is described by as follows:

"In contrast to the proposed Village Mixed Use area, the General Commercial area is envisioned to serve primarily vehicular traffic. Most of the General Commercial area is located along the Old 27 corridor, north of the Indian River and between South Avenue and the Sturgeon River. The remainder of the General Commercial area is located on the M-68 corridor, near the I-75 interchange. Parcels in the General Commercial area are generally larger than that available downtown. Therefore, commercial uses requiring proportionately larger scale sites are encouraged to locate in the General Commercial area. Examples of existing appropriate large-scale commercial uses in this area include commercial nursery and landscape material sales, lumber and hardware stores with large storage and inventory areas, and commercial recreation facilities such as miniature golf and boat liveries.

Additionally, highway oriented uses such as vehicle sales, automobile service stations, motels and restaurants are appropriate in the general commercial area. Design standards in this area would ideally include off-street parking, a landscaped setback from the highway, access controls to minimize interference with through traffic on the highway, and highway-oriented sign regulations. Within this future land use category, limited use outdoor recreation/event facilities may be compatible depending on the specific use and with site specific conditions required to address potential issues such as site access, traffic, noise, lights, etc. and provide safeguards to protect the neighboring property owners. The pursuit of this type of use should be explored with the Cheboygan County Department of Planning and Zoning (in coordination with Tuscarora Township) in consideration of the Cheboygan County Zoning Ordinance.”

Single Family Residential is described, in part, as follows:

“This future land use category is intended to serve as the principal residential area of the Township. It covers 6,436 acres or 24.2% of the total Township area. Relatively high-density (lot size less than one acre) homes are encouraged in and around the community of Indian River, while low density homes (minimum one-acre lot) are encouraged in the outlying areas north of Indian River and areas along the Burt Lake shore. In the future, the Township may wish to consider designating two types of residential development areas: one where subdivision or small lot development is anticipated and the other where large-lot or “estate residential” development is to be encouraged.”

5. Comparisons of Site Development Standards:

Site Development Standards	Agriculture and Forestry Management (current zoning for portion of subject property)	Commercial Development (proposed zoning for entire subject property)
Minimum Lot Area	one-acre	No min
Minimum Lot Width	150 feet	No min
Minimum Front Setback	50 feet	25 feet
Minimum Side Setback	10 feet	10 feet
Minimum Rear Setback	30 feet	10 feet

6. Public Comment:

No written or verbal public comments have been received as of the date of this report (August 13, 2020).

7. Summary:

The 4.8-acre subject property is located along North Straits Highway (M-27, a Michigan State Highway) at 6065 Learning Lane in Indian River, and is home to the Cheboygan-Otsego-Presque Isle Educational Service District (COPESD). This proposed rezoning that would result in the subject property having uniform D-CM zoning that would align with the boundaries of the subject property. The Tuscarora Township Master Plan and Future Land Use Map designate the area as General Commercial and Single Family Residential.

**CHEBOYGAN COUNTY PLANNING COMMISSION
REZONING REQUEST**

Wednesday, August 19, 2020; 7:00 PM

Applicant: Cheboygan-Otsego-Presque Isle Intermediate School District
Property Owner: Same as above
Parcel No.: 161-001-200-003-00
Property Address: 6065 Learning Lane in Tuscarora Township

PROPERTY DESCRIPTION

The property is described as situated in the Township of Tuscarora, County of Cheboygan and State of Michigan.

COM NE COR SEC 1, T35N,R3W; TH W ALG N SEC LI 121.2 FT; TH S 0D 45M 30S E 33FT TO INTERSECTION OF R/W M-27 & OLD EAGLES NEST RD & POB; TH CONT S ALG WLY R/W M-27, 350FT; TH W 600FT; TH N 0D 45M 30S W 350 FT TO S R/W OLD EAGLES NEST RD; TH E ALG R/W 600FT TO POB, PT OF NE1/4 OF NE1/4.

Hereinafter referred to as the "Property."

APPLICATION

The applicant seeks approval for rezoning, requesting the following:

1. An application to rezone property from Agriculture and Forestry Management (M-AF) and Commercial Development (D-CM) to entirely Commercial Development (D-CM).

