



CHEBOYGAN COUNTY PLANNING COMMISSION

870 SOUTH MAIN ST. ■ PO BOX 70 ■ CHEBOYGAN, MI 49721
PHONE: (231)627-8489 ■ FAX: (231)627-3646

**CHEBOYGAN COUNTY PLANNING COMMISSION MEETING & PUBLIC HEARING
WEDNESDAY, JULY 19, 2017 AT 7:00 PM
ROOM 135 – COMMISSIONERS ROOM
CHEBOYGAN COUNTY BUILDING, 870 S. MAIN ST., CHEBOYGAN, MI 49721**

AGENDA

CALL TO ORDER

PLEDGE OF ALLEGIANCE

ROLL CALL

APPROVAL OF AGENDA

APPROVAL OF MINUTES

PUBLIC HEARING AND ACTION ON REQUESTS

1. **An Ordinance to amend Section 17.19.** of the Cheboygan County Zoning Ordinance No. 200 to provide content neutral definitions, regulations and standards for Signs.
2. **David Bona, Architect - Ann Arbor YMCA** - Requests a Special Use Permit for replacement of eleven (11) sleeping cabins at an existing Camp (Sections 9.3.4. and 10.3.2.) The property is located at 9728 West M-68 Highway, Tuscarora Township, parcel #161-016-300-001-00 and is zoned Agriculture and Forestry Management (M-AF) and Lake and Stream Protection (P-LS).
3. **Scott Hassler - Chuck Robiadek (Robiadek & Sons Excavating)** - Requests a Special Use Permit for Indoor storage facilities (Sections 6.3.16. and 9.3.24.) The property is located at 750 Indian Trail Road, Inverness Township, parcel #091-024-100-012-00 and is zoned Agriculture and Forestry Management (M-AF) and Commercial Development (D-CM).

UNFINISHED BUSINESS

1. Boat Shelter Discussion

NEW BUSINESS

STAFF REPORT

PLANNING COMMISSION COMMENTS

PUBLIC COMMENTS

ADJOURN



CHEBOYGAN COUNTY PLANNING COMMISSION

870 SOUTH MAIN ST., ROOM 103 ■ PO Box 70 ■ CHEBOYGAN, MI 49721
PHONE: (231)627-8489 ■ TDD: (800)649-3777

CHEBOYGAN COUNTY PLANNING COMMISSION MEETING & PUBLIC HEARING WEDNESDAY, JULY 5, 2017 AT 7:00 P.M. ROOM 135 – COMMISSIONER'S ROOM - CHEBOYGAN COUNTY BUILDING

PRESENT: Bartlett, Kavanaugh, Borowicz, Croft, Ostwald, Lyon, Churchill, Jazdyk
ABSENT: Freese
STAFF: Steve Schnell
GUESTS: Bob Lyon, Cal Gouine, Francis Dubois, Brenda Dubois, Carl Muscott, John Moore, Russell Crawford, Cheryl Crawford, Wallace Gemignani

The meeting was called to order by Chairperson Croft at 7:00pm.

PLEDGE OF ALLEGIANCE

Chairperson Croft led the Pledge of Allegiance.

APPROVAL OF MINUTES

The June 21, 2017 Planning Commission minutes were presented. **Motion** by Mr. Borowicz, seconded by Mr. Kavanaugh, to approve the meeting minutes as presented. Motion carried. 8 Ayes (Bartlett, Kavanaugh, Borowicz, Croft, Ostwald, Lyon, Churchill, Jazdyk), 0 Nays, 1 Absent (Freese)

APPROVAL OF AGENDA

The meeting agenda was presented. **Motion** by Mr. Churchill, seconded by Mr. Bartlett, to approve the agenda as presented. Motion carried. 8 Ayes (Bartlett, Kavanaugh, Borowicz, Croft, Ostwald, Lyon, Churchill, Jazdyk), 0 Nays, 1 Absent (Freese)

PUBLIC HEARING AND ACTION ON REQUESTS

Francis Dubois – Requests a Special Use Permit for a Contractor's yard. (Section 9.3.20.) The property is located at 741 Soules Road and Montgomery Road., Walker Township, section 6, parcel #220-006-400-001-08 and parcel #220-006-400-001-07 and is zoned Agriculture and Forestry Management (M-AF).

Mr. Schnell explained that the applicant is seeking a special use permit for a contractor's yard under section 9.3.20 in an Agriculture and Forestry Management zoning district. Mr. Schnell reviewed the requirements for a contractor's yard. Mr. Schnell reviewed an aerial photo of the property and pointed out the location of the equipment, home and fence. Mr. Schnell noted the two parcels that will be combined for the contractor's yard. Mr. Schnell stated that the yard area eligible for the contractor's yard has natural screening and meets the setback requirements. Mr. Schnell stated that the applicant has met the minimum requirements of section 9.3.20.

Mr. Ostwald asked for the width of the narrow parcel. Mr. Schnell stated 330ft. Mr. Kavanaugh asked if the equipment will be located behind the pine trees along Montgomery Road. Mr. Dubois stated that most of the equipment will be stored past the pine trees and that nothing will be stored between the tree line and Montgomery Road. Discussion was held regarding the location of the existing trees. Ms. Lyon asked if Mr. Dubois plans to use a building for maintenance. Mr. Dubois stated no and there are no plans for a maintenance building. Mr. Kavanaugh asked if Mr. Dubois would object to keeping the equipment behind the tree line. Mr. Dubois stated he will keep the equipment behind the tree line. Discussion was held.

Ms. Croft asked for public comments. Mr. Muscott noted that this application appears to be started through enforcement. Mr. Muscott asked if the enforcement is the result of a neighbor complaint or through department enforcement. Mr. Schnell stated that it was from a complaint that was received. Mr. Muscott stated that in the General Findings it is noted that there is no rear lot line. Mr. Muscott stated that there must be a rear property line. Discussion was held. Mr. Schnell stated that the Zoning Ordinance does not contemplate this type of parcel. Mr. Muscott stated that the side where the parcel is addressed should be considered the front and the side with no address would be the rear property line. Mr. Schnell stated it could be interpreted

this way. Discussion was held. Mr. Kavanaugh stated that Mr. Dubois owns the parcel behind so there isn't a negative impact to the neighbors. Public comment closed.

Motion by Mr. Kavanaugh, seconded by Mr. Bartlett, to grant the topography waiver request and the minimum scale waiver request. Motion carried. 8 Ayes (Bartlett, Kavanaugh, Borowicz, Croft, Ostwald, Lyon, Churchill, Jazdzyk), 0 Nays, 1 Absent (Freese)

The Planning Commission reviewed and approved the General Findings. The Planning Commission reviewed and approved the Finding of Fact Under Section 9.3.20, the Finding of Fact Under Section 18.7 and the Specific Findings of Fact Under Section 20.10. **Motion** by Mr. Kavanaugh, seconded by Mr. Ostwald, to approve the special use permit based on the General Findings, Finding of Fact Under Section 9.3.20, Finding of Fact Under Section 18.7 and Specific Findings of Fact Under Section 20.10 subject to the storage being located behind the existing tree line. Motion carried. 8 Ayes (Bartlett, Kavanaugh, Borowicz, Croft, Ostwald, Lyon, Churchill, Jazdzyk), 0 Nays, 1 Absent (Freese)

UNFINISHED BUSINESS

Capital Improvement Program, Review Draft Program Report

Mr. Schnell stated that Mr. McNeil has prepared the final draft version of the Capital Improvement Program for the Planning Commission to review. Mr. Schnell stated that if there are no further changes, the Planning Commission can authorize a public hearing for August 2, 2017. **Motion** by Mr. Kavanaugh, seconded by Mr. Churchill, to schedule a public hearing for the Capital Improvement Program for August 2, 2017. Motion carried. 8 Ayes (Bartlett, Kavanaugh, Borowicz, Croft, Ostwald, Lyon, Churchill, Jazdzyk), 0 Nays, 1 Absent (Freese)

Boat Shelter Survey Results

Mr. Schnell stated that the survey was open until June 30, 2017. Mr. Schnell stated that he is not looking for action on this topic. Mr. Schnell stated that he is providing a summary to the Planning Commission. Mr. Schnell stated that there were 269 responses. Mr. Schnell stated there were 3 responses that appeared to be duplicates. Mr. Schnell stated that there were 2 people that did not answer the first question but provided comments. Mr. Schnell stated that 25% was opposed and 75% were not opposed to boat shelters no matter what type of construction. Mr. Schnell stated that by taking out the duplicates it changed the results to 24% opposed and 76% not opposed. Mr. Schnell stated that one of the questions on the survey was "Are you or your organization opposed to allowing boat shelters if they had no solid walls?" Mr. Schnell stated the results were 13% for yes and 87% for no. Mr. Schnell stated that the next question on the survey was "Are you or your organization opposed to allowing boat shelters in areas where none or few currently exist?" Mr. Schnell stated the results were 12% for yes and 88% for no. Mr. Schnell stated the next question on the survey was "Are you or your organization opposed to allowing new boat shelters in areas where many currently exist?" Mr. Schnell stated the results were 9% for yes and 91% for no. Mr. Schnell stated that overall there is little opposition to the idea. Mr. Schnell stated that the comments will be informative and will provide a lot of details for the Planning Commission to review. Mr. Schnell stated that there were concerns about the uplift of the wind load of the roof. Mr. Schnell stated that he will ask for the Building Official's input. Mr. Schnell stated that a copy of DEQ letter will be forwarded to the Planning Commission regarding the impact of the shoreline biology on having an impervious surface above the water. Mr. Schnell stated that notifications of the survey were sent out to the DNR and lake associations. Mr. Kavanaugh stated that there was one comment that each boat shelter should be evaluated on its own merit especially regarding view. Mr. Kavanaugh stated that a property owner could have a lot that is lower or higher than their neighbor and the view could be eliminated. Mr. Jazdzyk stated that he was surprised by the number of people who do not have a lot of objections to boat houses. Mr. Jazdzyk stated that there are boathouses on Mullett Lake that are stunning, but he does not believe that some could be built today. Mr. Jazdzyk stated that it would be helpful have a copy of the DEQ and Army Corps of Engineer's regulations regarding boathouses.

NEW BUSINESS

Mr. Kavanaugh asked for an update on Triple D Disposal. Mr. Schnell stated that they have talked with Mr. McNeil and the next part of the process will be to determine what is an acceptable amount for the surety deposit. Discussion was held. Mr. Schnell stated that Triple D Disposal has not opened at their new location yet.

Mr. Kavanaugh asked for an update on Heritage Cove Farm. Mr. Schnell stated that he has not received a date for the court hearing.

STAFF REPORT

Mr. Schnell stated that Hank Jankoviak retired after 17 years of working for Cheboygan County. Mr. Schnell stated that Matt Cronk is certified as a Soil Erosion Officer and will administer the program as required by state law. Mr. Schnell stated that he and Keith Wregglesworth will be getting their certification to do on site soil erosion inspections to support the Soil Erosion

Officer. Mr. Schnell stated that the Planner 1 position will also be certified as a Soil Erosion Officer. Mr. Schnell stated that there will be 4 people who will be serving various roles in the soil erosion program. Discussion was held.

PLANNING COMMISSION COMMENTS

No comments.

PUBLIC COMMENTS

Mr. Gemignani stated that he lives on Beebe Road and was a member of Mullett Lake Area Preservation Society (MAPS) for 20 years. Mr. Gemignani stated that some members of MAPS who live on the lake did not receive notification of the survey. Mr. Gemignani stated that Tony Naylor who is the MAPS President, and lives on Mullett Lake, did not receive a notification of the survey. Mr. Gemignani stated that Duane Hingstrom, who was the previous chairman, did not receive a notification of the survey. Mr. Gemignani stated that a survey should have been sent to these individuals so they can survey their association. Mr. Gemignani stated that he took an informal survey and there are 4-5 boathouses on the river by his house. Mr. Gemignani stated that most of the residents are able to see the river mouth, Mullett Lake and Cheboygan River. Mr. Gemignani noted that there is a 40ft. setback on the river and stated his concerns regarding views being blocked due to boathouses. Mr. Gemignani stated that once the ordinance is changed, there will be property owners who want more than what the ordinance allows. Mr. Gemignani stated that June Passino and David Hudson are not in favor of boathouses. Mr. Gemignani stated that he is in favor of a lift with a canvas top.

Mr. Muscott stated that the county is proposing \$250,000,000 to tear down the Gold Front. Mr. Muscott questioned if this should be included on the Capital Improvement Program. Mr. Schnell stated that plans are to demolish the buildings and sell the buildings to recover the funds. Mr. Schnell stated that it can be added to the Capital Improvement Program. Mr. Schnell stated that it is not guaranteed that the county will receive the grant funds for this project. Discussion was held.

Mr. Muscott stated that Mr. Gemignani has brought up valid concerns but noted that a property owner could plant trees that would block a view more than a boathouse with an open frame. Mr. Muscott stated he had issues with the way the survey was written. Mr. Muscott stated he would like to see boathouses move forward as a permitted use. Mr. Muscott stated he would like to see it move forward as an overlay in Lake and Stream Protection Zoning District and in other areas it could be a special use permit. Discussion was held.

ADJOURN

Motion by Mr. Churchill to adjourn. Motion carried. Meeting was adjourned at 7:50pm.

Charles Freese
Planning Commission Secretary



CHEBOYGAN COUNTY COMMUNITY DEVELOPMENT DEPARTMENT

CHEBOYGAN COUNTY BUILDING ■ 870 S. MAIN STREET, PO BOX 70 ■ CHEBOYGAN, MI 49721
PHONE: (231)627-8485 ■ FAX: (231)627-3646
www.cheboygancounty.net/planning/

Date: June 23, 2017

To: Planning Commission

From: Scott McNeil, Planner

Re; Public Hearing - Sign Ordinance Amendment regarding content neutral regulations and standards.

Included with this memo is the draft zoning ordinance amendment relative to the subject.

This ordinance amendment is proposed as a result of a Supreme Court decision known as Reed vs. Town of Gilbert. In this case the Court ruled that sign regulation based on the content or message of a sign is unconstitutional.

Section 1 of the amendment document removes sign provisions from Article 11 of the zoning ordinance relative the Natural Rivers Protection zoning district.

You will note in section 2 of the amendment document, the definitions of Neighborhood identification sign, Noncommercial sign, Off-premise sign, Political sign and Real Estate Sign are proposed to be repealed as each are based on the content/message of a sign.

You will find sections 3 and 4 of the amendment document propose complete revision of section 17.19.2 regarding signs which do not require a permit and section 17.19.3 regarding prohibited signs where the current content based regulation exists.

Sections 5 and 6 propose revisions to Village Center Indian River and Village Center Topinabee zoning district sign requirements to remove reference to off premise signs.

Finally, section 7 of the amendment document provides clarifying language regarding billboards as regulated by the State of Michigan.

I will look forward to discussing this matter further with the Planning Commission during the public hearing. Please contact me with questions.

DRAFT for July 19, 2017 Public Hearing

CHEBOYGAN COUNTY

Zoning Ordinance Amendment # _____

AN ORDINANCE TO AMEND THE CHEBOYGAN COUNTY ZONING ORDINANCE No. 200 TO PROVIDE DEFINITIONS, REGULATIONS AND STANDARDS FOR SIGNS.

THE COUNTY OF CHEBOYGAN, STATE OF MICHIGAN ORDAINS

Section 1. Repeal of Section 11.7.1

Section 11.7.1. is hereby repealed and reserved for future use.

Section 2. Amendment of Section 17.19.1.

The following definitions within Section 17.19.1 of the Cheboygan County Zoning Ordinance No. 200 are hereby repealed:

Neighborhood identification sign, Noncommercial sign, Off-premise sign, Political sign, and Real Estate Sign.

Section 3. Amendment of Section 17.19.2.

Section 17.19.2. of the Cheboygan County Zoning Ordinance No. 200 is hereby amended to read in its entirety as follows:

17.19.2. SIGNS NOT REQUIRING A ZONING PERMIT

The following signs may be placed in any zoning district without a zoning permit, provided such signs are established in a lawful manner and do not create a nuisance or safety hazard:

- A. Incidental signs, not exceeding 3 square feet of sign surface area.
- B. Any temporary sign constructed using a wire, metal, wood or other support structure capable of being placed in the ground and removed from the ground by a single individual with relative ease subject to the following requirements:
 - 1. Each sign shall be removed from the lot within sixty (60) days of its original placement and no more than two (2) days after the subject matter of the sign has expired, except as otherwise provided by law.
 - 2. The total sign surface area of all signs shall be no more than thirty two (32) square feet and each sign shall be no more than four (4) feet in height except as otherwise provided by law.
- C. Governmental signs.
- D. One (1) dwelling owner or occupant name plate per use which is not illuminated and does not exceed an area of two (2) square feet of sign surface area, and may be in addition to any other permitted sign.
- E. Signs that have been approved in conjunction with a valid site plan or PUD.
- F. Any sign authorized pursuant to a written contract between the owner of the lot on which the sign will be located and any third party and placed on the lot for a specified period of time subject to the following requirements:
 - 1. Each sign shall be removed from the lot within thirty (30) days after the contract authorizing the sign matter of the sign has expired.
 - 2. Each sign shall be limited to thirty two (32) square feet of sign surface area.
 - 3. There shall be no more than one (1) sign per lot.
- G. Signs on motor vehicles not used primarily for advertising purposes.

H. The use of any balloons, flags, pennants or pinwheels, individually, as a group, or connected to a sign intended to draw attention to a specific event at a specific location subject to the following requirements:

1. Balloons, flags, pennants or pinwheels, shall not be placed on the lot more than fifteen (15) days before the specific event.
2. Balloons flags, pennants or pinwheels shall be removed from the lot within two (2) days after the specific event is over.

Section 4. Amendment of Section 17.19.3.

Subsection 17.19.3. of the Cheboygan County Zoning Ordinance No 200 is hereby amended to read in its entirety as follows:

17.19.3. PROHIBITED SIGNS

The following signs are prohibited in all zoning districts.

- A. Signs with moving or revolving parts.
- B. Signs affixed to any governmental or public utility structure, except incidental signs.
- C. Signs located in the right-of-way of a public sidewalk or highway, unless the governmental body with jurisdiction over the public sidewalk or highway consents in writing to the placement of the sign and such sign otherwise meets the applicable sign regulations of this Ordinance.
- D. Signs utilizing vehicles, trucks, vans, trailers or other similar wheeled devices, including those where the wheels have been removed, excluding signs on vehicles that are used in the day to day operations of the business to which the sign pertains.
- E. Signs that interfere with traffic visibility or public services.
- F. Signs with concrete foundations or other solid anchoring devices that project above the surface of the ground and located as to constitute a safety hazard to vehicular traffic.

Section 5. Amendment of Section 17.19.5.

Subsection 17.19.5. of the Cheboygan County Zoning Ordinance No 200 is hereby amended to read in its entirety as follows:

17.19.5. VILLAGE CENTER INDIAN RIVER ZONING DISTRICT SIGN REQUIREMENTS

Signs in the Village Center Indian River zoning district shall comply with the following requirements:

- A. All signs shall be constructed of metal, masonry, wood, or a wood simulator such as molded plastic or routed foam.
- B. For lots which face more than one (1) street, sign requirements of Section 17.19.8 shall apply to each street front.
- C. Signs shall not extend or overhang into the public right of way (ROW), unless they are 11 ft. above the ROW (at their lowest point) and unless the governmental body with jurisdiction of the public sidewalk or right-of-way consents in writing to the placement of such sign.
- D. In addition to the maximum sign surface area, all lots shall be allowed a bonus of three (3) square feet of sign surface area for each additional use above one (1). This bonus applies to Projecting, Freestanding, and Wall signs only.

Section 6. Amendment of Section 17.19.5.A.

Subsection 17.19.5.A. of the Cheboygan County Zoning Ordinance No 200 is hereby amended to read in its entirety as follows:

17.19.5.A VILLAGE CENTER TOPINABEE ZONING DISTRICT SIGN REQUIREMENTS

Signs in the Village Center Topinabee zoning district shall comply with the following requirements:

- A. All signs shall be constructed of metal, masonry, wood, or a wood simulator such as molded plastic or routed foam.
- B. Lots with more than one (1) lot line abutting a public right-of-way may have one (1) permanent sign located on the lot along each public right-of-way, subject to the total size requirements under Section 17.19.8. Provided, however, this provision shall not apply to canopy signs.
- C. Signs shall not extend or overhang into the public right of way (ROW), unless they are 11 ft. above the ROW (at their lowest point) and unless the governmental body with jurisdiction of the public sidewalk or right-of-way consents in writing to the placement of such sign.

Section 7. Amendment of Section 17.19.7.D.

Section 17.19.7.D. of the Cheboygan County Zoning Ordinance No 200 is hereby amended to read in its entirety as follows:

- D. Billboards as defined by the Highway Advertising Act of 1972 (1972 PA 106), that border interstate highways, freeways, or primary highways, as defined in said Act, shall be regulated and controlled by the provisions of such Act, notwithstanding the provisions of this ordinance.

Section 8. Severability.

If any section, clause, or provision of this Ordinance is declared unconstitutional or otherwise invalid by a court of competent jurisdiction, said declaration shall not affect the validity of the remainder of the Ordinance as a whole or any part thereof, other than the part so declared to be unconstitutional or invalid.

Section 9. Effective Date.

This Ordinance shall become effective eight (8) days after being published in a newspaper of general circulation within the County.

CHEBOYGAN COUNTY

By:
Its: Chairperson

By: Karen L. Brewster
Its: Clerk

CHEBOYGAN COUNTY PLANNING COMMISSION

David Bona / YMCA – *Revised 07/05/17*

Exhibit List

1. Cheboygan County Zoning Ordinance
2. Cheboygan County Master Plan
3. Notice of Planning Commission Meeting (1 Page)
4. Special Use Permit Application (6 Pages)
5. Mailing List (2 Pages)
6. Overall Site Plan, Cabin Demolition Plan and Detailed Site Plan (1 Page)
7. Pier/Flr. Frame Plan & Floor Plan (1 Page)
8. Elevation Drawing (1 Page)
9. Building Section (1 Page)

The following items were added to the exhibit list on 07/05/17:

10. Email Dated 07/03/17 From Dave Carpenter, Tuscarora Township Fire Chief (1 Page)
11. Email Dated 07/03/17 From Brent Shank, Cheboygan County Road Commission (1 Page)
- 12.
- 13.