The Planning Commission having considered the Application, the Planning Commission having heard the statements of the Applicant, the Planning Commission having considered written evidence and Exhibits on the record, and the Planning Commission having reached a decision on this matter, states as follows:

GENERAL FINDINGS

1. The Planning Commission finds that the zoning amendment application proposes rezoning of certain real property in the application from Agriculture and Forestry Management (M-AF) and Commercial Development (D-CM) to entirely Commercial Development (D-CM) (See Exhibits 3 and 11)
2. The Planning Commission finds that the zoning amendment application is made by the Cheboygan-Otsego-Presque Isle Intermediate School District. (See Exhibits 3 and 11)
3. The Planning Commission finds that parcels to the east, south and west are zoned Commercial Development (D-CM) and Agriculture and Forestry Management (M-AF). (See Exhibits 5 and 11)

4. The Planning Commission finds that the subject property is located at 6065 Learning Lane, just south of Tuscarora Township's boundary with Burt Township and approximately .6-mile north of the M-27/Interstate-75 interchange. (See Exhibits 3, 4 and 11)
5. The Planning Commission finds that the Cheboygan County/Tuscarora Township Master Plan and Future Land Use Map designate the area in which the subject property is located as General Commercial and Single Family Residential. (See Exhibits 2, 8 and 11)
6. The Planning Commission finds that the subject property is the site of the Cheboygan-Otsego-Presque Isle Education Service District (COPESD). (See Exhibit 3 and 11)
7. The Planning Commission finds that _____

REZONING FACTORS

1. Is the proposed conditional rezoning reasonably consistent with surrounding uses?

WILL SUPPORT THE FACTOR

- A. The Planning Commission finds that the subject property is contiguous to an area on the Property already zoned Commercial Development (D-CM), such that rezoning as proposed would not result in an isolated area of land zoned D-CM. (See Exhibits 5 and 11)
- B. The Planning Commission finds that upon review of the specific nature of the Property, which includes a portion thereof already zoned D-CM (and has a non-residential or commercial use), would not create a negative impact on surrounding properties. (See Exhibits 5, 9, 10 and 11)
- C. The Planning Commission finds that _____

WILL NOT SUPPORT THE FACTOR

- A. The Planning Commission finds that surrounding land uses are zoned Commercial Development (D-CM) and Agriculture and Forestry Management (M-AF), with a mix of non-residential, residential land uses interspersed with vacant lands; therefore, the proposed rezoning is reasonably consistent with surrounding land uses. (See Exhibits 4, 5 and 11)
- B. The Planning Commission finds that _____

This standard has/has not been met.

2. Will there be an adverse physical impact on surrounding properties?

WILL SUPPORT THE FACTOR

- A. The Planning Commission finds that there is no evidence that the proposed rezoning would result in an adverse physical impact on surrounding properties as non-residential or commercial uses currently exist in the area. Activities that could occur if the subject property is rezoned as proposed would not physically disturb neighboring properties. (See Exhibits 5, 8 and 11)
- B. The Planning Commission finds that, per the adopted Cheboygan County/Tuscarora Township Master Plan there is support that this proposed rezoning would allow land uses which would be compatible with surrounding properties and meet the County's/Tuscarora Township's land use goals. (See Exhibits 8 and 11)
- C. The Planning Commission finds that _____

WILL NOT SUPPORT THE FACTOR

- A. The Planning Commission finds that there is evidence that the proposed rezoning would result in adverse physical impact on surrounding properties, as the activities which could occur if the Property were rezoned as proposed would physically disturb neighboring properties. (See Exhibits 4, 5 and 11)
- B. The Planning Commission finds that _____

This standard has/has not been met.

3. Will there be an adverse effect on property values in the adjacent area?

WILL SUPPORT THE FACTOR

- A. The Planning Commission finds that evidence is lacking in the form of an appraisal or other documentation or study that indicates that if the rezoning is granted there would be an adverse effect on property values in the area.
- B. The Planning Commission finds that _____

WILL NOT SUPPORT THE FACTOR

- A. None identified.
- B. The Planning Commission finds that _____

This standard has/has not been met.

4. **Have there been changes in land use or other conditions in the immediate area or in the community in general that justifies rezoning?**

WILL SUPPORT THE FACTOR

- A. None identified.
- B. The Planning Commission finds that _____

WILL NOT SUPPORT THE FACTOR

- B. The Planning Commission finds that relatively few land use changes have occurred in the vicinity of the Property; therefore, there is minimal demand for commercial property which does not favor the proposed rezoning. (See Exhibits 4 and 11)
- C. The Planning Commission finds that _____

This standard has/has not been met.

4. **Will rezoning create a deterrent to the improvement or development of adjacent property in accordance with existing regulations?**

WILL SUPPORT THE FACTOR

- A. The Planning Commission finds that development in the area is slowly increasing and that the properties in this area provide opportunity to attract additional viable business that will result in the investment of additional dollars in the area; these factors are reasonable justifications for rezoning. (See Exhibit 4)
- B. The Planning Commission finds that _____

WILL NOT SUPPORT THE FACTOR

- A. The Planning Commission finds that no evidence exists suggesting that the rezoning would deter or hinder the improvement or development of adjacent properties in accordance with existing regulations, much less future land use plans, per the County's/Tuscarora Township's Master Plan and Future Land Use Map. (See Exhibits 5 and 11)
- B. The Planning Commission finds that _____

This standard has/has not been met.