Note: Planning Commission members have exhibits 1 and 2.

CHEBOYGAN COUNTY PLANNING COMMISSION MEETING and PUBLIC HEARING
WEDNESDAY, JULY 19, 2017 AT 7:00 PM
ROOM 135 – COMMISSIONERS ROOM
CHEBOYGAN COUNTY BUILDING, 870 S. MAIN ST., CHEBOYGAN, MI 49721

A Public Hearing will be held to receive public input on the following matters:

1. An Ordinance to amend Section 17.19. of the Cheboygan County Zoning Ordinance No. 200 to provide content neutral definitions, regulations and standards for Signs.
2. David Bona, Architect - Ann Arbor YMCA - Requests a Special Use Permit for replacement of eleven (11) sleeping cabins at an existing Camp (Sections 9.3.4. and 10.3.2.) The property is located at 9728 West M-68 Highway, Tuscarora Township, parcel #161-016-300-001-00 and is zoned Agriculture and Forestry Management (M-AF) and Lake and Stream Protection (P-LS).
3. Scott Hassler - Chuck Robiadek (Robiadek & Sons Excavating) - Requests a Special Use Permit for Indoor storage facilities (Sections 6.3.16. and 9.3.24.) The property is located at 750 Indian Trail Road, Inverness Township, parcel #091-024-100-012-00 and is zoned Agriculture and Forestry Management (M-AF) and Commercial Development (D-CM).

Please visit the Planning and Zoning office or visit our website to see the proposed applications, associated drawings, staff reports and documents. These documents may be viewed at www.cheboygancounty.net/planning/. Comments, questions, and correspondence may be sent to planning@cheboygancounty.net or Planning & Zoning Department, PO Box 70, 870 South Main St., Rm. 103, Cheboygan, MI 49721, or presented at the meeting.

Persons with disabilities needing accommodations for effective participation in the public hearing should contact the Community Development Director at the above address one week in advance to request mobility, visual, hearing or other assistance.



CHEBOYGAN COUNTY PLANNING & ZONING DEPARTMENT

870 S. MAIN ST., RM. 103 ■ PO BOX 70 ■ CHEBOYGAN, MI 49721
PHONE: (231)627-8489 ■ FAX: (231)627-3646

PROPERTY LOCATION

<i>Address</i> 9928 HIGHWAY M-68 + 9725 m-68	<i>City / Village</i> BURT LAKE	<i>Twp / Sec.</i> TUSCARORA 16	<i>Zoning District</i> LAKE & STREAM PROTECTION
<i>Property Tax I.D. Number</i> 161-016-300-001-00	<i>Plat or Condo Name / Lot or Unit No.</i>		P-LS

APPLICANT

<i>Name</i> DAVID BONA	<i>Telephone</i> 734-904-1868	<i>Fax</i> NONE
<i>Address</i> 1100 MIXTWOOD STREET	<i>City, State & Zip</i> ANN ARBOR, MI 48103	<i>E-Mail</i> dbona@davidbonaarchitect.com

OWNER (If different from applicant)

<i>Name</i> ANN ARBOR YMCA (LAURA RAMIREZ)	<i>Telephone</i> 734-661-8054	<i>Fax</i> 734-661-8060
<i>Address</i> 400 WEST WASHINGTON	<i>City, State & Zip</i> ANN ARBOR, MI 48103	<i>E-Mail</i> lramirez@annarborymca.org

PROPOSED WORK

<p><i>Type (check all that apply)</i></p> <table style="width: 100%;"> <tr> <td><input checked="" type="checkbox"/> New Building</td> <td><input type="checkbox"/> Reconstruction</td> </tr> <tr> <td><input type="checkbox"/> Addition</td> <td><input type="checkbox"/> Relocated Building</td> </tr> <tr> <td><input type="checkbox"/> Change in Use or Additional Use</td> <td><input type="checkbox"/> Sign, Type: _____</td> </tr> <tr> <td></td> <td><input type="checkbox"/> Other: _____</td> </tr> </table>	<input checked="" type="checkbox"/> New Building	<input type="checkbox"/> Reconstruction	<input type="checkbox"/> Addition	<input type="checkbox"/> Relocated Building	<input type="checkbox"/> Change in Use or Additional Use	<input type="checkbox"/> Sign, Type: _____		<input type="checkbox"/> Other: _____	<p>Building/Sign Information</p> <p>Overall Length: <u>42' dbl / 16' typ</u> feet</p> <p>Overall Width: <u>24'</u> feet</p> <p>Floor Area: <u>895sf / 384sf typ</u> sq. feet</p> <p>Overall Building Height: <u>16.5'</u> feet</p> <p>Sign Area: _____ sq. feet</p> <p>Sign Height _____ feet</p>
<input checked="" type="checkbox"/> New Building	<input type="checkbox"/> Reconstruction								
<input type="checkbox"/> Addition	<input type="checkbox"/> Relocated Building								
<input type="checkbox"/> Change in Use or Additional Use	<input type="checkbox"/> Sign, Type: _____								
	<input type="checkbox"/> Other: _____								

PROPOSED USE (check all that apply)

<input type="checkbox"/> Single-Family Residence	<input type="checkbox"/> Expansion / Addition	<input type="checkbox"/> Office	<input type="checkbox"/> Agricultural
<input type="checkbox"/> Duplex	<input type="checkbox"/> Garage or Accessory	<input type="checkbox"/> Commercial	<input type="checkbox"/> Institutional
<input type="checkbox"/> Multi-Family, # of units ____	<input type="checkbox"/> Storage	<input type="checkbox"/> Industrial	<input type="checkbox"/> Utility
			<input checked="" type="checkbox"/> Other: <u>CAMP BUILDING</u>

Has there been a Site Plan or Special Use Permit approved for this parcel before? YES NO

If YES, date of approval: JULY 2016 Approved Use: REPLACEMENT OF ROWE HALL

Directions to site: ENTRY DRIVE @ 9928 HIGHWAY M-68

SPECIAL LAND USE PERMIT APPLICATION



CHEBOYGAN COUNTY PLANNING & ZONING DEPARTMENT

870 S. MAIN ST., RM. 103 ■ PO BOX 70 ■ CHEBOYGAN, MI 49721
PHONE: (231)627-8489 ■ FAX: (231)627-3646

1. Describe all anticipated activities (e.g. type of business, hours of operation, number of employees, etc). Attach additional sheets if needed.
 New buildings at summer camp replace dilapidated Girls' Cabins; open annually from 6/1 through 8/30.
 Seasonal buildings only (not heated). Buildings used for sleeping quarters. Two 'double cabins' / Nine single cabins. Building to serve camp residents ONLY.

Site Plan Standards.

PLEASE EXPLAIN HOW YOUR REQUEST MEETS EACH OF THE FOLLOWING STANDARDS

- a. The site plan shall be designed so that there is a limited amount of change in the overall natural contours of the site and shall minimize reshaping in favor of designing the project to respect existing features of the site in relation to topography, the size and type of the lot, the character of adjoining property and the type and size of buildings. The site shall be developed so as not to impede the normal and orderly development or improvement of surrounding property for uses permitted in this Ordinance.
 No natural contour disruption -- buildings central to very large site, therefore impact to adjoining properties is extremely limited if at all.
- b. The landscape shall be preserved in its natural state, insofar as practical, by minimizing tree and soil removal, and by topographic modifications which result in smooth natural appearing slopes as opposed to abrupt changes in grade between the project and adjacent areas.
 No trees to be removed. Surrounding site to return to natural state.
- c. Special attention shall be given to proper site drainage so that removal of storm waters will not adversely affect neighboring properties.
 Site drainage to be contained on site -- no impact to neighboring properties.
- d. The site plan shall provide reasonable, visual and sound privacy for all dwelling units located therein. Fences, walls, barriers and landscaping shall be used, as appropriate, for the protection and enhancement of property and for the privacy of its occupants.
 Due to the scale of the camp property, this is unnecessary.
- e. All buildings or groups of buildings should be so arranged as to permit emergency vehicle access by some practical means.
 No change proposed to the camp existing emergency vehicle access.
- f. Every structure or dwelling unit shall have access to a public street, walkway or other area dedicated to common use.
 The proposed buildings are central to the camp property.
- g. For subdivision plats and subdivision condominiums, there shall be a pedestrian circulation system as approved by the Planning Commission.
 Not applicable
- h. Exterior lighting shall be arranged as follows:
 - i. It is deflected away from adjacent properties. All downlighting.
 - ii. It does not impede the vision of traffic along adjacent streets. Not applicable.
 - iii. It does not unnecessarily illuminate night skies. All downlighting.

SPECIAL LAND USE PERMIT APPLICATION



CHEBOYGAN COUNTY PLANNING & ZONING DEPARTMENT

870 S. MAIN ST., RM. 103 ■ PO BOX 70 ■ CHEBOYGAN, MI 49721
PHONE: (231)627-8489 ■ FAX: (231)627-3646

SPECIAL LAND USE PERMIT APPLICATION

- i. The arrangement of public or common ways for vehicular and pedestrian circulation shall respect the pattern of existing or planned streets and pedestrian or bicycle pathways in the area. Streets and drives which are part of an existing or planned street pattern which serves adjacent development shall be of a width appropriate to the traffic volume they will carry and shall have a dedicated right-of-way equal to that specified in the Master Plan.

Not applicable -- the new buildings are internal to a large summer camp property.

- j. Site plans shall conform to all applicable requirements of state and federal statutes and the Cheboygan County Master Plan, and approval may be conditioned on the applicant receiving necessary state and federal permits.

Acknowledged.

3. Size of property in sq. ft. or acres: 115 (+)

4. Present use of property:
Summer camp.

5. SUP Standards:

- a. Is the property located in a zoning district in which the proposed special land use is allowed?
Yes, pursuant to Section 10.3.2, camps and recreational use.

b. Will the proposed special land use involve uses, activities, processes, materials, or equipment that will create a substantially negative impact on the natural resources of the County or the natural environment as a whole? **Explain.** No.

c. Will the proposed special land use involve uses, activities, processes, materials, or equipment that will create a substantially negative impact on other conforming properties in the area by reason of traffic, noise, smoke, fumes, glare, odors, or the accumulation of scrap material that can be seen from any public highway or seen from any adjoining land owned by another person? **Explain.** No.

d. Will the proposed special land use be designed, constructed, operated, and maintained so as not to diminish the opportunity for surrounding properties to be used and developed as zoned? **Explain.** Yes.

e. Will the proposed special land use place demands on fire, police, or other public resources in excess of current capacity? **Explain.**
Very unlikely.

f. Will the proposed special land use be adequately served by public or private streets, water and sewer facilities, and refuse collection and disposal services? **Explain.** Yes.

Proposed buildings not supplied with H2O or septic. Refuse collection adequate per existing.

CHEBOYGAN COUNTY PLANNING & ZONING DEPARTMENT



870 S. MAIN ST., RM. 103 ■ PO BOX 70 ■ CHEBOYGAN, MI 49721
PHONE: (231)627-8489 ■ FAX: (231)627-3646

SPECIAL LAND USE PERMIT APPLICATION

- g. Will the proposed special land use comply with all specific standards required under this Ordinance applicable to it (i.e. parking, setbacks, etc)? ^{Yes.} _____
6. Does the proposed use of the property include or involve either:
- Junk or salvage yard (Section 3.6) YES NO
 - Mineral extraction (Section 17.17) YES NO
- If YES, this application must include a written plan as described in the Zoning Ordinance.*
7. Attach a copy of Warranty Deed or other proof of ownership.
8. Attach a copy of certified Property Survey or dimensioned property land plat.

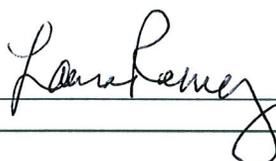
AFFIDAVIT

The undersigned affirms that the information and plans submitted in this application are true and correct to the best of the undersigned's knowledge.

Applicant's Signature  Date 06.15.2017

Does the property owner give permission for County zoning officials to enter his or her property for inspection purposes?

Yes No

Owner's Signature  Date 06.15.2016

FOR PLANNING / ZONING DEPT. USE ONLY

Date Received:	6/19/17	Notes:
Fee Amount Received:	\$110.00	
Receipt Number:	5674	
Public Hearing Date:	7/19/17	
Planning/Zoning Administrator Approval:		
 _____ Signature	_____ Date	6/19/17

SPECIAL LAND USE PERMIT APPLICATION

SITE PLAN REQUIREMENT CHECKLIST

(TO BE SUBMITTED WITH APPLICATION AND SITE PLAN)

ALL ITEMS LISTED BELOW MUST BE SUBMITTED IN ORDER FOR THIS APPLICATION TO BE DEEMED COMPLETE. INCOMPLETE APPLICATIONS WILL NOT BE REVIEWED OR PROCESSED. EACH SITE PLAN SHALL DEPICT THE ITEMS LISTED BELOW, EXCEPT FOR THOSE ITEMS DETERMINED DURING THE PRE-APPLICATION CONFERENCE TO NOT BE APPLICABLE.

PLACE A CHECK MARK NEXT TO EACH REQUIREMENT TO SHOW THAT THE INFORMATION HAS BEEN SUPPLIED OR THAT A WAIVER IS BEING REQUESTED. IF A WAIVER IS BEING REQUESTED PLEASE NOTE ON THE NEXT PAGE THE REASON FOR THE WAIVER. SIGN AND DATE THIS CHECKLIST WHEN ALL ITEMS HAVE BEEN COMPLETED. PLEASE SUBMIT THIS CHECKLIST WITH YOUR APPLICATION.

INFORMATION SUPPLIED	WAIVER REQUESTED	REQUIREMENT
X		a. North arrow, scale and date of original submittal and last revision. Site plan is to be drawn at a scale of 1 inch = 100ft. or less.
X		b. Seal of the registered engineer, architect, landscape architect, surveyor, planner, or other site plan preparer. Location of proposed and/or existing property lines, dimensions, legal descriptions, setback lines and monument locations.
X		c. Location of existing and proposed public roads, rights-of-way and private easements of record and abutting streets.
X		d. Topography at maximum five foot intervals or appropriate topographic elevations to accurately represent existing and proposed grades and drainage flows.
X		e. Location and elevations of existing water courses and water bodies, including county drains and man-made surface drainage ways, stormwater controls, flood plains, and wetlands.
X		f. Location of existing and proposed buildings and intended uses thereof.
X		g. Details of entryway and sign locations should be separately depicted with an elevation view.
X		h. Location, design, and dimensions of existing and/or proposed curbing, barrier free access, carports, parking areas (including indication of all spaces and method of surfacing), fire lanes and all lighting thereof.
X		i. Location, size, and characteristics of all loading and unloading areas.
X		j. Location and design of all sidewalks, walkways, bicycle paths and areas for public use as approved by the Planning Commission.
X		k. Location of all other utilities on the site including but not limited to wells, septic systems, stormwater controls, natural gas, electric, cable TV, telephone and steam and proposed utility easements.
X		l. Proposed location, dimensions and details of common open spaces and common facilities such as community buildings or swimming pools if applicable.

SPECIAL LAND USE PERMIT APPLICATION

SITE PLAN REQUIREMENT CHECKLIST

(TO BE SUBMITTED WITH APPLICATION AND SITE PLAN)

INFORMATION SUPPLIED	WAIVER REQUESTED	REQUIREMENT
X		m. Location and specifications for all fences, walls, and other screening features.
X		n. Location and specifications for all existing and proposed perimeter and internal landscaping and other buffering features.
X		o. Exterior lighting locations with area of illumination illustrated as well as the type of fixtures and shielding to be used.
X		p. Location, size and specifications for screening of all trash receptacles and other solid waste disposal facilities.
X		q. Elevation drawing(s) for proposed commercial and industrial structures.
X		r. Location and specifications for any existing or proposed above or below ground storage facilities for any chemicals, salts, flammable materials, or hazardous materials as well
X		s. Floor plans, when needed to determine the number of parking spaces required.

PLEASE LIST THE REQUIREMENT FOR WHICH A WAIVER IS BEING REQUESTED. ALSO PROVIDE AN EXPLANATION/REASON FOR THE WAIVER REQUEST.

SECTION

REASON FOR WAIVER REQUEST

AFFIDAVIT

I CERTIFY THAT ALL SITE PLAN REQUIREMENTS (A THROUGH S) ARE DRAWN ON THE SITE PLAN, ATTACHED TO THIS APPLICATION AND/OR I AM REQUESTING A WAIVER. I CERTIFY THAT ALL INFORMATION AND DATA ATTACHED TO AND MADE PART OF THIS SPECIAL LAND USE PERMIT APPLICATION ARE TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE.


DAVID BONA . ARCHITECT.

06.15.2017

SIGNATURE

DATE

161-016-100-021-01
MULLEN, THOMAS M
47689 E ANCHOR CT
PLYMOUTH, MI 48170

161-016-100-022-02
MATESKON, CHARLES & JOAN H/W
8774 CROOKED SLICK CT
LONE TREE, CO 80124

161-016-100-023-02
PRUITT, AGNES A
101 CITADEL CT
NORTH WALES, PA 19454

161-016-100-023-03
OMALLEY, MARGARET P L/EWPTS
PO BOX 4207
BURT LAKE, MI 49717

161-016-100-024-00
MULLEN, THOMAS M 50% & MARGARET
PO BOX 4207
BURT LAKE, MI 49717

161-016-300-001-00
YMCA & YWCA
300 W WASHINGTON
ANN ARBOR, MI 48104

161-016-300-001-01
RUNDELL, KERMIT & JANE H/W
9999 W M-68
ALANSON, MI 49706

161-016-300-004-00
YMCA & YWCA
300 W WASHINGTON
ANN ARBOR, MI 48104

161-017-200-005-00
BURT LAKE COTTAGES ASSOC, THE
PO BOX 237
BURT LAKE, MI 49717

161-017-400-004-00
STRATEGIS SYSTEMS, LLC
PO BOX 405
CHEBOYGAN, MI 49721

161-017-400-007-00
DEVORE, LYNN & EUNICE TEEL, JTWFRS
PO BOX 4175
BURT LAKE, MI 49717

161-017-400-008-03
PETRO, NOELLE
10100 ROGERS RD
ALANSON, MI 0

161-017-400-008-04
FISHER, RYAN & DRUSILLA SCHMAN
10046 ROGERS RD
ALANSON, MI 49706

161-017-414-136-00
VORAC, NICHOLAS A
2864 RESORT RD
ALANSON, MI 49706

161-017-414-140-00
CANFIELD, AMANDA MARIE
2884 RESORT RD
ALANSON, MI 49706

161-021-100-001-00
YMCA & YWCA
300 W WASHINGTON
ANN ARBOR, MI 48104

161-021-100-002-00
HONEYSETTE, JAMES
9907 W M 68
ALANSON, MI 49706

161-021-102-011-01
ROMANIK, RICHARD A
7179 WILBE ST
INDIAN RIVER, MI 49749

161-021-102-011-02
KELSO, LISA R
9950 W M-68
ALANSON, MI 49706

161-021-104-031-00
WELCH, RANDALL & MARILYN H/W
9875 W M-68 HWY
ALANSON, MI 0

161-A01-000-001-00
BREY, JOSHUA & EMILY H/W
9799 ROGERS RD
ALANSON, MI 49706

161-A01-000-002-00
PEASE, EUGENE
9783 ROGERS RD
ALANSON, MI 49706

161-A01-000-003-00
ELANDT, ARTHUR & HEATHER ELANDT
9755 ROGERS RD
ALANSON, MI 49706

161-V84-000-021-00
ANN ARBOR Y
350 S FIFTH AVE
ANN ARBOR, MI 48108

161-016-100-021-01
OCCUPANT
2417 RESORT RD
BURT LAKE, MI 49749

161-016-100-022-02
OCCUPANT
2511 RESORT RD
BURT LAKE, MI 49749

161-016-100-023-03
OCCUPANT
2557 RESORT RD
BURT LAKE, MI 49749

161-016-100-024-00
OCCUPANT
2501 RESORT RD
ALANSON, MI 49749

161-016-300-001-00
OCCUPANT
9728 W M-68 HWY
ALANSON, MI 49749

161-016-300-001-01
OCCUPANT
9999 W M-68 HWY
ALANSON, MI 49749

161-016-300-004-00
OCCUPANT
9730 ROGERS RD
ALANSON, MI 49749

161-017-400-004-00
OCCUPANT
2700 RESORT RD
ALANSON, MI 49749

161-017-400-007-00
OCCUPANT
2760 RESORT RD
ALANSON, MI 49749

161-017-400-008-03
OCCUPANT
10100 ROGERS RD
ALANSON, MI 49749

161-017-400-008-04
OCCUPANT
10046 ROGERS RD
ALANSON, MI 49749

161-017-414-136-00
OCCUPANT
2864 RESORT RD
ALANSON, MI 49749

161-017-414-140-00
OCCUPANT
2884 RESORT RD
ALANSON, MI 49749

161-021-100-002-00
OCCUPANT
9907 W M 68 HWY
ALANSON, MI 49749

161-021-102-011-02
OCCUPANT
9950 W M-68 HWY
ALANSON, MI 49749

161-021-104-031-00
OCCUPANT
9875 W M-68 HWY
ALANSON, MI 49749

161-A01-000-001-00
OCCUPANT
9799 ROGERS RD
ALANSON, MI 49749

161-A01-000-002-00
OCCUPANT
9783 ROGERS RD
ALANSON, MI 49749

161-A01-000-003-00
OCCUPANT
9755 ROGERS RD
ALANSON, MI 49749

161-V84-000-021-00
OCCUPANT
9658 ROGERS RD
ALANSON, MI 49749

AGQ GIRLS' CABINS

ANN ARBOR YMCA CAMP AL-GON-QUIAN @ BURT LAKE, MICHIGAN

ARCHITECT:
 DAVID BONA ENTERPRISES, INC.
 DBA
DAVID BONA ARCHITECT
 1100 MIXTWOOD STREET
 ANN ARBOR, MICHIGAN 48103
 734.904.1868
 734.426.8300 FAX
 WWW.DAVIDBONAARCHITECT.COM
 DAVID BONA, RA, NCARB
 MICHIGAN LICENSE #1301032499
 DBONA@DAVIDBONAARCHITECT.COM

CODE DATA

CODE:	MICHIGAN 2015
USE GROUP:	R-1 RESIDENTIAL
CONSTRUCTION TYPE:	5B
FIRE SUPPRESSION:	NOT REQUIRED
FIRE/SMOKE ALARMS:	SEE NOTES @ PLANS
AREA ALLOWED:	7000 SF
AREA PROPOSED - SINGLE CABIN:	384 SF
INTERIOR AREA - SINGLE CABIN:	361 SF
AREA PROPOSED - DOUBLE CABIN:	895 SF
INTERIOR AREA - DOUBLE CABIN:	843 SF
HEIGHT ALLOWED:	2 STORIES / 40 FT
HEIGHT PROPOSED:	1 STORY / 15 FT (+/-)

DAVID BONA • ARCHITECT
 1100 MIXTWOOD STREET
 ANN ARBOR, MICHIGAN 48103
 734.904.1868

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ISSUE DESCRIPTION:
 04.26.2017
 BIDS
 06.14.2017
 SLUP APPLICATION

ISSUED FOR:
 REVIEW:
 PRICING:
 PERMITS:
 BIDS:
 CONSTRUCTION:

PROJECT NAME:
 GIRLS' CABINS
 CAMP ALGONQUIAN - BURT LAKE
SHEET TITLE:
 SITE PLANS / TITLE SHEET / CODE DATA

DRAWN:
 DB
SCALE:
 AS SHOWN
DATE:
 14 JUNE 2017

PROJECT NUMBER:
 DB1419
SHEET:

S1.0



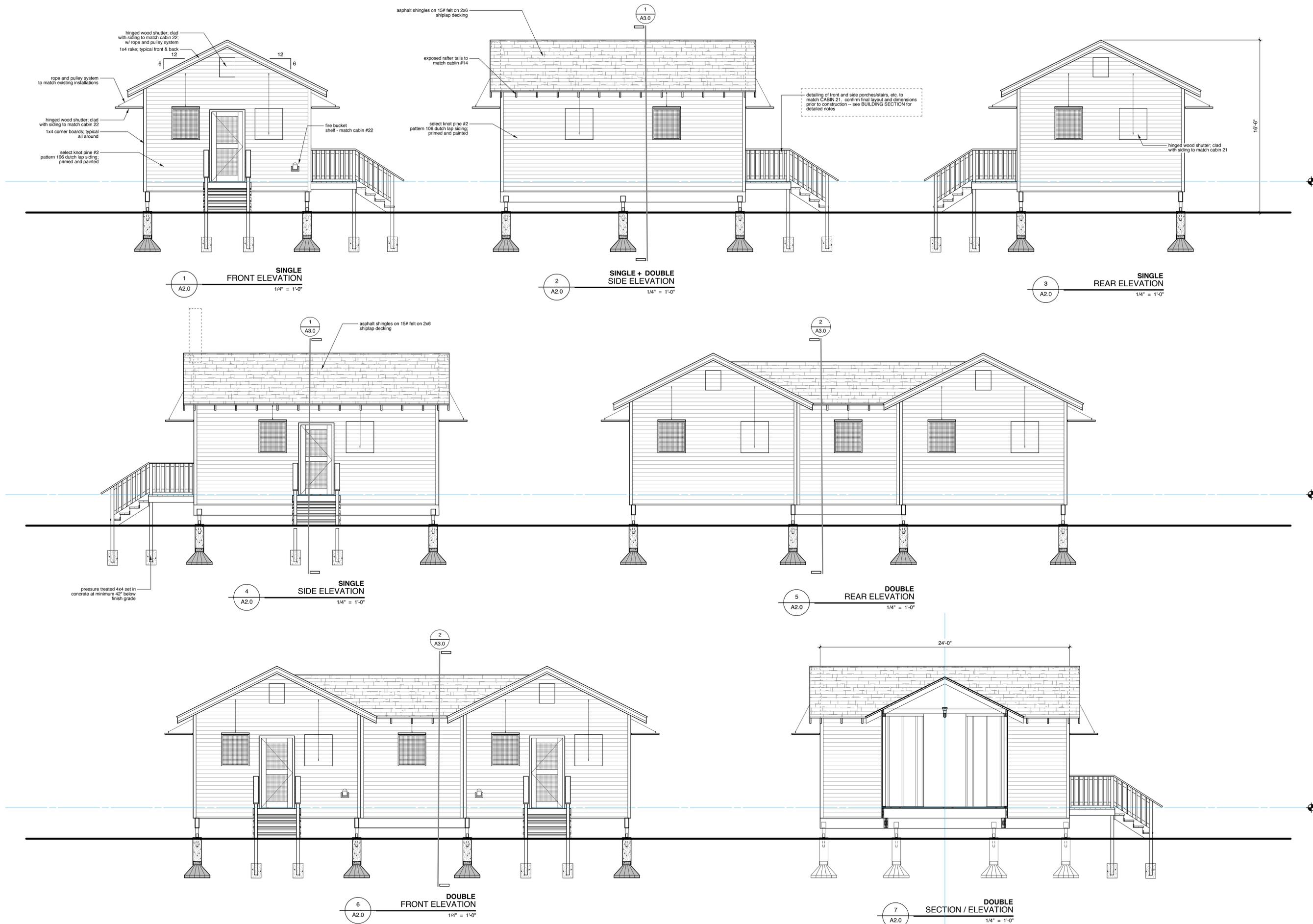
1
 S1.0
OVERALL SITE PLAN
 1" = 200'-0"
 NORTH



2
 S1.0
CABIN DEMOLITION PLAN
 1" = 50'-0"
 NORTH



3
 S1.0
DETAILED SITE PLAN
 1" = 50'-0"
 NORTH



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 1100 MAYWOOD STREET
 ANN ARBOR, MICHIGAN 48103
 734.904.1868

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ISSUE DESCRIPTION:
 04.26.2017
 BIDS
 06.14.2017
 SLUP APPLICATION

ISSUED FOR:

REVIEW:
 PRICING:
 PERMITS:
 BIDS:
 CONSTRUCTION:

PROJECT NAME:
GIRLS' CABINS
 CAMP ALGONQUIAN - BURT LAKE
 INDIAN RIVER, MICHIGAN
SHEET TITLE:
 EXTERIOR ELEVATIONS

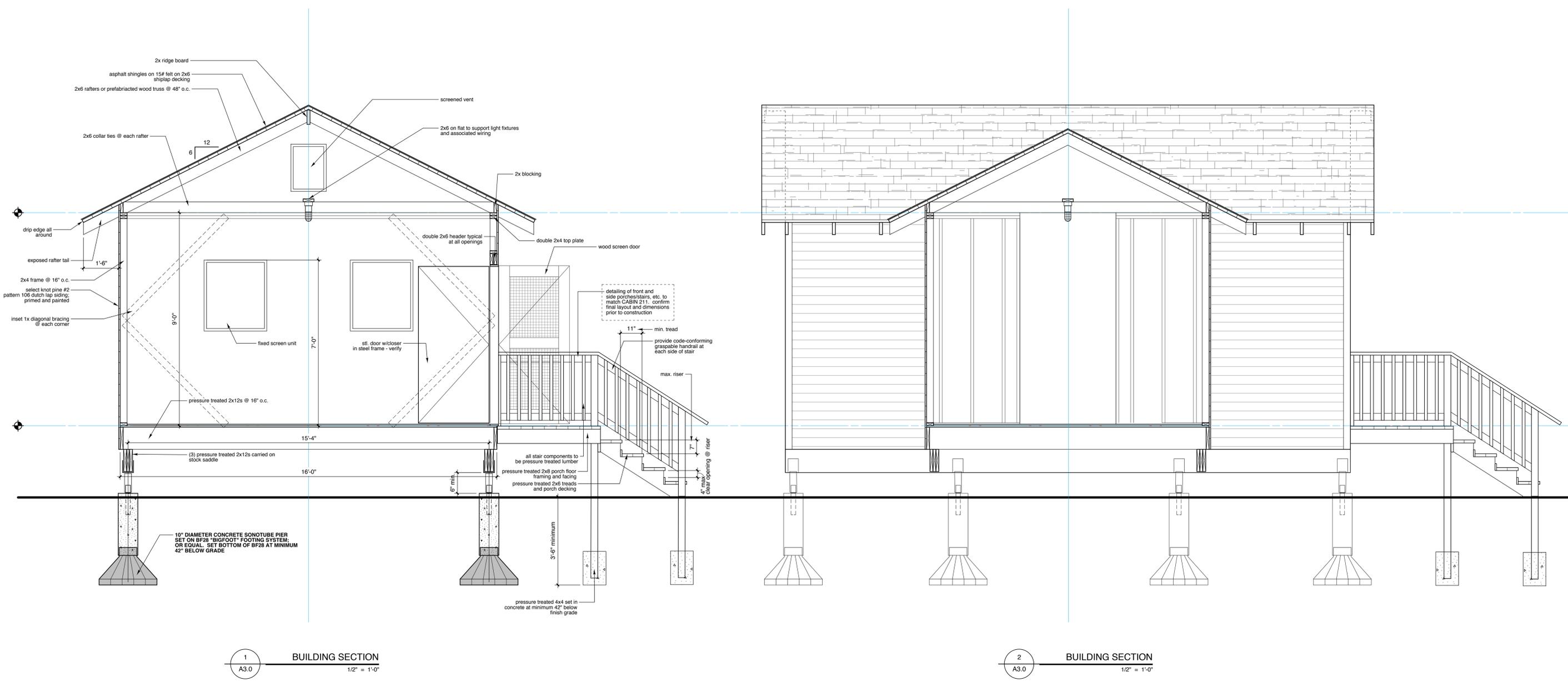
DRAWN:
 DB

SCALE:
 AS SHOWN

DATE:
 14 JUNE 2017

PROJECT NUMBER:
 DB1419

SHEET:
A2.0



1 BUILDING SECTION
 A3.0 1/2" = 1'-0"

2 BUILDING SECTION
 A3.0 1/2" = 1'-0"

Deborah Tomlinson

From: Dave Carpenter [<mailto:dpcarpenter@voyager.net>]

Sent: Monday, July 03, 2017 9:08 AM

To: Deborah Tomlinson

Subject: Re: Applications for YMCA - 07/19/17 PC Mtg.

Good Morning Deb,

I don't see any major issues with regards to the Fire Department, If you have any questions please feel free to contact me at my office.

Respectfully,

David Carpenter
Fire Chief

Deborah Tomlinson

From: Brent Shank <mgr@chcrc.com>
Sent: Monday, July 03, 2017 6:35 AM
To: Deborah Tomlinson
Subject: Re: Applications for YMCA & Scott Hassler - 07/19/17 PC Mtg.

Debbie,

No comments from the Road Commission.

Thank you,

Brent Shank
Engineer/Manager
Cheboygan County Road Commission
mgr@chcrc.com
(231) 238-7775

From: Deborah Tomlinson
Sent: Friday, June 30, 2017 2:32 PM
To: manager
Subject: Applications for YMCA & Scott Hassler - 07/19/17 PC Mtg.

Hi Brent,

The following is a link to applications for Scott Hassler and YMCA: <http://www.cheboygancounty.net/current-applications-in-review-359/> . These applications will be reviewed at the 07/19/17 Planning Commission meeting. Please review these applications and call me or e-mail me if you have any questions or comments. Thank you!!!

Debbie

Debbie Tomlinson
Cheboygan County
Community Development Department
PO Box 70, 870 South Main Street
Cheboygan, MI 49721
(231)627-8489 phone
(231)627-3646 fax
debbiet@cheboygancounty.net



CHEBOYGAN COUNTY COMMUNITY DEVELOPMENT DEPARTMENT

CHEBOYGAN COUNTY BUILDING ■ 870 S. MAIN STREET, PO BOX 70 ■ CHEBOYGAN, MI 49721
PHONE: (231)627-8489 ■ FAX: (231)627-3646
www.cheboygancounty.net/planning/

STAFF REPORT

Item: Ann Arbor YMCA. Amendment to Special Use Permit for replacement of 11 sleeping cabins.	Prepared by: Scott McNeil
Date: June 26, 2017	Expected Meeting Date: July 19, 2017

GENERAL INFORMATION

Applicant: David Bona, Architect

Owner: Ann Arbor YMCA

Contact person: David Bona

Phone: 734-904-1868

Requested Action:

Approve an amendment to a special use permit to replace 11 sleeping cabins.

BACKGROUND INFORMATION

The applicant is seeking an amendment to a special use permit to replace 11 sleeping cabins.

The subject site is currently used as a youth camp. The current zoning of the subject property is Lake and Stream Protection District (P-LS) within 500 feet of the highwater mark of Burt Lake and Agriculture and Forestry Management District (M-AF) beyond 500 feet from the highwater mark. The subject site contains approximately 100 acres and 1,000 lineal feet of frontage on Burt Lake. Camps are a use requiring a special use permit in a P-LS district per section 10.3.2. The sleeping cabins are proposed in the P-LS zoned portion of the site in the same area as the existing sleeping cabins exist.

The Planning Commission approved the original special use permit for the current use on October 4, 2006 and approved an amendment for new bath house on October 16, 2013, an amendment for an accessory clinic building on July 15, 2015 and an amendment for an assembly and camp store building on July 6, 2016.

Current Zoning

The current zoning is Lake and Stream Protection District (P-LS) within 500 feet of the shore, and Agriculture and forestry Management District (M-AF) beyond 500 feet from shore.

Surrounding Land Uses

The site is surrounded by residential land uses.

Environmentally Sensitive Areas: (steep slopes, wetlands, woodlands, stream corridor, floodplain) The subject property is located on Burt Lake. No other sensitive areas have been identified.

Historic buildings/features

There are no known historic buildings or features.

Traffic implications

The clinic will be used by camp residents only and will have no impact on traffic.

Parking

No change in parking is proposed. There is no parking standard in the zoning ordinance for camps. The Planning Commission will need make an adequate parking determination per section 17.4.1.

Access and street design: (secondary access, pedestrian access, sidewalks, residential buffer, ROW width, access to adjacent properties)

Ingress and egress is provided by existing roadways to the camp from M-68 and Rogers Rd.

Signs:

There are no changes to signage or additional signage proposed.

Fence/Hedge/Buffer:

There are no changes in fencing being proposed.

Lighting:

No new lighting is proposed.

Stormwater management:

No changes to stormwater management is proposed. A permit under the Cheboygan County Soil Sedimentation and Storm Water Control ordinance will be required.

Review or permits received from other government entities:

Permit by the Department of Building Safety and a permit under the Cheboygan County Soil Sedimentation and Storm Water Control ordinance will be required.

Other Public Comments

None

Recommended Conditions:

Acquire permits from Department of Building Safety and Soil Erosion Officer.

CHEBOYGAN COUNTY PLANNING COMMISSION

SPECIAL USE PERMIT REQUEST

Wednesday, July 19, 2017 7:00 PM

Applicant

David Bona, Architect.
1100 Mixtwood St.
Ann Arbor, Mi. 48103

Owner

Ann Arbor YMCA
400 W. Washington
Ann Arbor, Mi 49749

Parcel

9728 M-68
Tuscarora Township
161-016-300-001-00

GENERAL FINDINGS

1. The property is located in the Lake and Stream Protection District (P-LS), within 500' of the Burt Lake and in the Agriculture and Forestry Management (M-AF) district elsewhere.
2. The current use as a camp is allowed by Special Land Use Permit in a P-LS zoning district per section 10.3.2.
3. The applicant is seeking to replace eleven (11) sleeping cabins in their current location for use by camp residents only.
4. The Planning Commission Approved a special use permit for a camp on October 4, 2006.
5. The Planning Commission Approved an amendment to the special use permit to replace a bathhouse on October 13, 2013.
6. The Planning Commission approved amendment to a special use permit to construct a 26 ft. x 44 ft. clinic to serve camp residents only on July 15, 2015.
7. The Planning Commission approved an amendment to a special use permit to replace an assembly and camp store structure with a new structure for the same use which measures 106 ft. x 46 ft. assembly
- 8.

FINDINGS OF FACT UNDER SECTION 18.7 OF THE ZONING ORDINANCE

The Planning Commission makes the following findings of fact as required by section 18.7 of the Zoning Ordinance for each of the following standards listed in that section:

- a. The property subject to the application is located in a zoning district in which the proposed special land use is allowed.
 1. The subject portion of the site is located in the P-LS district which allows campgrounds, camps and clubs with a special land use permit per section 10.3.2. (see exhibit 6)
 - 2.
 3. Standard has been metOr
 - 1.
 2. Standard has not been met.
- b. The proposed special land use will not involve uses, activities, processes, materials, or equipment that will create a substantially negative impact on the natural resources of the County or the natural environment as a whole.
 1. Replacing eleven (11) sleeping cabins for use by camp residents only will not involve uses, activities, processes, materials, or equipment that would create a substantially negative impact on the County's natural resources or natural environment. This use would be compatible with the surrounding land uses.
 - 2.
 3. Standard has been met.Or
 - 1.

2. Standard has not been met.
- c. The proposed special land use will not involve uses, activities, processes, materials, or equipment, or hours of operation that will create a substantially negative impact on other conforming properties in the area by reason of traffic, noise, smoke, fumes, glare, odors, or the accumulation of scrap material that can be seen from any public or private highway or seen from any adjoining land owned by another person.
 1. The applicant proposes to replace eleven (11) sleeping cabins. (see exhibits 4 and 6)
 2. The eleven (11) sleeping cabins will be for the use of camp residents only and will not involve equipment or processes which would generate noise or traffic which is incompatible with the surrounding land uses. No smoke, glare, fumes, or odors would be produced. .
 - 1.
 - 2.
 3. Standard has been met.

Or

 - 1.
 2. Standard has not been met.
- d. The proposed special land use will be designed, constructed, operated, and maintained so as not to diminish the opportunity for surrounding properties to be used and developed as zoned.
 1. The proposed use will be operated and maintained as a camp.
 2. Replacement of eleven (11) sleeping cabins for use by camp residents only will not diminish the opportunities for surrounding properties to develop as zoned. (see exhibit 4 and 6)
 - 3.
 4. Standard has been met.

Or

 - 1.
 2. Standard has not been met
- e. The proposed special land use will not place demands on fire, police, or other public resources in excess of current capacity nor increase hazards from fire or other dangers to the subject property or adjacent properties.
 1. Replacing eleven (11) sleeping cabins for use by camp residents only for use by camp residents only will not place additional demands on police or other public resources in excess of current capacity. (see exhibits 4 and 6)
 - 2.
 3. Standard has been met.

Or

 - 1.
 2. Standard has not been met.
- f. The proposed special land use shall not increase traffic hazards or cause congestion on the public or private highways and streets of the area in excess of current capacity. Adequate access to the site shall be furnished either by existing roads and highways or proposed roads and highways. Minor residential streets shall not be used to serve as access to uses having larger area-wide patronage. Signs, buildings, plantings, or other elements of the proposed project shall not interfere with driver visibility or safe vehicle operation. Entrance drives to the use and to off-street parking areas shall be no less than 25 feet from a street intersection (measured from the road right-of-way) or from the boundary of a different zoning district.
 1. Adequate access to the site is provided by a roadway from M-68 and Rogers Rd. (see exhibit 6)
 2. Replacing eleven (11) sleeping cabins for use by camp residents only at an existing camp will not increase traffic hazards or cause congestion on the public or private highways and streets of the area in excess of current capacity.
 - 3.
 4. Standard has been met

Or

 - 1.
 3. Standard has not been met.

- g. The proposed special land use will be adequately served by water and sewer facilities, and refuse collection and disposal services.
 - 1. The site is adequately served by on-site water and sewer facilities as well as refuse collection and disposal. (see exhibit 4)
 - 2.
 - 3. Standard has been met.
 Or
 - 1.
 - 2. Standard has not been met

- h. The proposed special land use will comply with all specific standards required under this Ordinance applicable to it.
 - 1. The special land use complies with all relevant standards required under the ordinance.
 - 2.
 - 3. Standard has been met
 Or
 - 1.
 - 2. Standard has not been met

SPECIFIC FINDINGS OF FACT UNDER SECTION 20.10 OF THE ZONING ORDINANCE

The Planning Commission makes the following findings of fact as required by section 20.10 of the Zoning Ordinance for each of the following standards listed in that section:

- a. The site plan shall be designed so that there is a limited amount of change in the overall natural contours of the site and shall minimize reshaping in favor of designing the project to respect existing features of the site in relation to topography, the size and type of the lot, the character of adjoining property and the type and size of buildings. The site shall be developed so as not to impede the normal and orderly development or improvement of surrounding property for uses permitted in this Ordinance.
 - 1. The topography of the site will not be changed. (see exhibit 4)
 - 2.
 - 3. Standard has been met.
 Or.
 - 1.
 - 2. Standard has not been met.

- b. The landscape shall be preserved in its natural state, insofar as practical, by minimizing tree and soil removal, and by topographic modifications which result in smooth natural appearing slopes as opposed to abrupt changes in grade between the project and adjacent areas.
 - 1. No changes to the topography. (see exhibit 4)
 - 2. No tree removal is proposed. (see exhibit 4)
 - 3. Soil removal will be minimal. (see exhibit 4)
 - 4.
 - 5. Standard has been met.
 Or.
 - 1.
 - 2. Standard has not been met.