5. Will rezoning grant a special privilege to an individual property owner when contrasted with other property owners in the area or the general public (i.e. will rezoning result in spot zoning?)

WILL SUPPORT THE FACTOR

- A. The Planning Commission finds that given the existing vacant land that exists in the surrounding area that the property will result in the granting of a special privilege to the applicant for uses not available for development by surrounding property owners. (See Exhibits 4 and 11)
- B. The Planning Commission finds that _____

WILL NOT SUPPORT THE FACTOR

- A. The Planning Commission finds that approximately half of the Property is currently zoned D-CM and accommodates a non-residential or commercial use and is adjacent to property to the south that is zoned D-CM. As such, if the property is rezoned to D-CM as proposed, it would be contiguous with existing D-CM zoned property; therefore, the proposed rezoning does not create a special privilege or result in spot zoning. (See Exhibits 5 and 11)
- B. The Planning Commission finds that _____

This standard has/has not been met.

6. Are there substantial reasons why the property cannot be used in accordance with its present zoning classifications?

WILL SUPPORT THE FACTOR

- A. e Planning Commission finds that a portion of the Property is currently zoned D-CM, and given the Master Plan and Future Land Use Map, rezoning would be more in harmony with uses allowed under the Future Land Use designations for the area. (See Exhibits 2, 5, 8 and 11)
- B. The Planning Commission finds that _____

WILL NOT SUPPORT THE FACTOR

- A. The Planning Commission finds that the portion of the subject property zoned Agriculture and Forestry Management (M-AF) can be used for all purposes listed under the M-AF zoning district. (See Exhibits 5 and 10)
- B. The Planning Commission finds that _____

This standard has/has not been met.

7. Is the rezoning in conflict with the planned use for the property as reflected in the Master Plan?

WILL SUPPORT THE FACTOR

- A. None identified.
- B. The Planning Commission finds that _____

WILL NOT SUPPORT THE FACTOR

- A. The Planning Commission finds that the subject property is designated General Commercial and by the Cheboygan County/Tuscarora Township Master Plan and Future Land Use Map. Properties within the General Commercial designation are primarily intended to provide for business locations outside of village centers designed to meet the variety of commercial needs of a growing community. (See Exhibits 4, 8 and 11)
- B. The Planning Commission finds that _____

This standard has/has not been met.

8. Is the site served by adequate public facilities or is the applicant able to provide them?

WILL SUPPORT THE FACTOR

- A. The Planning Commission finds that the Property is or will be served by adequate public and private facilities by the applicant considering the type of use intended for the subject

property. (See Exhibits 3 and 11)

B. The Planning Commission finds that _____

WILL NOT SUPPORT THE FACTOR

A. None identified.

B. The Planning Commission finds that _____

This standard has/has not been met.

9. Are there sites nearby already properly zoned that can be used for the intended purposes?

WILL SUPPORT THE FACTOR

A. The Planning Commission finds that although a portion of property is zoned D-CM, the rezoning of the remaining portion of the Parcel provides maximum utilization of the property for the intended use. (See Exhibits 4, 5, 8 and 11)

B. The Planning Commission finds that, with respect to the proposed rezoning, the currently zoned D-CM portion of the Property is adequate for the intended purpose. (See Exhibits 5 and 11)

C. The Planning Commission finds that _____

WILL NOT SUPPORT THE FACTOR

A. None identified.

B. The Planning Commission finds that _____

This standard has/has not been met.

DECISION

In considering the foregoing, it is important to recognize that the considerations are general in nature, may overlap somewhat, and that there may be other factors not listed. When pondering the above questions, the decision maker must also give due consideration to (a) the general character of the area in which the subject property is located, (b) the property itself and its attendant physical limitations and suitability to particular uses, (c) the general desire to conserve property values and, (d) the general trend and character of population development. The community should evaluate whether other local remedies are available.

The decision maker should not focus on any one concern among the various factors to be taken into consideration when passing upon a rezoning request.

Motion made by _____, supported by _____, that based upon the general findings of fact and the rezoning factors that the applicant's request to rezone the subject area identified as Parcel ID No. 161-001-200-003-00 within Cheboygan County, Michigan is hereby recommended to be denied/approved.

Ayes: _____

Nays: _____

TIME PERIOD FOR JUDICIAL REVIEW

State law provides that a person having an interest affected by the zoning ordinance may appeal a decision of the Planning Commission to the Circuit Court. Pursuant to MCR 7.101 any appeal must be filed within twenty-one (21) days after this Decision and Order is adopted by the Planning Commission.

DATE DECISION AND ORDER ADOPTED

Wednesday, August 19, 2020

Patty Croft, Chairperson

Charles Freese, Secretary