- c. Special attention shall be given to proper site drainage so that removal of storm waters will not adversely affect neighboring properties.
 - 1. No changes to removal of storm water are proposed. (see exhibit 4)
 - 2.
 - 3. Standard has been met.
 Or

- 1.
 2. Standard has not been met.
- d. The site plan shall provide reasonable, visual and sound privacy for all dwelling units located therein. Fences, walls, barriers and landscaping shall be used, as appropriate, for the protection and enhancement of property and for the privacy of its occupants.
1. Not applicable. No dwelling units are proposed.
- e. All buildings or groups of buildings should be so arranged as to permit emergency vehicle access by some practical means.
1. The site plan provides full access by emergency vehicles to all structures. (see exhibit 6)
 - 2.
 3. Standard has been met
- Or
- 1.
 2. Standard has not been met.
- f. Every structure or dwelling unit shall have access to a public street, walkway or other area dedicated to common use.
1. Access to the public street would be maintained by the driveways to M-68 and Rogers Rd. (see exhibit 6)
 - 2.
 3. Standard has been met.
- Or
- 1.
 2. Standard has not been met.
- g. For subdivision plats and subdivision condominiums, there shall be a pedestrian circulation system as approved by the Planning Commission.
1. Not applicable. No subdivision plats or subdivision condominiums are proposed.
- h. Exterior lighting shall be arranged as follows: a. It is deflected away from adjacent properties, b. It does not impede the vision of traffic along adjacent streets and c. It does not unnecessarily illuminate night skies.
1. No new exterior lighting is proposed. (see exhibit 4)
 - 2.
 3. Standard has been met.
- Or
- 1.
 2. Standard has not been met.
- i. The arrangement of public or common ways for vehicular and pedestrian circulation shall respect the pattern of existing or planned streets and pedestrian or bicycle pathways in the area. Streets and drives which are part of an existing or planned street pattern which serves adjacent development shall be of a width appropriate to the traffic volume they will carry and shall have a dedicated right-of-way equal to that specified in the Master Plan.
1. Vehicle traffic would continue to use the driveway/private road system and established circulation pattern. Pedestrians and bicyclists also use the internal private road system. (see exhibit 4 and 6)
 - 2.
 3. Standard has been met.
- Or
- 1.
 2. Standard has not been met.

- j. Site plans shall conform to all applicable requirements of state and federal statutes and the Cheboygan County Master Plan, and approval may be conditioned on the applicant receiving necessary state and federal permits.
 - 1. The proposed use conforms with the Cheboygan County Master Plan goals, and meets the provisions of the Zoning Ordinance as an allowable use with a special use permit. (see exhibit 1, 2, 4, and 6)
 - 2.
 - 3. Standard has been met.
- Or
 - 1.
 - 2. Standard has not been met.

DECISION

TIME PERIOD FOR JUDICIAL REVIEW

State law provides that a person having an interest affected by the zoning ordinance may appeal a decision of the Planning Commission to the Circuit Court. Pursuant to MCR 7.101 any appeal must be filed within twenty-one (21) days after this Decision and Order is adopted by the Planning Commission.

DATE DECISION AND ORDER ADOPTED

Wednesday, July 19, 2017

Patty Croft, Chairperson

Charles Freese, Secretary

CHEBOYGAN COUNTY PLANNING COMMISSION

Scott Hassler / Chuck Robiadek – *Revised 07/05/17*

Exhibit List

1. Cheboygan County Zoning Ordinance
2. Cheboygan County Master Plan
3. Notice of Planning Commission Meeting (1 Page)
4. Special Use Permit Application (6 Pages)
5. Real Estate Summary Sheet for Parcel 091-024-100-012-00 (1 Page)
6. Email dated 06/19/17 from Scott Hassler to Scott McNeil (1 Page)
7. Mailing List (2 Pages)
8. Certificate of Survey (2 Pages)
9. Aerial Photo (1 Page)
10. Site Layout Plan (1 Page)
11. Michigan Pole Buildings – New 50' x 106' Storage Building:
 - a. Title Sheet (1 Page)
 - b. Building Plan (1 Page)
 - c. Exterior Elevations (1 Page)
 - d. Wall Section and Building Section (1 Page)
12. Houghton Higgins Lake Storage – New Storage Building:
 - a. Title Sheet (1 Page)
 - b. Floor Plan & Foundation Plan (1 Page)
 - c. Exterior Elevations (1 Page)
 - d. Building Section, Wall Sections & Detail (1 Page)

The following items were added to the exhibit list on 07/05/17

13. Email Dated 07/03/17 From Brent Shank, Cheboygan County Road Commission (1 Page)
- 14.
- 15.
- 16.
- 17.
- 18.

Note: Planning Commission members have exhibits 1 and 2.

CHEBOYGAN COUNTY PLANNING COMMISSION MEETING and PUBLIC HEARING
WEDNESDAY, JULY 19, 2017 AT 7:00 PM
ROOM 135 – COMMISSIONERS ROOM
CHEBOYGAN COUNTY BUILDING, 870 S. MAIN ST., CHEBOYGAN, MI 49721

A Public Hearing will be held to receive public input on the following matters:

1. An Ordinance to amend Section 17.19. of the Cheboygan County Zoning Ordinance No. 200 to provide content neutral definitions, regulations and standards for Signs.
2. **David Bona, Architect - Ann Arbor YMCA** - Requests a Special Use Permit for replacement of eleven (11) sleeping cabins at an existing Camp (Sections 9.3.4. and 10.3.2.) The property is located at 9728 West M-68 Highway, Tuscarora Township, parcel #161-016-300-001-00 and is zoned Agriculture and Forestry Management (M-AF) and Lake and Stream Protection (P-LS).
3. **Scott Hassler - Chuck Robiadek (Robiadek & Sons Excavating)** - Requests a Special Use Permit for Indoor storage facilities (Sections 6.3.16. and 9.3.24.) The property is located at 750 Indian Trail Road, Inverness Township, parcel #091-024-100-012-00 and is zoned Agriculture and Forestry Management (M-AF) and Commercial Development (D-CM).

Please visit the Planning and Zoning office or visit our website to see the proposed applications, associated drawings, staff reports and documents. These documents may be viewed at www.cheboygancounty.net/planning/. Comments, questions, and correspondence may be sent to planning@cheboygancounty.net or Planning & Zoning Department, PO Box 70, 870 South Main St., Rm. 103, Cheboygan, MI 49721, or presented at the meeting.

Persons with disabilities needing accommodations for effective participation in the public hearing should contact the Community Development Director at the above address one week in advance to request mobility, visual, hearing or other assistance.



CHEBOYGAN COUNTY PLANNING & ZONING DEPARTMENT

870 S. MAIN ST., RM. 103 ■ PO BOX 70 ■ CHEBOYGAN, MI 49721
PHONE: (231)627-8489 ■ FAX: (231)627-3646

PROPERTY LOCATION

Address <i>750 Indian Trail Rd</i>	City / Village <i>Cheboygan</i>	Twp / Sec.	Zoning District
Property Tax I.D. Number <i>091-024-100-012-00</i>	Plat or Condo Name / Lot or Unit No.		

APPLICANT

Name <i>Scott Hassler</i>	Telephone <i>517-819-5849</i>	Fax <i>NONE</i>
Address <i>P.O. Box 245</i>	City, State & Zip <i>Higgins Lake, MI 48027</i>	E-Mail <i>S.hassler@att.net</i>

OWNER (If different from applicant)

Name <i>Chuck Robiadek</i>	Telephone <i>420-0363 231-627-4210</i>	Fax <i>231-597-9241</i>
Address <i>12370 N. Nagsville</i>	City, State & Zip <i>CHEBOYGAN MI 49721</i>	E-Mail <i>CCROB187@gmail.com</i>

PROPOSED WORK

<p>Type (check all that apply)</p> <p><input type="checkbox"/> New Building <input type="checkbox"/> Reconstruction</p> <p><input type="checkbox"/> Addition <input type="checkbox"/> Relocated Building</p> <p><input type="checkbox"/> Change in Use or Additional Use <input type="checkbox"/> Sign, Type: _____</p> <p><input checked="" type="checkbox"/> Other: <i>site condo buildings</i></p>	<p>Building/Sign Information <i>See Site Plan</i></p> <p>Overall Length: _____ feet</p> <p>Overall Width: _____ feet</p> <p>Floor Area: _____ sq. feet</p> <p>Overall Building Height: _____ feet</p> <p>Sign Area: _____ sq. feet</p> <p>Sign Height _____ feet</p>
--	---

PROPOSED USE (check all that apply)

<input type="checkbox"/> Single-Family Residence	<input type="checkbox"/> Expansion / Addition	<input type="checkbox"/> Office	<input type="checkbox"/> Agricultural
<input type="checkbox"/> Duplex	<input type="checkbox"/> Garage or Accessory	<input type="checkbox"/> Commercial	<input type="checkbox"/> Institutional
<input type="checkbox"/> Multi-Family, # of units _____	<input checked="" type="checkbox"/> Storage	<input type="checkbox"/> Industrial	<input type="checkbox"/> Utility
<input checked="" type="checkbox"/> Other: <i>site condo</i>			

Has there been a Site Plan or Special Use Permit approved for this parcel before? YES NO

If YES, date of approval: _____ Approved Use: _____

Directions to site: *1/4 mi North of Indian Trail Rd on North Side of North Street Hwy.*

SPECIAL LAND USE PERMIT APPLICATION



CHEBOYGAN COUNTY PLANNING & ZONING DEPARTMENT

870 S. MAIN ST., RM. 103 ■ PO Box 70 ■ CHEBOYGAN, MI 49721
PHONE: (231)627-8489 ■ FAX: (231)627-3646

1. Describe all anticipated activities (e.g. type of business, hours of operation, number of employees, etc). Attach additional sheets if needed.

Storage - for OWNERSHIP AND FOR RENT - NO EMPLOYEES

Site Plan Standards.

PLEASE EXPLAIN HOW YOUR REQUEST MEETS EACH OF THE FOLLOWING STANDARDS

- a. The site plan shall be designed so that there is a limited amount of change in the overall natural contours of the site and shall minimize reshaping in favor of designing the project to respect existing features of the site in relation to topography, the size and type of the lot, the character of adjoining property and the type and size of buildings. The site shall be developed so as not to impede the normal and orderly development or improvement of surrounding property for uses permitted in this Ordinance.

The natural contour of the site will not be changed.

- b. The landscape shall be preserved in its natural state, insofar as practical, by minimizing tree and soil removal, and by topographic modifications which result in smooth natural appearing slopes as opposed to abrupt changes in grade between the project and adjacent areas.

this is considered a reasonably flat building site. Minimal excavation is needed.

- c. Special attention shall be given to proper site drainage so that removal of storm waters will not adversely affect neighboring properties.

The drainage is existing and will not be changed but we will add a catch basin.

- d. The site plan shall provide reasonable, visual and sound privacy for all dwelling units located therein. Fences, walls, barriers and landscaping shall be used, as appropriate, for the protection and enhancement of property and for the privacy of its occupants.

Natural tree barriers to surrounding residences already exist.

- e. All buildings or groups of buildings should be so arranged as to permit emergency vehicle access by some practical means.

Gravel roads with required set backs from buildings will be observed.

- f. Every structure or dwelling unit shall have access to a public street, walkway or other area dedicated to common use.

Gravel roads will be constructed to allow access for each building.

- g. For subdivision plats and subdivision condominiums, there shall be a pedestrian circulation system as approved by the Planning Commission.

see the site condo plan included.

- h. Exterior lighting shall be arranged as follows: will be attached to buildings and pointed downward.

i. It is deflected away from adjacent properties. _____

ii. It does not impede the vision of traffic along adjacent streets. _____

iii. It does not unnecessarily illuminate night skies. _____

SPECIAL LAND USE PERMIT APPLICATION



CHEBOYGAN COUNTY PLANNING & ZONING DEPARTMENT

870 S. MAIN ST., RM. 103 ■ PO Box 70 ■ CHEBOYGAN, MI 49721
PHONE: (231)627-8489 ■ FAX: (231)627-3646

SPECIAL LAND USE PERMIT APPLICATION

- i. The arrangement of public or common ways for vehicular and pedestrian circulation shall respect the pattern of existing or planned streets and pedestrian or bicycle pathways in the area. Streets and drives which are part of an existing or planned street pattern which serves adjacent development shall be of a width appropriate to the traffic volume they will carry and shall have a dedicated right-of-way equal to that specified in the Master Plan.

Common ways will be provided. see plan

- j. Site plans shall conform to all applicable requirements of state and federal statutes and the Cheboygan County Master Plan, and approval may be conditioned on the applicant receiving necessary state and federal permits

yes

3. Size of property in sq. ft. or acres: 30.52 Acres

4. Present use of property:
vacant land

5. SUP Standards:

- a. Is the property located in a zoning district in which the proposed special land use is allowed?

yes

- b. Will the proposed special land use involve uses, activities, processes, materials, or equipment that will create a substantially negative impact on the natural resources of the County or the natural environment as a whole? **Explain.** Should not. Will primarily be used for storage of recreational vehicles.

- c. Will the proposed special land use involve uses, activities, processes, materials, or equipment that will create a substantially negative impact on other conforming properties in the area by reason of traffic, noise, smoke, fumes, glare, odors, or the accumulation of scrap material that can be seen from any public highway or seen from any adjoining land owned by another person? **Explain.** Should not. Will primarily be used for storage.

- d. Will the proposed special land use be designed, constructed, operated, and maintained so as not to diminish the opportunity for surrounding properties to be used and developed as zoned? **Explain.** Yes. We build high quality, attractive buildings + maintain our properties weekly.

- e. Will the proposed special land use place demands on fire, police, or other public resources in excess of current capacity? **Explain.**

Should not. This development is for storage. We expect this development will provide for existing residents to store things inside.

- f. Will the proposed special land use be adequately served by public or private streets, water and sewer facilities, and refuse collection and disposal services? **Explain.** Yes. We expect minimal traffic and do not have any plans to offer water or sewer at this time.



CHEBOYGAN COUNTY PLANNING & ZONING DEPARTMENT

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PHONE: (231)627-8489 ■ FAX: (231)627-3646

SPECIAL LAND USE PERMIT APPLICATION

- g. Will the proposed special land use will be adequately served by water and sewer facilities, and refuse collection and disposal services? N/A. No water on sewer is planned at this time.
- h. Will the proposed special land use comply with all specific standards required under this Ordinance applicable to it (i.e. parking, setbacks, etc)? Yes. We are providing gravel drive Access to each unit.
- 6. Does the proposed use of the property include or involve either:
 - Junk or salvage yard (Section 3.6) YES NO
 - Mineral extraction (Section 17.17) YES NO
 If YES, this application must include a written plan as described in the Zoning Ordinance.
- 7. Attach a copy of Warranty Deed or other proof of ownership.
- 8. Attach a copy of certified Property Survey or dimensioned property land plat. Included in drawing and

AFFIDAVIT

The undersigned affirms that the information and plans submitted in this application are true and correct to the best of the undersigned's knowledge.

Applicant's Signature Scott Haveler Date 6-8-17

Does the property owner give permission for County zoning officials to enter his or her property for inspection purposes?

Yes No

Owner's Signature Chuck Debrai Date 6-9-17

FOR PLANNING /ZONING DEPT. USE ONLY

Date Received:	<u>6/9/17</u>	Notes: <u>SLM</u>
Fee Amount Received:	<u>6/9/17 225.00</u>	
Receipt Number:	<u>5655</u>	
Public Hearing Date:	<u>7/19/17</u>	

Planning/Zoning Administrator Approval:
[Signature]
Signature

6/19/17
Date

SPECIAL LAND USE PERMIT APPLICATION

SITE PLAN REQUIREMENT CHECKLIST

(TO BE SUBMITTED WITH APPLICATION AND SITE PLAN)

ALL ITEMS LISTED BELOW MUST BE SUBMITTED IN ORDER FOR THIS APPLICATION TO BE DEEMED COMPLETE. INCOMPLETE APPLICATIONS WILL NOT BE REVIEWED OR PROCESSED. EACH SITE PLAN SHALL DEPICT THE ITEMS LISTED BELOW, EXCEPT FOR THOSE ITEMS DETERMINED DURING THE PRE-APPLICATION CONFERENCE TO NOT BE APPLICABLE.

PLACE A CHECK MARK NEXT TO EACH REQUIREMENT TO SHOW THAT THE INFORMATION HAS BEEN SUPPLIED OR THAT A WAIVER IS BEING REQUESTED. IF A WAIVER IS BEING REQUESTED PLEASE NOTE ON THE NEXT PAGE THE REASON FOR THE WAIVER. SIGN AND DATE THIS CHECKLIST WHEN ALL ITEMS HAVE BEEN COMPLETED. PLEASE SUBMIT THIS CHECKLIST WITH YOUR APPLICATION.

INFORMATION SUPPLIED	WAIVER REQUESTED	REQUIREMENT
✓		a. North arrow, scale and date of original submittal and last revision. Site plan is to be drawn at a scale of 1 inch = 100ft. or less.
✓		b. Seal of the registered engineer, architect, landscape architect, surveyor, planner, or other site plan preparer. Location of proposed and/or existing property lines, dimensions, legal descriptions, setback lines and monument locations.
✓		c. Location of existing and proposed public roads, rights-of-way and private easements of record and abutting streets.
	✓	d. Topography at maximum five foot intervals or appropriate topographic elevations to accurately represent existing and proposed grades and drainage flows.
✓		e. Location and elevations of existing water courses and water bodies, including county drains and man-made surface drainage ways, stormwater controls, flood plains, and wetlands.
✓		f. Location of existing and proposed buildings and intended uses thereof.
✓		g. Details of entryway and sign locations should be separately depicted with an elevation view.
✓		h. Location, design, and dimensions of existing and/or proposed curbing, barrier free access, carports, parking areas (including indication of all spaces and method of surfacing), fire lanes and all lighting thereof.
✓		i. Location, size, and characteristics of all loading and unloading areas.
N/A		j. Location and design of all sidewalks, walkways, bicycle paths and areas for public use as approved by the Planning Commission.
N/A		k. Location of all other utilities on the site including but not limited to wells, septic systems, stormwater controls, natural gas, electric, cable TV, telephone and steam and proposed utility easements.
✓		l. Proposed location, dimensions and details of common open spaces and common facilities such as community buildings or swimming pools if applicable.

SPECIAL LAND USE PERMIT APPLICATION

SITE PLAN REQUIREMENT CHECKLIST

(TO BE SUBMITTED WITH APPLICATION AND SITE PLAN)

INFORMATION SUPPLIED	WAIVER REQUESTED	REQUIREMENT
✓		m. Location and specifications for all fences, walls, and other screening features.
✓		n. Location and specifications for all existing and proposed perimeter and internal landscaping and other buffering features.
N/A		o. Exterior lighting locations with area of illumination illustrated as well as the type of fixtures and shielding to be used.
✓		p. Location, size and specifications for screening of all trash receptacles and other solid waste disposal facilities.
✓		q. Elevation drawing(s) for proposed commercial and industrial structures.
N/A		r. Location and specifications for any existing or proposed above or below ground storage facilities for any chemicals, salts, flammable materials, or hazardous materials as well
N/A		s. Floor plans, when needed to determine the number of parking spaces required.

PLEASE LIST THE REQUIREMENT FOR WHICH A WAIVER IS BEING REQUESTED. ALSO PROVIDE AN EXPLANATION/REASON FOR THE WAIVER REQUEST.

<u>SECTION</u>	<u>REASON FOR WAIVER REQUEST</u>
D.	<i>No change to topography. Currently flat.</i>

AFFIDAVIT

I CERTIFY THAT ALL SITE PLAN REQUIREMENTS (A THROUGH S) ARE DRAWN ON THE SITE PLAN, ATTACHED TO THIS APPLICATION AND/OR I AM REQUESTING A WAIVER. I CERTIFY THAT ALL INFORMATION AND DATA ATTACHED TO AND MADE PART OF THIS SPECIAL LAND USE PERMIT APPLICATION ARE TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE.

Scott Havel

 SIGNATURE

6-8-17

 DATE

Real Estate Summary Sheet

Proof of ownership.

Information herein deemed reliable but not guaranteed

03/29/2017 1:43 PM

Parcel: 091-024-100-012-00
Owner's Name: ROBIADEK & SONS EXCAVATING
Property Address: 750 INDIAN TRAIL RD
 CHEBOYGAN, MI 49721
Liber/Page: 1305/331
Split: / /
Public Impr.: Paved Road, Electric, Gas
Topography: Level, High, Wooded, Wetland, SOME AG

Current Class: 400.400 RESIDENTIAL
Previous Class: 400.400 RESIDENTIAL
Gov. Unit: 091 INVERNESS
MAP #
School: 16015 CHEBOYGAN 16015
Neighborhood: CTY-R

Mailing Address:

ROBIADEK & SONS EXCAVATING
 12370 NORTH RIGGSVILLE RD
 CHEBOYGAN MI 49721

Description:

SE1/4 OF NW1/4, SEC 24, T37N,R2W, LYING N OF HWY US-27 *EXC: COM AT PTE ON E & W 1/4 LI SD PTE BEING S 89D 10M 40S E 1437.83FT FROM W1/4 COR; TH N 60D 51M 20S E 66.06FT TO NWLY R/W HWY US-27 & NLY R/W INDIAN TRL RD FOR POB; TH N 60D 51M 20S E ALG R/W 418FT; TH N 19D 8M 40S W 220FT; TH S 60D 51M 20S W 418FT; TH S 19D 8M 40S E 220FT M/L TO POB. 1237/458;1305/332;

Most Recent Sale Information

Sold on 04/25/2016 for 33,500 by SCHRAMM, NANCY TRUSTEE.

Terms of Sale: ARMS-LENGTH

Liber/Page: 1305/331

Most Recent Permit Information

None Found

Physical Property Characteristics

2017 S.E.V.: 18,200	2017 Taxable: 18,200	Lot Dimensions:
2016 S.E.V.: 18,200	2016 Taxable: 12,903	Acreage: 30.52
Zoning:	Land Value: 96,728	Frontage: 0.0
PRE: 0.000	Land Impr. Value: 0	Average Depth: 0.0

Improvement Data

None

Scott McNeil

From: Scott Hassler <s.hassler@att.net>
Sent: Monday, June 19, 2017 11:56 AM
To: Scott McNeil
Cc: Joseph Hagerman
Subject: Re: CHEBOYGAN

Hey Scott,

Hope you had a good weekend. I included the Binder plans for reverence but our site plan shows 300 because you can no longer build them longer than 300 in MI.

I can have the architect provide an updated site plan to show the potential breakdown. They break down as follows in case anyone is asking for clarification now:

1 Building - 50x150

5 units - 24x50
1 unit - 26x50

7 Buildings - 50x300

10 units - 24x50
2 units - 26x50

25 Buildings - 50x100

4 units - 25x50 (but some buyers like 50x50 or 25x100)

We will have detailed plans for each type of building drawn up once the site is approved. At that point we will draw up the master deed for recording that will include stamped plans for each type of building in the development.

Thanks,
Scott Hassler
Michigan Pole Building Supply, LLC
517-819-5849

From: Scott McNeil <scott@cheboygancounty.net>
To: Scott Hassler <s.hassler@att.net>
Sent: Monday, June 19, 2017 9:22 AM
Subject: RE: CHEBOYGAN

Hi Scott,

We will need to see a drawing on the potential divisions of the 50 x 100 buildings and the 50 x 150 building. Also I note that the overall site plan indicates that the buildings are 50 x 300 and the detail in Binder 1 indicates 50 x 304.

Don't hesitate to contact me with questions or comments.

Best regards,
Scott McNeil
Community Development Planner
Cheboygan County Planning and Zoning Department
Phone - 231-627-8475
Fax - 231-627-3646
scott@cheboygancounty.net
www.cheboygancounty.net/planning

6

091-024-100-001-01
MICHIGAN DEPT OF NATURAL RESOURCES
PO BOX 30722
LANSING, MI 48909

091-024-100-001-09
MALONE, DALE C; PATRICK MALONE;
8542 WING RD
CHEBOYGAN, MI 49721

091-024-100-003-07
SCHEELE, JOHN
8775 OUTBACK ALLEY
CHEBOYGAN, MI 49721

091-024-100-003-11
SCHEELE, JOHN
8775 OUTBACK ALLEY
CHEBOYGAN, MI 49721

091-024-100-004-02
BADGLEY, PATRICK E
660 LAPERELL RD
CHEBOYGAN, MI 49721

091-024-100-004-04
KAVANAUGH, MICHAEL & ANNETTE H/W
2235 POLISH LINE RD
CHEBOYGAN, MI 49721

091-024-100-009-00
KRAWCZEWSKI, EDWARD S ET AL
790 INDIAN TRAIL RD
CHEBOYGAN, MI 49721

091-024-100-010-00
JEWELL, JOHN RAYMOND & SHARON H/W
8507 N STRAITS HWY
CHEBOYGAN, MI 49721

091-024-100-011-00
MCKERVEY, CHARLES A
4380 S RIVER RD
CHEBOYGAN, MI 49721

091-024-100-012-00
ROBIADEK & SONS EXCAVATING
12370 NORTH RIGGSVILLE RD
CHEBOYGAN, MI 49721

091-024-100-013-00
LUTTRELL, JAMES ET UX L/E
8591 BROE RD
CHEBOYGAN, MI 49721

091-024-200-006-00
LAKES CENTER, INC
1175 RIVERA DR
CHEBOYGAN, MI 49721

091-024-200-007-01
SAINT JOHN EVANGELICAL
8757 N STRAITS HWY
CHEBOYGAN, MI 49721

091-024-200-007-02
CONSUMERS ENERGY COMPANY
ONE ENERGY PLAZA
JACKSON, MI 49201

091-024-300-003-00
STATE OF MICHIGAN
LANSING, MI 48909

091-024-300-004-01
RE GOUINE CONSTRUCTION
8997 N STRAITS HWY
CHEBOYGAN, MI 49721

091-024-300-012-03
SCHRAMM, BERNARD ET UX
2836 INDIAN TRAIL RD
CHEBOYGAN, MI 49721

091-024-200-007-02
OCCUPANT
8757 N STRAITS HWY
CHEBOYGAN, MI 49749

091-024-100-001-09
OCCUPANT
8880 WING RD
CHEBOYGAN, MI 49749

091-024-100-003-07
OCCUPANT
8775 OUTBACK ALLEY
CHEBOYGAN, MI 49749

091-024-100-003-11
OCCUPANT
8780 OUTBACK ALLEY
CHEBOYGAN, MI 49749

091-024-100-004-02
OCCUPANT
660 LAPARELL RD
CHEBOYGAN, MI 49749

091-024-100-012-00
OCCUPANT
750 INDIAN TRAIL RD
CHEBOYGAN, MI 49749

091-024-100-009-00
OCCUPANT
790 INDIAN TRAIL RD
CHEBOYGAN, MI 49749

091-024-100-010-00
OCCUPANT
8507 N STRAITS HWY
CHEBOYGAN, MI 49749

091-024-100-011-00
OCCUPANT
8511 N STRAITS HWY
CHEBOYGAN, MI 49749

091-024-200-007-01
OCCUPANT
8757 N STRAITS HWY
CHEBOYGAN, MI 49749

091-024-200-006-00
OCCUPANT
8627 N STRAITS HWY
CHEBOYGAN, MI 49749



9597 North Straits Hwy.,
Cheboygan, Michigan, 49721

Email: Jeff@EckerSurveying.com
Ph: 231.420.5450
Web: EckerSurveying.com
Fax: 231.421.6021

Certificate of Survey

FOR:

CHUCK ROBIADEK

SECTION 24, T 37 N, R 2 W
S17-24-37N-2W-24-Robi//Base Dwg
DATE: 5-12-2017
DRAWN BY: JLE SHEET 2 OF 2

LEGAL DESCRIPTION AS RECORDED, LIBER 1305, PAGE(S) 331-332:

Situated in the Township of Inverness, Cheboygan County, Michigan:

The SE 1/4 of the NW 1/4 lying North of US-27; EXCEPT: Commencing at a point on the East & West 1/4 line, said point being South 89°10'40" East 1,437.83 feet from the West 1/4 corner; thence North 60°51'20" East 66.06 feet to the Northwesterly Right of Way of Highway 27 and Northerly Right of Way of Indian Trail Road for the Point of Beginning; thence North 60°51'20" East along Right of Way 418.00 feet; thence North 19°8'40" West 220.00 feet; thence South 60°51'20" West 418.00 feet; thence South 19°8'40" East 220.00 feet more or less to the Point of Beginning; being a part of Section 24, T37N, R2W.

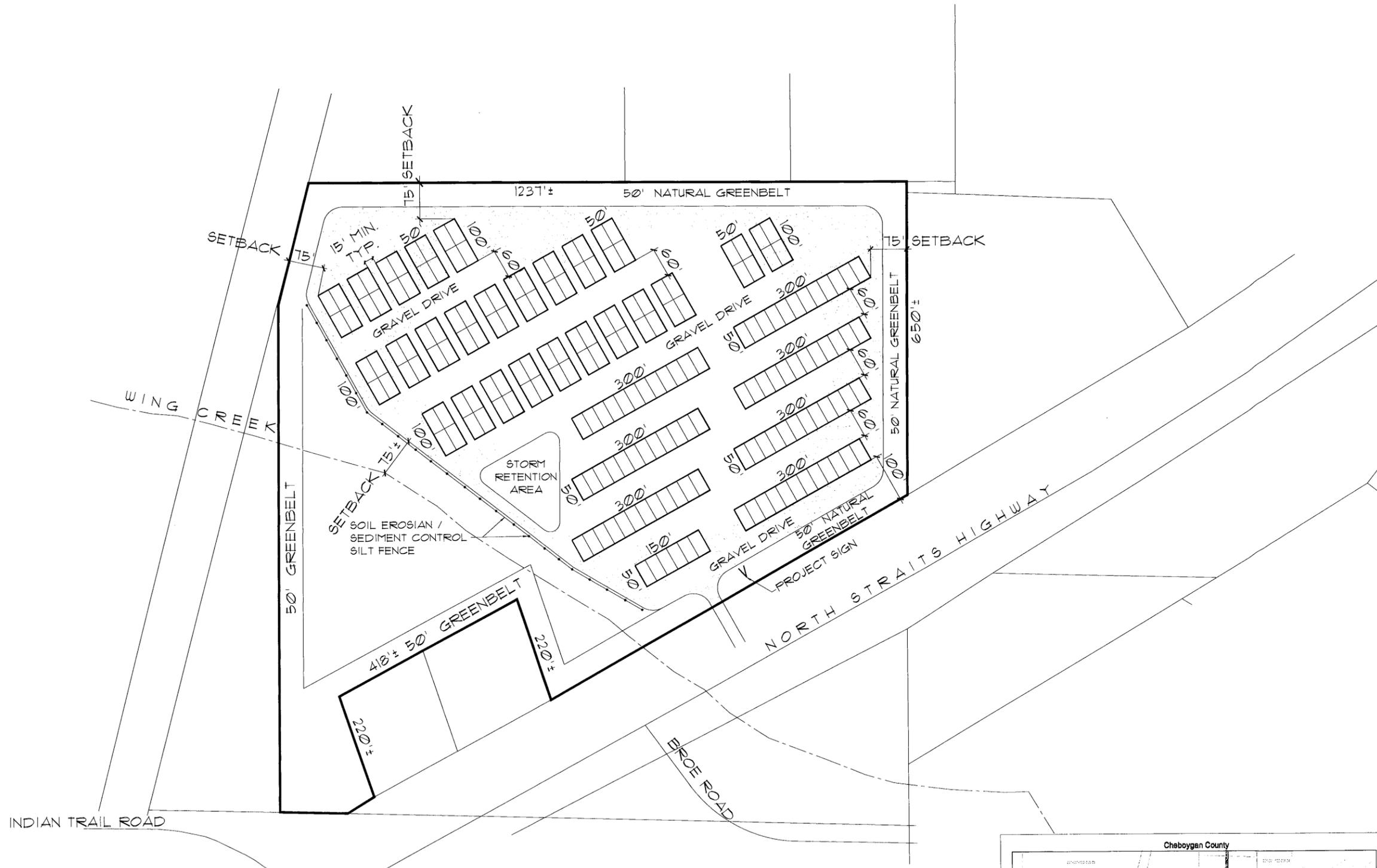


I, Jeffery L. Ecker, Hereby Certify That I Have Surveyed And Mapped The Parcel Of Land Described Hereon And That The Boundaries And Limits Of Such Do Not Exceed 1' For Each 5000' And That I Have Fully Complied With The Requirements Of Act 132 Of 1970, As Amended Act 280 Of 1972.

 6/8/2017

Jeffery L. Ecker, P.S. 58752

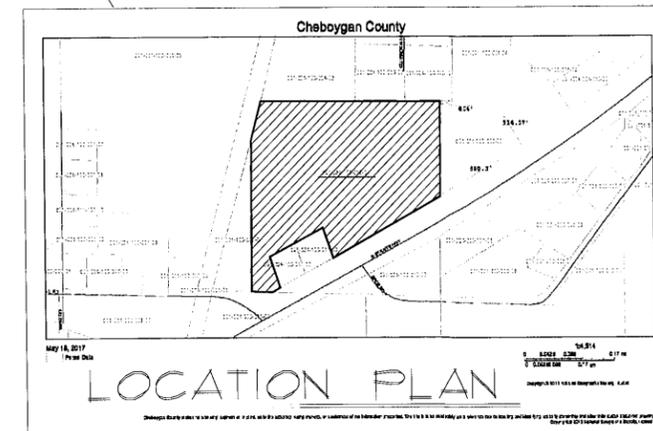




LEGAL DESCRIPTION : SE 1/4 OF NW 1/4, SECTION 24, T37N, R2W, LYING NORTH OF HWY US-27 *EXC. COMMENCING AT POINT ON E 1/4 W 1/4 LINE STARTING POINT BEING S 83D 10M 40S EAST 1437.83FT FROM WEST CORNER, THEN NORTH 60 D 51M 20S EAST 66.06FT TO NORTHWESTERLY R/W HWY US-27 & NORTHERLY R/W INDIAN TRAIL FOR POB, THEN NORTH 60D 51M 20S EAST ALONG R/W 418'. THEN SOUTH 19D2M 40S EAST 220' M/L TO POB.
1237/458/1305/332

SITE LAYOUT PLAN

SCALE: 1" = 100'-0"



INTELLIGENT DESIGN, L.L.C.
 695 SOUTH LOXLEY ROAD
 HOUGHTON LAKE MI 48623
 Phone: 989-422-4900
 Email: dave@intel-des.ign.com

Date: 1-1-17

Revised: 6-14-17

New CONDOMINIUM Storage Project:
Michigan Pole Building Supply
 Cheboygan Division

Project Number: 1-17-42

Sheet: S-10

NEW 50' x 106' STORAGE BUILDING FOR :

MICHIGAN POLE BUILDINGS

BUILDING OWNER/LOCATION:

Michigan Pole Buildings
P. O. Box 245
Higgins Lake, Michigan 48627
PHONE: (989) 390-0799

GENERAL CONTRACTOR:

J. W. H. CONSTRUCTION
JOE HAGERMAN - OWNER
P.O. BOX 684
GRAYLING, MI 49738
PHONE: (989) 348-1662

PROJECT ARCHITECT:

INTELLIGENT DESIGN, L.L.C.
695 SOUTH LOXLEY ROAD
HOUGHTON LAKE, MICHIGAN 48629
PHONE: (989) 422-4900
FAX: (989) 422-4901

GENERAL STRUCTURAL NOTES

1. All materials and workmanship shall conform to the requirements of the drawings, specifications and the Building Code.
2. Concrete shall attain a minimum 28-day strength of $f_c = 3,000$ PSI. and mix shall contain not less than 5 sacks of cement per cubic yard. Install 1 layer of 6x6 10/10 "Welded Wire Mesh" or "Fiber Mesh" in all slabs. Concrete construction shall comply with ACI C94 or C685 requirements.
3. Lap all continuous reinforcement 24" min.
4. Footings shall bear on solid undisturbed earth.
5. Framing Lumber, k.d., 19% mc, furnish to the following minimum standards.
(NOTE: Stress Ratings for single member use).
STUDS, PLATES AND MISC. LIGHT FRAMING- SPF standard grade or stud grade
PLATES SUPPORTING TRUSSES - Southern Yellow Pine, NO. 1 or better
Fb. = 1,000 PSI min.
TREATED WOOD Southern Yellow Pine, no. 2, .60 retention. micronized copper azole treated wood, or equal, where approved by code.
6. Prefabricated wood trusses shall be designed by the manufacturer for the spans and conditions shown on the plans. Loading shall be as follows:

Top Chord Live Load (0.9 Exp. Factor, 1.0 Imp. Factor)	63 PSF Based on 70 PSF Ground Snow Load
Top Chord Dead Load	5 PSF
Bottom Chord Dead Load	5 PSF
Total Load	73 PSF

Wood trusses shall utilize approved connector plates (gang nail or equal).
Furnish shop drawings and design calculations (complete with stress diagrams) for approval prior to fabrication. Submitted documents shall bear the stamp of a registered Michigan professional engineer, provide for shapes, bearing points, hip framing, etc. shown on the drawings. Provide for all temporary and permanent truss bracing and bridging.
7. Contractor shall provide temporary bracing for the structure and structural components until all final connections have been complete in accordance with the plans.
8. Metal siding shall be 29 gauge material, installed in single sheet lengths for exterior.
9. Design Criteria

Roof Total Load	73 PSF
Wind	16 PSF Minimum

Cladding and Component Pressure, net design wind pressure shall be based on Adjustment Factor of 1.0, Importance Factor of 1.0, and net design wind pressure for exposure B at $h=30'$. In no case shall positive or negative wind pressure be less than 16.0 PSF.
10. Allowable Soil Pressure : 2000 PSF (assumed) Soil Bearing Capacity shall be verified by licensed testing Company, if there is any doubt of assumed SBC.

GENERAL NOTES

1. Construction to comply with the 2012 Michigan edition of the State Building Code .
2. Verify all existing dimensions and existing conditions before installation of any construction.
3. Mechanical and Electrical items, if shown, are schematic only. Exact design and selection by others.
4. All Building Plans shall be submitted to the Building Official for Plan Review. Notify Architect of any plan review comments prior to construction.

CONDITIONS

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CODE COMPLIANCE	
CODE:	2012 MICHIGAN BUILDING CODE
USE GROUP:	U - UTILITY
OCCUPANT LOAD:	0
TYPE OF CONSTRUCTION:	5B

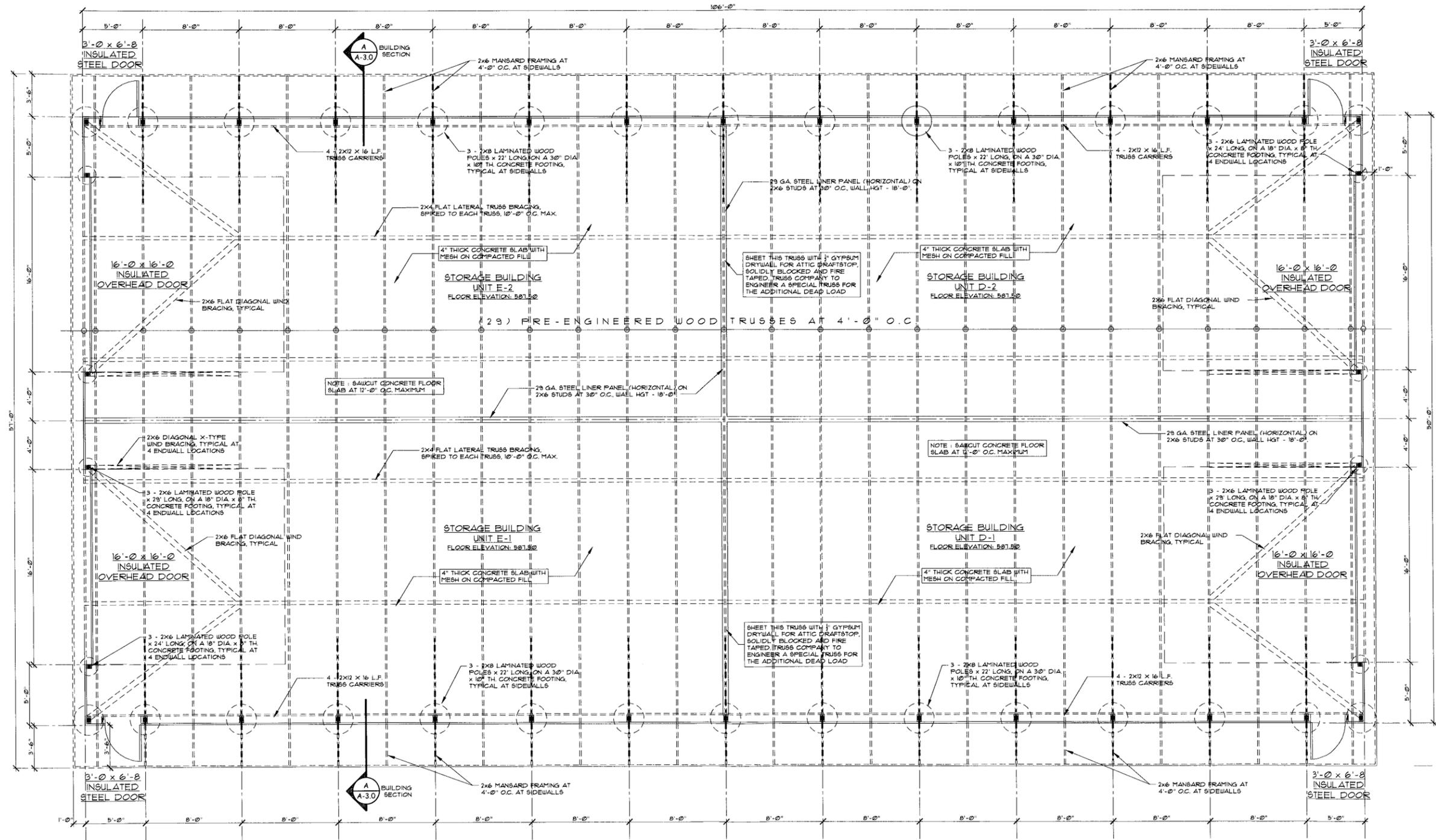
PROJECT NUMBER:	I-16-57
DATE:	SEPTEMBER 21, 2016
REVISED:	
DRAWN BY:	D.G. RIEBSCHLEGER
CHECKED BY:	D.G. RIEBSCHLEGER

INDEX OF DRAWINGS		DATE:
T-1	Title Sheet	9-21-2016
A-1.0	Building Plan	9-21-2016
A-2.0	Exterior Elevations	9-21-2016
A-3.0	Wall Section & Building Section	9-21-2016



SHEET
T-1
I-16-57

11a



BUILDING PLAN

SCALE: 1/4"=1'-0"

Date: September 21, 2016
Revised:

Project Number:
I-16-57

DRAWN BY: DGR
CHECKED BY: DGR

SHEET
A-1.0

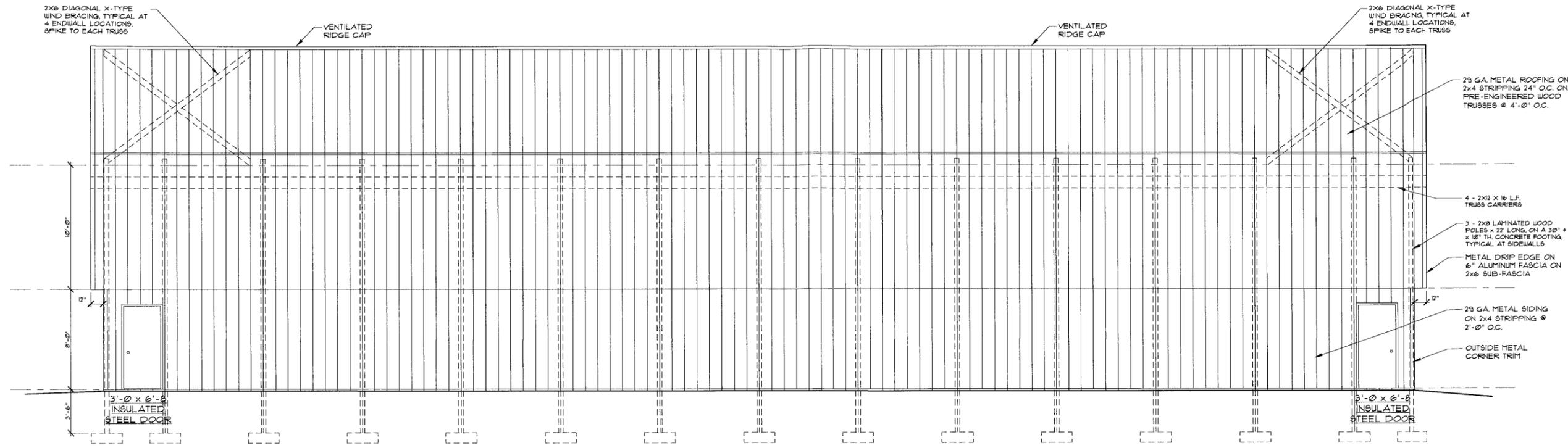
New 50' x 106' Storage Building For:

Ancient Mariner Drydocks

13820 Indian Road Kewadin, Michigan 49648

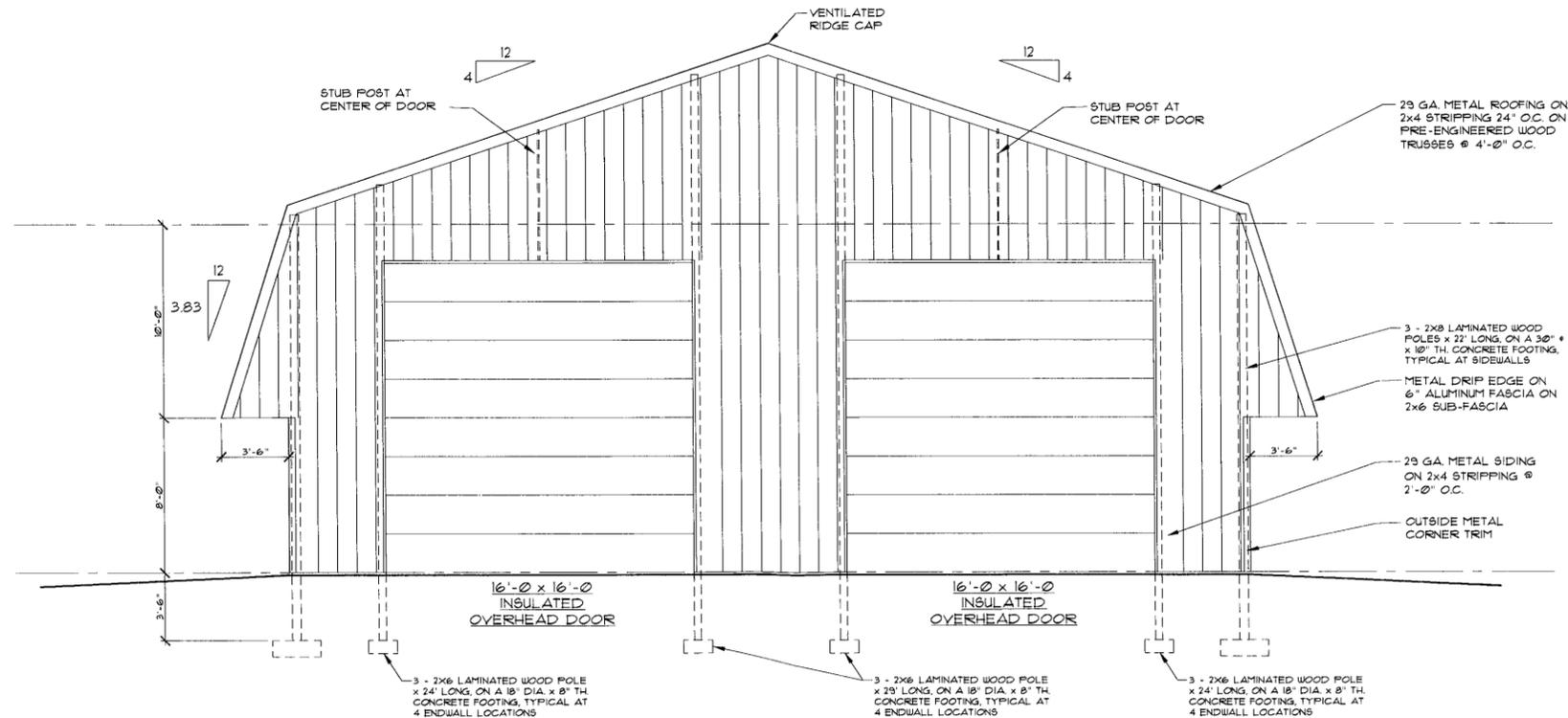
J.W.H. Construction
Joe Hagerman
Grayling, MI 49736
P.O. Box 684
Phone: 989-348-1662

Intelligent Design, L.L.C.
695 South Loxley Road
Houghton Lake, Michigan 48629
Phone: 989-422-4900



EAST & WEST ELEVATION

SCALE: 1/4" = 1'-0"



NORTH & SOUTH ELEVATION

SCALE: 1/4" = 1'-0"

Intelligent Design, L.L.C.
 695 South Loxley Road
 Houghton Lake, Michigan 48629
 Phone: 989-422-4900

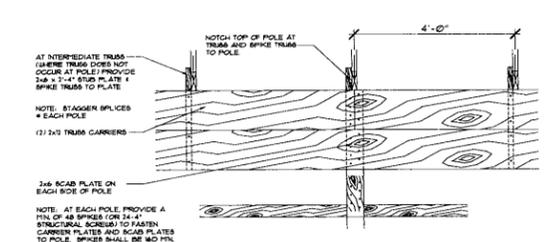
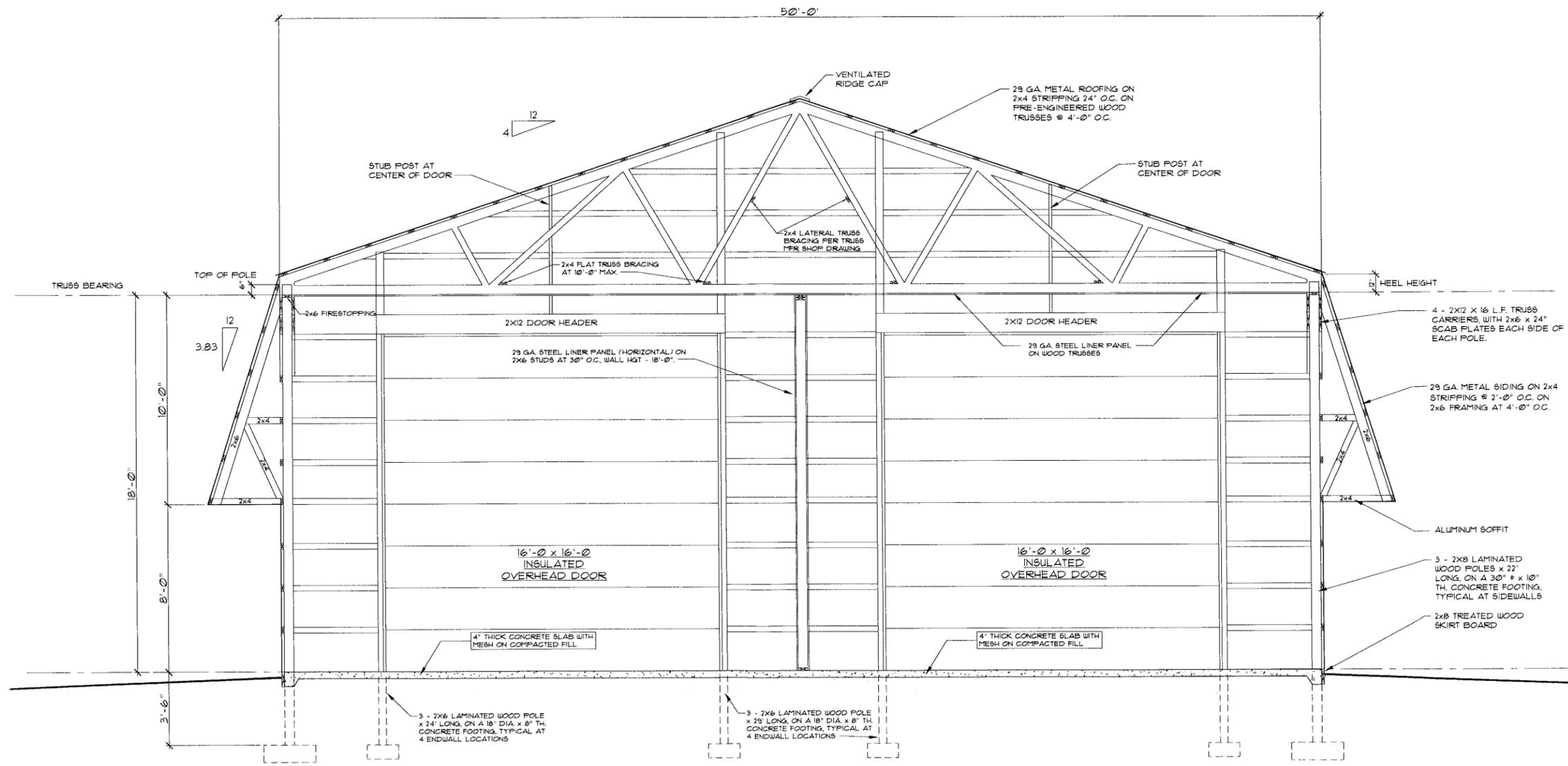
J.W.H. Construction
 P.O. Box 684
 Grayling, MI 49738
 Joe Hageman
 Phone: 989-348-1662

New 50' x 106' Storage Building For:
Ancient Mariner Drydocks
 13820 Indian Road Kewadin, Michigan 49648

Date: September 21, 2016
 Revised:
 Project Number:
 I-16-57

DRAWN BY: DGR
 CHECKED BY: DGR

SHEET
 A-2.0



B
A-3.0 CARRIER PLATE CONNECTION DETAIL
SCALE: 3/4"=1'-0"

A
BUILDING SECTION
SCALE: 3/8"=1'-0"
A-3.0

11d

Intelligent Design, L.L.C.
695 S. Loyley
Houghton Lake, MI 48629
Phone: 989-422-4900

J.W.H. Construction
Joe Hageman P.O. Box 684
Grayling, MI 49738
Phone: 989-348-1662

New 50' x 106' Storage Building For:
Ancient Mariner Drydocks
13820 Indian Road Kewadin, Michigan 49648

Date: September 21, 2016
Revised:
Project Number: I-16-57

DRAWN BY: DGR
CHECKED BY: DGR

SHEET
A-3.0

NEW STORAGE BUILDING FOR:

HOUGHTON HIGGINS LAKE STORAGE

BUILDING OWNER:

GREGORY HOOVER
MARKEY TOWNSHIP
HOUGHTON LAKE, MICHIGAN

PROJECT CONTRACTOR:

J.W.H. CONSTRUCTION
JOE HAGERMAN - OWNER
P.O. BOX 684
GRAYLING, MICHIGAN 49738
PHONE: (989) 348-1662

PROJECT ARCHITECT:

INTELLIGENT DESIGN, L.L.C.
695 SOUTH LOXLEY ROAD
HOUGHTON LAKE, MICHIGAN 48629
PHONE: (989) 422-4900
FAX: (989) 422-4901

GENERAL STRUCTURAL NOTES

- All materials and workmanship shall conform to the requirements of the drawings, specifications and the Building Code.
- Concrete shall attain a minimum 28-day strength of $f_c = 3,000$ PSI. and mix shall contain not less than 5 sacks of cement per cubic yard. Concrete footing shall attain a 28-day strength of $f_c = 3,500$ PSI, and mix shall contain not less than 6 sacks of cement per cubic yard. Install 1 layer of 6x6 10/10 "Welded Wire Mesh" or "Fiber Mesh" in all slabs. Concrete construction shall comply with ACI C94 or C685 requirements.
- Lap all continuous reinforcement 24" min.
- Footings shall bear on solid undisturbed earth.
- Framing Lumber, k.d., 19% mc, furnish to the following minimum standards.
(NOTE: Stress Ratings for single member use).
STUDS, PLATES AND MISC. LIGHT FRAMING— SPF standard grade or stud grade
PLATES SUPPORTING TRUSSES – Southern Yellow Pine, NO. 1, Fb. = 1200 PSI min.
ENGINEERED LUMBER – Laminated Veneer Lumber TJI Microllam LVL, E= 2.0, as mfrd. by Truss Joist
TREATED WOOD – Southern Yellow Pine, NO. 2, .60 retention.
- Prefabricated wood trusses shall be designed by the manufacturer for the spans and conditions shown on the plans. Loading shall be as follows:
Top Chord Live Load (0.9 Exp. Factor, 1.0 Imp. Factor) 45 PSF Based on 50 PSF Ground Snow Load
Top Chord Dead Load 5 PSF
Bottom Chord Dead Load 5 PSF
Total Load 55 PSF
Wood trusses shall utilize approved connector plates (gang nail or equal). Furnish shop drawings and design calculations (complete with stress diagrams) for approval prior to fabrication. Submitted documents shall bear the stamp of a registered Michigan professional engineer, provide for shapes, bearing points, hip framing, etc. shown on the drawings. Provide for all temporary and permanent truss bracing and bridging.
- Contractor shall provide temporary bracing for the structure and structural components until all final connections have been complete in accordance with the plans.
- Metal siding shall be 29 gauge material, installed in single sheet lengths for exterior;
- Design Criteria
Roof Total Load 55 PSF
Wind 20 PSF
Cladding and Component Pressure, net design wind pressure shall be based on Adjustment Factor of 1.0, Importance Factor of 1.0, and net design wind pressure for exposure B at $h=30'$. In no case shall positive or negative wind pressure be less than 10.0 PSF.
Allowable Soil Pressure 2000 PSF (assumed)
Soil Bearing Capacity shall be verified by licensed testing Company, if there is any doubt of assumed SBC.

GENERAL NOTES

- Construction to comply with the 2009 Michigan Building Code.
- Do not scale drawings. (Use dimensions). Verify all existing dimensions and existing conditions before installation.
- Mechanical and Electrical items, if shown, are schematic only. Exact design and selection by others.
- All Building Plans shall be submitted to the Building Official for Plan Review. Notify Architect of any plan review comments prior to construction.

CONDITIONS

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CODE COMPLIANCE	
CODE:	2009 MICHIGAN BUILDING CODE
USE GROUP:	"S-2" STORAGE
OCCUPANT LOAD:	0 PEOPLE
TYPE OF CONSTRUCTION: (TABLE 601)	TYPE V B
AUTOMATIC SPRINKLER SYSTEM IS NOT REQUIRED.	

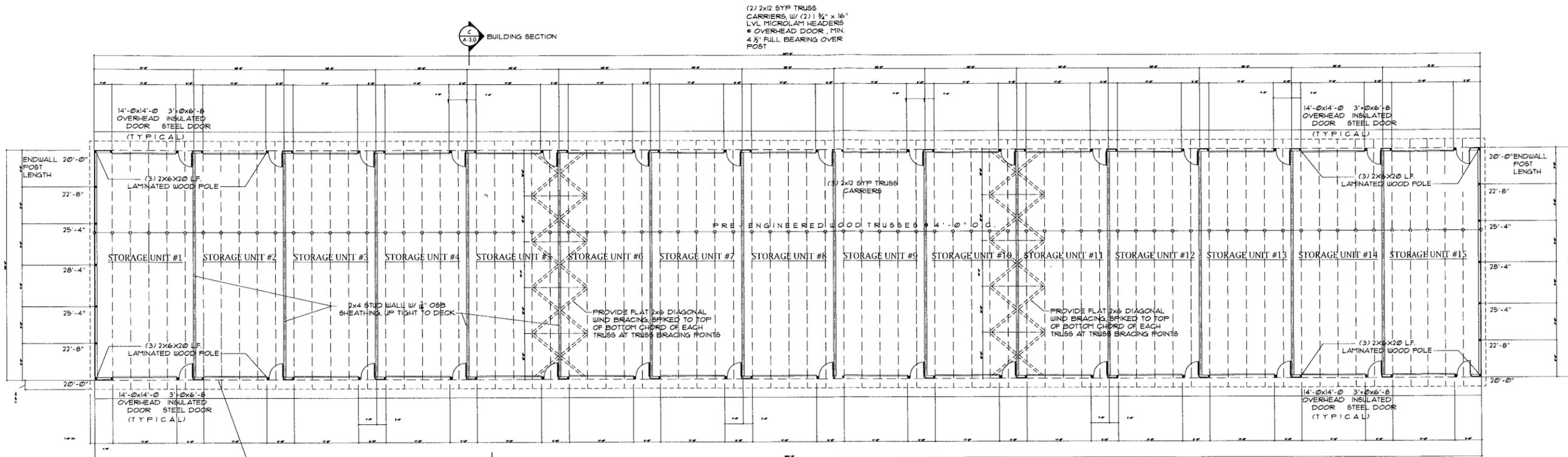
PROJECT NUMBER:	I-14-30
DATE:	MAY 13, 2014
REVISED:	
DRAWN BY:	D.G. RIEBSCHLEGER
CHECKED BY:	D.G. RIEBSCHLEGER

INDEX OF DRAWINGS		DATE:
T-1.0	Title Sheet	5-13-14
A-1.0	Floor Plan & Foundation Plan	5-13-14
A-2.0	Exterior Elevations	5-13-14
A-3.0	Building Section, Wall Sections, & Detail	5-13-14



DATE:	5-13-2014
SHEET	T-1
	I-14-30

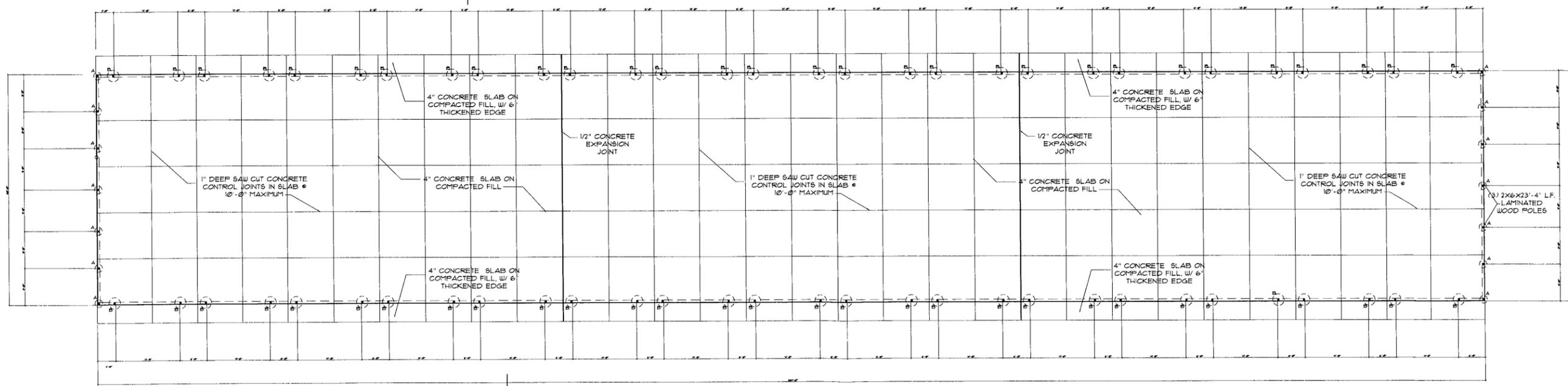
12a



(2) 2x12 SYP TRUSS CARRIERS, W/ (2) 1 3/4" x 16" LVL MICROLAM HEADERS
 • OVERHEAD DOOR, MIN. 4 1/2" FULL BEARING OVER POST

PLAN NORTH
 FLOOR PLAN
 SCALE: 3/32" = 1'-0"

NOTE: SCALE OF THE FLOOR PLAN AND FOUNDATION PLAN IS 1" = 3/32"



FOOTING SCHEDULE	
	18" x 18" THICK CONCRETE FOOTING
	36" x 18" THICK CONCRETE FOOTING

PLAN NORTH
 FOUNDATION PLAN
 SCALE: 3/32" = 1'-0"

NOTE: SCALE OF THE FLOOR PLAN AND FOUNDATION PLAN IS 1" = 3/32"

Intelligent Design, L.L.C.
 695 South Loxley Road
 Houghton Lake, Michigan 48629
 Phone: 989-422-4900

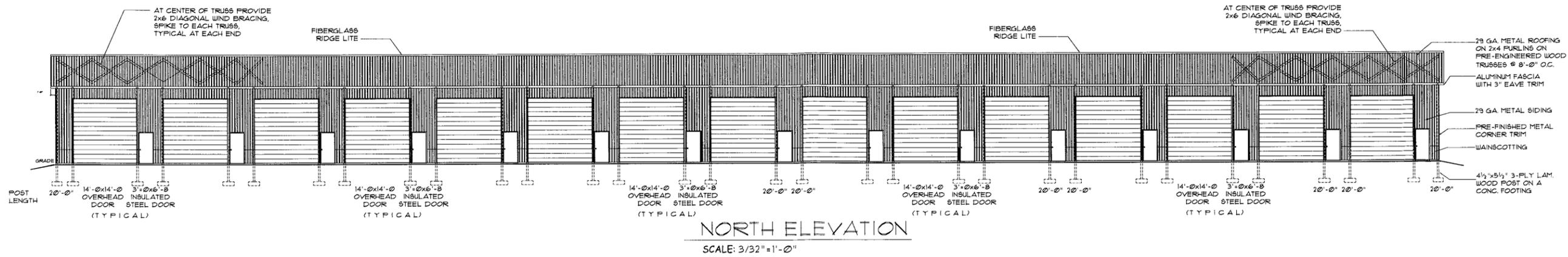
J.W.H. Construction
 Joe Hagerman P.O. Box 684
 Grayling, Michigan 49738
 Phone: 989-348-1662

New 304'x50' Storage Building For:
HOUGHTON HIGGINS LAKE STORAGE
 Gregory Hoover / Markey Township, Michigan

Date: MAY 13, 2014
 Revised:
 Project Number:
 I-14-30

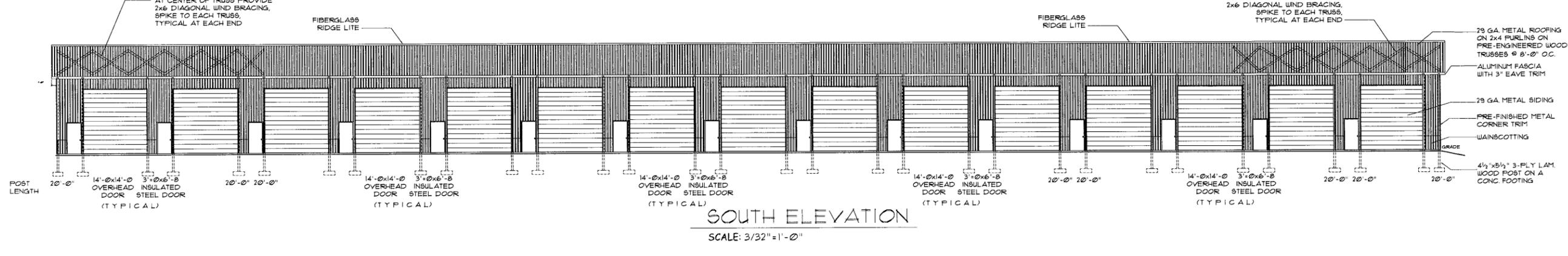
DRAWN BY: DGR
 CHECKED BY: DGR

SHEET
 A-1.0



NORTH ELEVATION

SCALE: 3/32" = 1'-0"

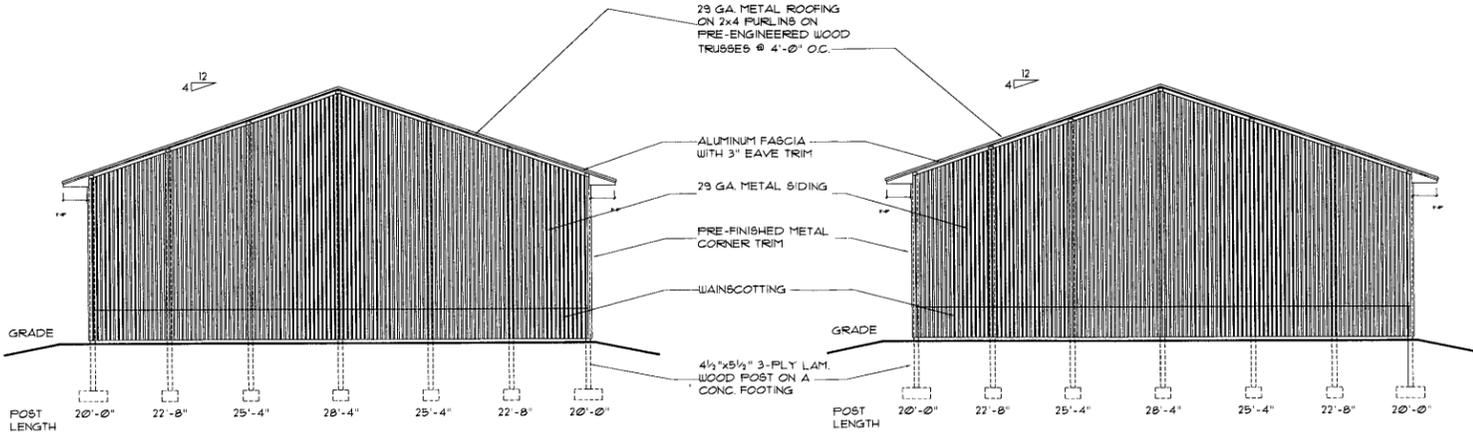


SOUTH ELEVATION

SCALE: 3/32" = 1'-0"

NOTE: SCALE OF THE NORTH/SOUTH ELEVATIONS IS 1" = 3/32"

NOTE: SCALE OF THE NORTH/SOUTH ELEVATIONS IS 1" = 3/32"



WEST ELEVATION

SCALE: 1/8" = 1'-0"

EAST ELEVATION

SCALE: 1/8" = 1'-0"

Intelligent Design, L.L.C.
695 South Loxley Road
Houghton Lake, Michigan 48629
Phone: 989-422-4900

J.W.H. Construction
Joe Hagerman P.O. Box 684
Grayling, Michigan 49738
Phone: 989-348-1662

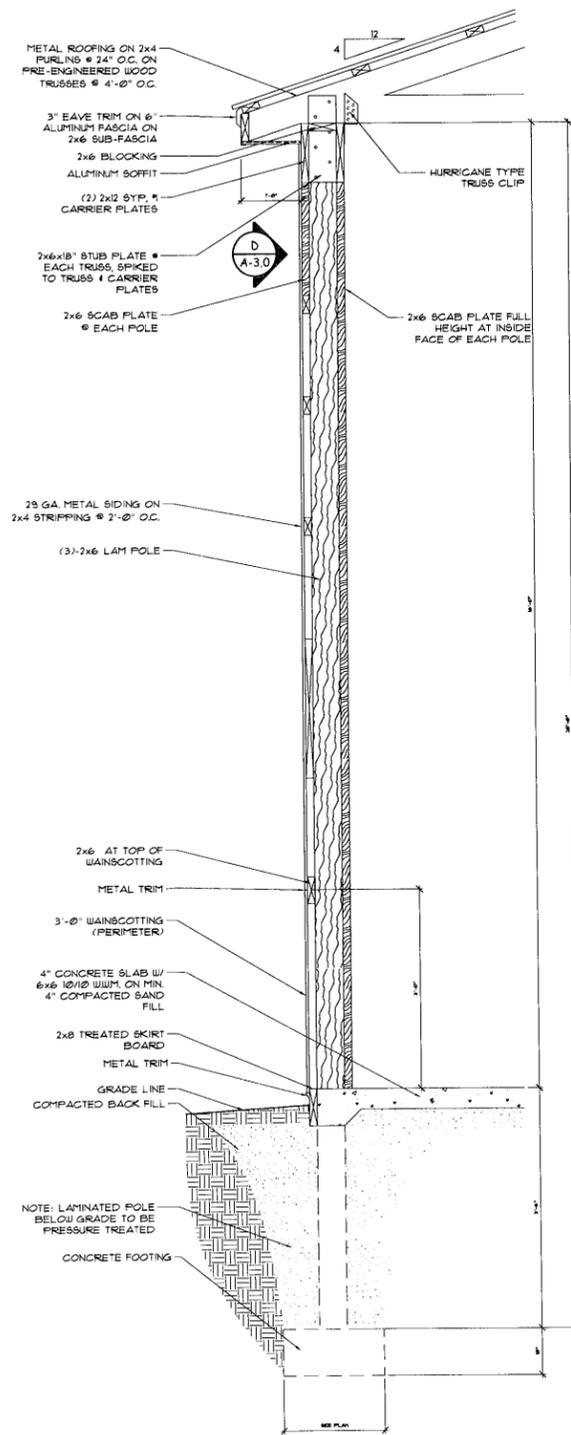
New 304'x50' Storage Building For:
HOUGHTON HIGGINS LAKE STORAGE
Gregory Hoover / Markey Township, Michigan

Date: MAY 13, 2014
Revised:
Project Number:
I-14-30

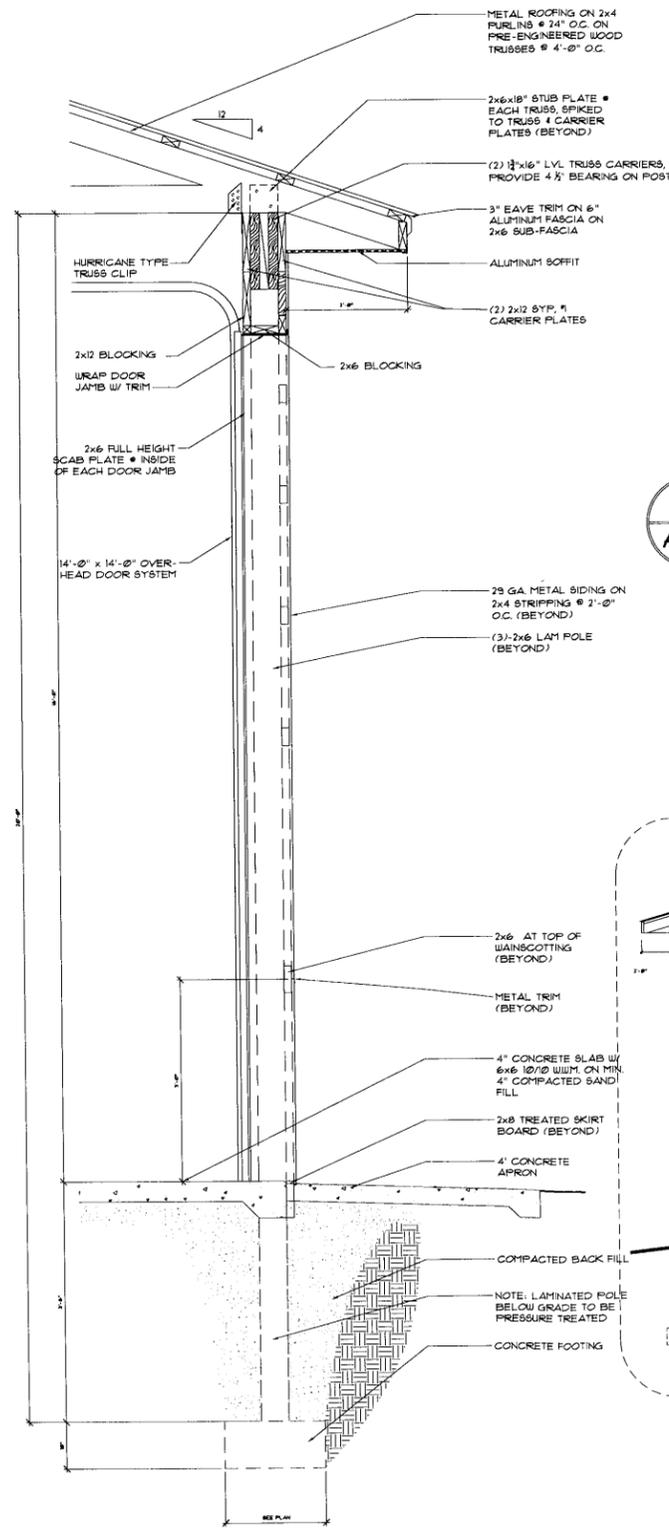
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CHECKED BY: DGR

SHEET
A-2.0

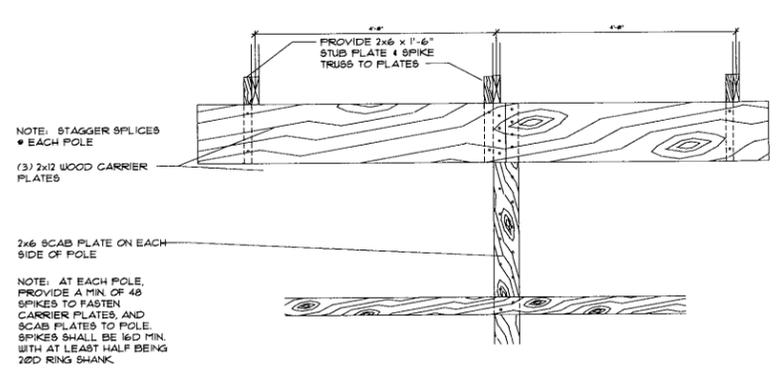
12c



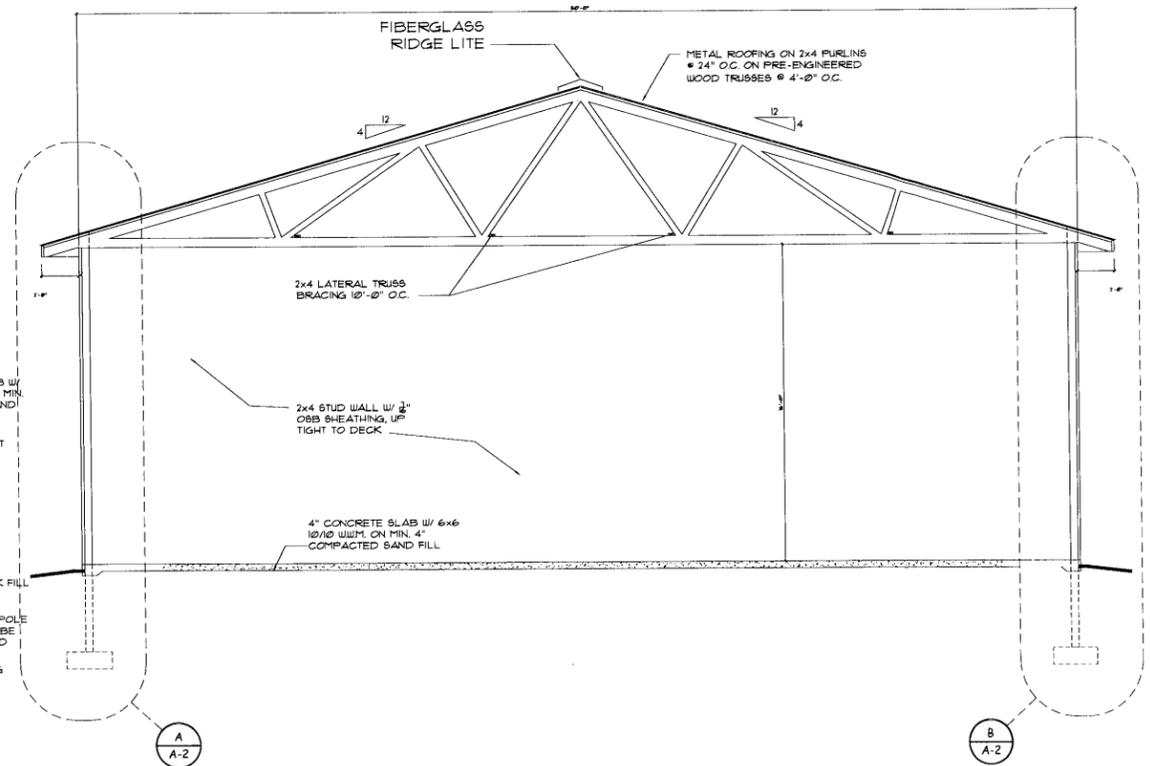
A
A-3.0
WALL SECTION
SCALE: 3/4" = 1'-0"



B
A-3.0
WALL SECTION
SCALE: 3/4" = 1'-0"



D
A-3.0
CARRIER PLATE CONNECTION DETAIL
SCALE: 3/4" = 1'-0"



C
A-3.0
BUILDING SECTION
SCALE: 1/4" = 1'-0"

12a

Intelligent Design, L.L.C.
695 S. Loxley
Houghton Lake, MI 48629
Phone: 989-422-4900

J.W.H. Construction
Joe Hegerman P.O. Box 684
Grayling, MI 49738
Phone: 989-348-1662

New 304' x 50' Storage Building For:
HOUGHTON HIGGINS LAKE STORAGE
Gregory Hoover / Markey Township, Michigan

Date: MAY 13, 2014
Revised:
Project Number: I-14-30

DRAWN BY: DGR
CHECKED BY: DGR

SHEET
A-3.0

Deborah Tomlinson

From: Brent Shank <mgr@chcrc.com>
Sent: Monday, July 03, 2017 6:35 AM
To: Deborah Tomlinson
Subject: Re: Applications for YMCA & Scott Hassler - 07/19/17 PC Mtg.

Debbie,

No comments from the Road Commission.

Thank you,

Brent Shank
Engineer/Manager
Cheboygan County Road Commission
mgr@chcrc.com
(231) 238-7775

From: Deborah Tomlinson
Sent: Friday, June 30, 2017 2:32 PM
To: manager
Subject: Applications for YMCA & Scott Hassler - 07/19/17 PC Mtg.

Hi Brent,

The following is a link to applications for Scott Hassler and YMCA: <http://www.cheboygancounty.net/current-applications-in-review-359/>. These applications will be reviewed at the 07/19/17 Planning Commission meeting. Please review these applications and call me or e-mail me if you have any questions or comments. Thank you!!!

Debbie

Debbie Tomlinson
Cheboygan County
Community Development Department
PO Box 70, 870 South Main Street
Cheboygan, MI 49721
(231)627-8489 phone
(231)627-3646 fax
debbiet@cheboygancounty.net



CHEBOYGAN COUNTY COMMUNITY DEVELOPMENT DEPARTMENT

CHEBOYGAN COUNTY BUILDING ■ 870 S. MAIN STREET, PO BOX 70 ■ CHEBOYGAN, MI 49721
PHONE: (231)627-8489 ■ FAX: (231)627-3646
www.cheboygancounty.net/planning/

STAFF REPORT

Item: Special use permit for Indoor Storage Facility use, also for Private Storage Building use in Commercial Development (D-CM) and Agriculture and Forestry Management (M-AF) zoning districts.	Prepared by: Scott McNeil
Date: June 28, 2017	Expected Meeting Date: July 19, 2017

Applicant and Contact: Scott Hassler

Phone: 517-819-5849

Site Location: 750 Indian Trail Road, also along North Straits Hwy

Requested Action: Approval of a special use permit for Indoor Storage Facility and site plan approval for Private Storage Building uses in a Commercial Development (D-CM) and Agriculture and Forestry Management (M-AF) zoning districts.

BACKGROUND INFORMATION

The applicant is seeking a special use permit approval for Indoor Storage Facility and site plan approval for Private Storage Building uses. By review of the site plan you will find 33 structures with a total of 190 individual storage units are proposed on a site containing 27.8 acres. The applicant is proposing to sell units to individuals for private storage use and rent units under indoor storage facility use within the structures. An example of the unit division within each structure is provided on the site plan in exhibit 10 and a further explanation of the number of units proposed in each structure size is found in exhibit 6.

The subject property is zoned Commercial Development (D-CM) and Agriculture and Forestry Management (M-AF)

Indoor storage facility is a use which requires a special use permit in the Commercial Development zoning district per section 6.3.16. and in the Agriculture and Forestry zoning district per section 9.3.24. subject to the following requirements under section 17.27. which reads as follows:

Section 17.27 Indoor Storage Facilities

In addition to meeting the general standards for special use permit approval under Section 18.7 of this Ordinance, an Indoor Storage Facility use within the Agricultural and Forestry Management District shall comply with all of the following applicable supplemental regulations and standards:

17.27.1. A solid evergreen hedge, wall or fence a minimum of 6 feet in height shall be placed a

minimum of 3 feet from a rear or side lot line which screens all Indoor Storage Facilities from adjoining lots which are under different ownership.

17.27.2. A minimum distance of 30 feet shall be required between Indoor Storage Facility structures where a wall with doors faces another Indoor Storage Facility structure.

17.27.3. Indoor Storage Facilities shall be located on a County Primary Road or State Trunkline.

Findings relative to requirements under section 17.27 are provided for your consideration in the draft findings of fact.

Indoor Storage Facility is defined as follows:

INDOOR STORAGE FACILITY

Any structure that is limited to indoor storage, for a fee, of goods, materials, or personal property which may provide individual renters to control individual storage spaces. No other commercial activities shall be allowed.

Private storage building is a permitted use in the D-CM and M-AF zoning districts per sections 6.2.29. and 9.2.14.

Private Storage Building is defined as follows:

PRIVATE STORAGE BUILDING

A building or structure that is used for private non-commercial storage of materials that are owned by the property owner and used only by the property owner and does not have permanent facilities for living, sleeping, cooking, and/or sanitation including but not limited to a toilet facility.

Current Zoning:

Current zoning is Commercial Development District (D-CM) and Agriculture and Forestry Management (M-AF) district. A copy of the zoning map is provided at the end of this report and is depicted on a site drawing provided by the applicant.

Surrounding Land Uses:

Residential at the south west portion of the site and to the north east, commercial to the east and southwest. Vacant to the west and south east.

Environmentally Sensitive Areas (steep slopes, wetlands, woodlands, stream corridor, floodplain):

There is a seasonal creek/drain that runs through the site which is indicated on the site plan. Required setbacks from the drain are indicated. No other environmentally sensitive areas have been identified.

Historic buildings/features:

The site is current vacant. There are no historic buildings in the subject area.

Traffic Implications:

The site is located on North Straits Hwy. The proposed storage use will have a minimal effect on traffic.

Parking:

There are no parking requirements for private storage or indoor storage facility. The Planning Commission will need to make an adequate parking determination per section 17.4.1.

Access and street design: (secondary access, pedestrian access, sidewalks, residential buffer, ROW width, access to adjacent properties)

Street access to this site is provided by a proposed driveway from North Straits Hwy.

Signs:

Free Standing signs are proposed within the Right of Way of North Straits Highway. The signs must meet size requirements under section 17.19. and requirements of the Michigan Department of Transportation.

Fence/Hedge/Buffer:

A 50 foot buffer area with natural green belt is indicated on the site plan. Section 17.27.1. relative to the Agriculture and Forestry Development district requires a solid evergreen hedge, wall or fence a minimum of 6 feet in height shall be placed a minimum of 3 feet from a rear or side lot line which screens all Indoor Storage Facilities from adjoining lots which are under different ownership. No buffer is required within the Commercial Development zoning district.

Possibly most if not all of the existing natural greenbelt to the north side of the property is not on the applicant's property. Specific plans for the proposed greenbelt were not provided.

Lighting:

Outdoor lighting is proposed to be placed on the buildings and face downward. No other lighting is proposed. There are no specific locations indicated on the site plan for new lighting.

Stormwater management:

The applicant indicates stormwater retention area on the site plan. A permit will be required under the Cheboygan County soil sedimentation and stormwater control ordinance relative to the Commercial Development zoning district.

Review or permits from other government entities:

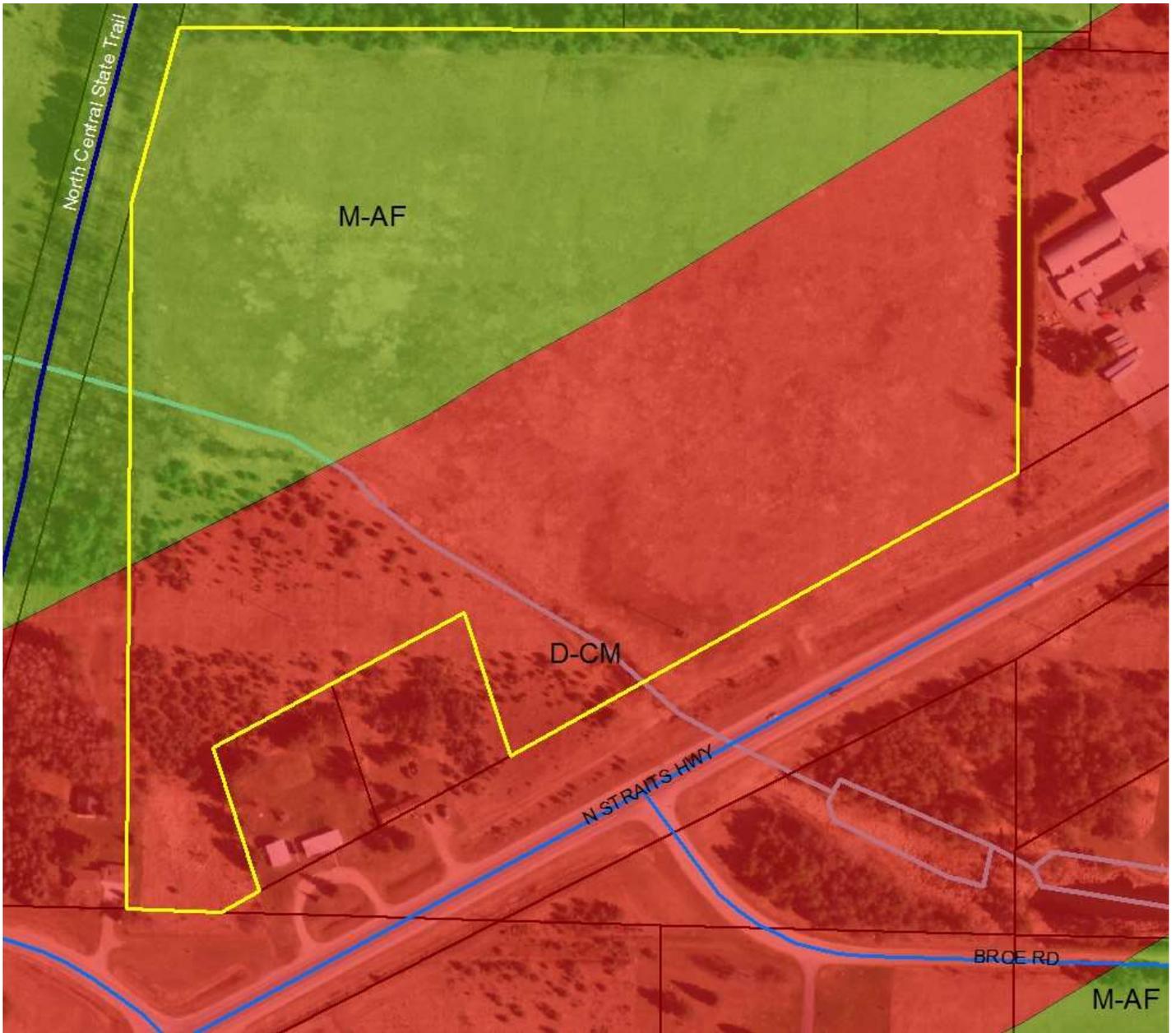
Permits under the building code and the Soil Sedimentation and Stormwater Control Ordinance will need to be required. A driveway permit and sign permit from the Michigan Department of Transportation will also be required.

Recommendations (proposed conditions):

1. Add lighting locations to the site plan.
2. Approval by Cheboygan County Department of Building Safety.
3. Approval under the Cheboygan County Soil Sedimentation and Stormwater Control Ordinance. Signage must meet requirements of section 17.19.
4. Driveway approval from the Cheboygan County Road Commission/Michigan Department of
5. Transportation.
6. Natural green belt shall meet requirements of section 17.27.1. within the Agriculture and
7. Forestry Management zoning district.

Zoning of subject site

Green = Agriculture and Forestry Management
Red= Commercial Development



CHEBOYGAN COUNTY PLANNING COMMISSION
SPECIAL USE PERMIT REQUEST
Wednesday, July 19, 2017, 7:00 PM

Applicant

Scott Hassler
P.O. Box 245
Higgins Lake, Mi. 48627

Owner

Chuck Robiadek
12370 N. Riggesville Rd.
Cheboygan , Mi. 49721

Parcel

750 Indian Trail Road
Inverness Township
091-024-100-012-00

GENERAL FINDINGS

1. The subject property is zoned Commercial Development District.(D-CM) and Agricultural and Forestry Management District (M-AF)
2. The applicant is seeking a special use permit for 33 structures with a total of 190 individual storage units proposed for indoor storage facility and private storage use.
3. Indoor Storage Facility is a use which requires a special use permit in a D-CM zoning district per Section 6.3.16.
4. Indoor Storage Facility is a use which requires a special use permit in a M-AF zoning district per section 9.3.24. subject to the following requirements under section 17.27.
5. Private storage is a permitted use in the D-M and M-AF zoning districts per sections 6.2.29. and 9.2.14
6. The applicant is seeking a waiver from the topography survey requirement.
- 7.

FINDINGS OF FACT UNDER SECTION 17.27. OF THE ZONING ORDINANCE

Section 17.27. Indoor Storage Facilities;

In addition to meeting the general standards for special use permit approval under Section 18.7 of this Ordinance, an Indoor Storage Facility use within the Agricultural and Forestry Management District shall comply with all of the following applicable supplemental regulations and standards:

17.27.1. A solid evergreen hedge, wall or fence a minimum of 6 feet in height shall be placed a minimum of 3 feet from a rear or side lot line which screens all Indoor Storage Facilities from adjoining lots which are under different ownership.

- a. A portion of the site is located in the Agriculture and Forestry Management (M-AF) zoning district (see staff report)
- b. The site plan indicates a 50 foot buffer with a natural green belt (see exhibit 10)
- c. The green belt shall be a solid evergreen hedge located 3 feet from the rear and side lines within the portion of the lot which is within M-AF zoning district.
- d.
- e. Requirement has been met.

Or.

- a. A portion of the site is located in the Agriculture and Forestry Management (M-AF) zoning district (see staff report)
- b. The site plan indicates a 50 foot buffer with a natural green belt (see exhibit 10)
- c. the site plan does not indicate that this requirement will be met.
- d.
- e. Requirement has not been met.

17.27.2. A minimum distance of 30 feet shall be required between Indoor Storage Facility structures where a wall with doors faces another Indoor Storage Facility structure.

a. The site plan provides 60 foot drive area between each building. (see exhibit 10)

b. Door to each structure shall face the drive areas. (see exhibit 10)

c.

d. Standard is met

Or.

a.

b. Standard is not met.

17.27.3. Indoor Storage Facilities shall be located on a County Primary Road or State Trunkline.

a. The site is located on and accessed from North Straits Highway which is a State Trunkline. (see exhibit 10)

b.

c. Requirement has been met.

Or

a.

B. Requirement has not been met.

FINDINGS OF FACT UNDER SECTION 18.7 OF THE ZONING ORDINANCE

The Planning Commission makes the following findings of fact as required by section 18.7 of the Zoning Ordinance for each of the following standards listed in that section:

a. The property subject to the application is located in a zoning district in which the proposed special land use is allowed.

1. The subject property is zoned Commercial Development District.(D-CM) and Agricultural and Forestry Management District (M-AF)

2. The applicant is seeking a special use permit for 33 structures with a total of 190 individual storage units proposed for indoor storage facility and private storage use. (see exhibits 4 and 10)

3. Indoor Storage Facility is a use which requires a special use permit in a D-CM zoning district per Section 6.3.16.

4. Indoor Storage Facility is a use which requires a special use permit in a M-AF zoning district per section 9.3.24. subject to the following requirements under section 17.27.

5. Private storage is a permitted use in the D-M and M-AF zoning districts per sections 6.2.29. and 9.2.14

6.

7. Standard has been met.

Or.

1.

2. Standard has not been met.

b. The proposed special land use will not involve uses, activities, processes, materials, or equipment that will create a substantially negative impact on the natural resources of the County or the natural environment as a whole.

1. The applicant is seeking a special use permit for 33 structures with a total of 190 individual storage units proposed for indoor storage facility and private storage use. (see exhibits 4 and 10)

2. The applicant has indicated a 75 ft. setback from a drain where 40 feet is required per sections 6.4.9. and 9.4.1. (see exhibit 10)

3. The proposed special land use will not involve uses, activities, processes, materials, or equipment that will create a substantially negative impact on the natural resources of the County or the natural environment as a whole

4.

5. Standard has been met.

Or.

- 1.
 2. Standard has not been met.
- c. The proposed special land use will not involve uses, activities, processes, materials, or equipment, or hours of operation that will create a substantially negative impact on other conforming properties in the area by reason of traffic, noise, smoke, fumes, glare, odors, or the accumulation of scrap material that can be seen from any public or private highway or seen from any adjoining land owned by another person.
1. The applicant is seeking a special use permit for 33 structures with a total of 190 individual storage units proposed for indoor storage facility and private storage use. (see exhibits 4 and 10)
 2. The proposed use will not involve uses, activities, processes, materials, or equipment, or hours of operation that will create a substantially negative impact on other conforming properties in the area.
 - 3.
 4. Standard has been met.
- Or.
- 1.
 2. Standard has not been met.
- d. The proposed special land use will be designed, constructed, operated, and maintained so as not to diminish the opportunity for surrounding properties to be used and developed as zoned.
1. The applicant is seeking a special use permit for 33 structures with a total of 190 individual storage units proposed for indoor storage facility and private storage use.
 2. The subject lot contains 27.8 acres. (see exhibit 4 and staff report)
 3. The ongoing use as proposed will be constructed, designed, operated and maintained so as not to diminish the opportunity for surrounding properties to be used and developed as zoned. (see exhibits and)
 - 4.
 5. Standard has been met.
- Or.
- 1.
 2. Standard has not been met.
- e. The proposed special land use will not place demands on fire, police, or other public resources in excess of current capacity nor increase hazards from fire or other dangers to the subject property or adjacent properties.
1. The owner/applicant is seeking a special use permit for individual rental storage units. (see exhibit 3)
 2. The proposed use will not place demands of fire, police, or other public resources in excess of current capacity nor increase hazards from fire or other dangers to the subject property or adjacent properties. (see exhibit 3 and 5)
 - 3.
 4. Standard has been met.
- Or.
- 1.
 2. Standard has not been met.
- f. The proposed special land use shall not increase traffic hazards or cause congestion on the public or private highways and streets of the area in excess of current capacity. Adequate access to the site shall be furnished either by existing roads and highways or proposed roads and highways. Minor residential streets shall not be used to serve as access to uses having larger area-wide patronage. Signs, buildings, plantings, or other elements of the proposed project shall not interfere with driver visibility or safe vehicle operation. Entrance drives to the use and to off-street parking areas shall be no less than 25 feet from a street intersection (measured from the road right-of-way) or from the boundary of a different zoning district.
1. The owner/applicant is seeking a special use permit for individual rental storage units. (see exhibit 4)
 2. The subject property is located on North Straits Highway which is a State Highway. (see exhibit 4 and 10)
 3. The use will not cause congestion on North Straits Highway or increase traffic hazards in excess of current capacity.

4. The site is to be served by a driveway from North Straits Highway which provides adequate access to the site. The access drives is more than 25 ft. from a street intersection. (see exhibit 10)
 5. Two (2) free standing signs are proposed to be located within the right of way of North Straits Highway. Signage shall not interfere with driver visibility. A driveway permit shall be required. (see exhibit 10 and staff report)
 - 6.
 7. Standard has been met.
- Or.
- 1.
 2. Standard has not been met.
- g. The proposed special land use will be adequately served by water and sewer facilities, and refuse collection and disposal services.
1. The owner/applicant is seeking a special use permit for individual storage units. (see exhibit 4)
 2. Water and sewer facilities or refuse collection are not necessary for this use.
 - 3.
 4. Standard has been met.
- Or.
1. The applicant has not adequately demonstrated that water and/or sewer and/or refuse collection is not needed.
 2. Standard has not been met.
- h. The proposed special land use will comply with all specific standards required under this Ordinance applicable to it.
1. The special use complies with all the specific standards required under this Ordinance applicable to it. (see exhibit 1, 4 and 10)
 - 2.
 3. Standard has been met.
- Or.
- 1.
 2. Standard has not been met.

SPECIFIC FINDINGS OF FACT UNDER SECTION 20.10 OF THE ZONING ORDINANCE

The Planning Commission makes the following findings of fact as required by section 20.10 of the Zoning Ordinance for each of the following standards listed in that section:

- a. The site plan shall be designed so that there is a limited amount of change in the overall natural contours of the site and shall minimize reshaping in favor of designing the project to respect existing features of the site in relation to topography, the size and type of the lot, the character of adjoining property and the type and size of buildings. The site shall be developed so as not to impede the normal and orderly development or improvement of surrounding property for uses permitted in this Ordinance.
1. Little change will take place to the overall natural contours of the site. (see exhibits 4, 9 and 10)
 - 2.
 3. Standard has been met.
- Or.
- 1.
 2. Standard has not been met.

- b. The landscape shall be preserved in its natural state, insofar as practical, by minimizing tree and soil removal, and by topographic modifications which result in smooth natural appearing slopes as opposed to abrupt changes in grade between the project and adjacent areas.
 - 1. The area of the site proposed for development is open and free of trees. (see exhibit 9)
 - 2. Minimal topographic modifications are proposed with minimal tree and soil removal in order to facilitate the development. (see exhibit 4 9 and 10)
 - 3.
 - 4. Standard has been met.Or.
 - 1.
 - 2. Standard has not been met.

- c. Special attention shall be given to proper site drainage so that removal of storm waters will not adversely affect neighboring properties.
 - 1. The applicant indicates that stormwater will be directed to west from the development area on the subject property. (see exhibit)
 - 2. A permit under the Cheboygan County Soil Sedimentation and Stromwater Control Ordinance relative to the Commercial Development zoning district will be required. (see staff report)
 - 3. There is an existing drain on the site. (see exhibit 10)
 - 4. Standard has been met.Or.
 - 1. The applicant has not demonstrated that removal of storm waters will not adversely affect neighboring properties.
 - 2.
 - 3. Standard has not been met.

- d. The site plan shall provide reasonable, visual and sound privacy for all dwelling units located therein. Fences, walls, barriers and landscaping shall be used, as appropriate, for the protection and enhancement of property and for the privacy of its occupants.
 - 1. Not applicable. No dwelling units are proposed.

- e. All buildings or groups of buildings should be so arranged as to permit emergency vehicle access by some practical means.
 - 1. A practical means for access by emergency vehicle is provider via a access driveway from North Straits Highway and 60 foot wide drive areas between buildings. (see exhibit 10)
 - 2.
 - 3. Standard has been met.Or.
 - 1.
 - 2. Standard has not been met.

- f. Every structure or dwelling unit shall have access to a public street, walkway or other area dedicated to common use.
 - 1. The structures on the subject have access to North Straits Highway, which is a State Trunkline. (see exhibit 10)
 - 2.
 - 3. Standard has been met.Or.
 - 1.
 - 2. Standard has not been met.

- g. For subdivision plats and subdivision condominiums, there shall be a pedestrian circulation system as approved by the Planning Commission.

1. Not applicable. No subdivision condominiums or subdivision plats are proposed.

- h. Exterior lighting shall be arranged as follows:
 - a. It is deflected away from adjacent properties,
 - b. It does not impede the vision of traffic along adjacent streets and
 - c. It does not unnecessarily illuminate night skies.
 1. Lighting will be down directional wall packs located on the buildings which deflected away from adjacent properties and does not impede vision of traffic and does not unnecessarily illuminate night skies. (see exhibit 4)
 2. No other exterior lighting is proposed (see exhibit 4 and 10)
 - 3.
 4. Standard has been met.

Or.

 - 1.
 2. Standard has not been met.

- i. The arrangement of public or common ways for vehicular and pedestrian circulation shall respect the pattern of existing or planned streets and pedestrian or bicycle pathways in the area. Streets and drives which are part of an existing or planned street pattern which serves adjacent development shall be of a width appropriate to the traffic volume they will carry and shall have a dedicated right-of-way equal to that specified in the Master Plan.
 1. Not applicable . No public common ways are proposed.

- j. Site plans shall conform to all applicable requirements of state and federal statutes and the Cheboygan County Master Plan, and approval may be conditioned on the applicant receiving necessary state and federal permits.
 1. The site plan conforms to applicable requirements of state and federal statutes and the Cheboygan County Master Plan. (see exhibit 2)
 - 2.
 3. Standard has been met

Or.

 - 1.
 2. Standard has not been met.

DECISION

TIME PERIOD FOR JUDICIAL REVIEW

State law provides that a person having an interest affected by the zoning ordinance may appeal a decision of the Planning Commission to the Circuit Court. Pursuant to MCR 7.101 any appeal must be filed within twenty-one (21) days after this Decision and Order is adopted by the Planning Commission.

DATE DECISION AND ORDER ADOPTED

Wednesday, July 19, 2017

Patty Croft, Chairperson

Charles Freese, Secretary



CHEBOYGAN COUNTY COMMUNITY DEVELOPMENT DEPARTMENT

CHEBOYGAN COUNTY BUILDING ■ 870 S. MAIN STREET, PO BOX 70 ■ CHEBOYGAN, MI 49721
PHONE: (231)627-8489 ■ FAX: (231)627-3646
www.cheboygancounty.net/planning/

MEMO

Date: July 5, 2017 (updated 7/6/17)
To: Planning Commission
From: Steve Schnell
Re: Boat shelter amendment discussion and results of request for input

The Planning Commission requested an online questionnaire be distributed to gather public input on boat shelters. Specifically, information was sought on boat shelters that did not have walls. An online questionnaire was set up to gather input from the general public. A notification was sent out via email to those who regularly receive Planning Commission meeting notifications. In addition, a map was created showing the inventory of existing boat shelters and a postcard was sent out to property owners in the vicinity of existing boat shelters as well as lake associations, the DEQ, and the DNR.

To interpret these results it is important to understand the limitations of such a process. The respondents to this questionnaire were those who chose to participate. Therefore, there is no way to know that this is an accurate portrayal of the desired population of respondents. The same can be said for any public hearing that is held on a topic: the input received is from those who choose to participate. Also, this was set up to gather initial input on a general topic with no specific draft amendment language to review.

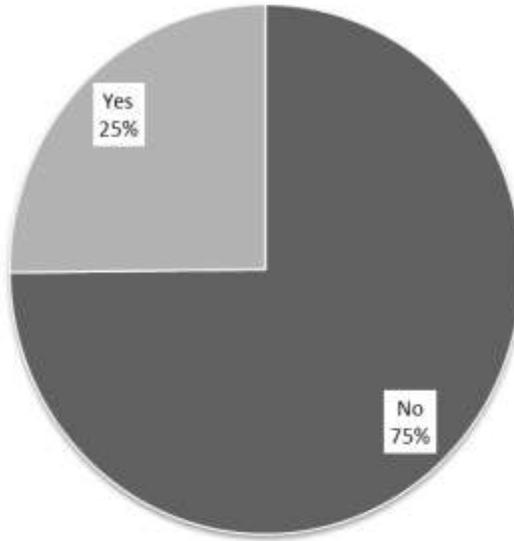
Regarding the design of the questionnaire, the comments that were provided reflect some of the questions that remain since there were no specific regulations being proposed at this time. Comments like “survey too vague” indicated one of the challenges of seeking input at the start of a project before the specific language is drafted.

There were 269 responses received. Generally, comments included overall favorable attitudes towards boat shelters with 25% of the respondents being opposed and 75% not being opposed. There were only 3 responses which appeared to be duplicates. One respondent stated they didn’t know if the first response went through and another respondent submitted a total of 3 responses as they had more comments to provide. If we were to remove those known duplicates this only changes the balance to 24% of respondents indicating “yes” to being opposed and 76% answering “no” to whether they were opposed. Only 2 respondents didn’t answer this first question. The following 3 questions received 209, 206, and 205 responses, respectively.

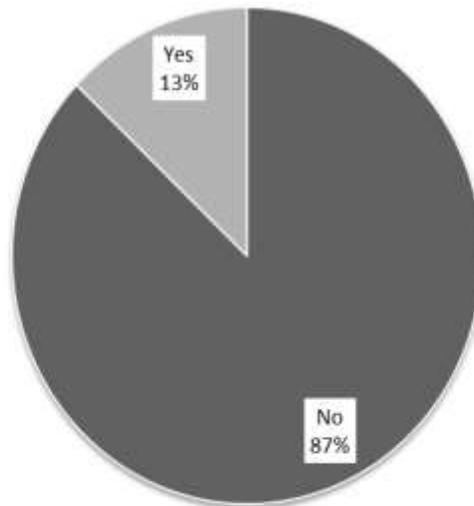
Some comments also showed support for boat shelters along with requirements that they are built appropriately – that they are attractive, well maintained, and built to withstand high winds. There were concerns expressed about protection of water quality. A letter from the DEQ regarding the impact of these structures on the natural environment is included in your packet. There were other thoughts expressed including some thoughts about their impact on views but also some who believed that, no matter what, people had a right to build them. All comments received are included verbatim in this memo for your further review and discussion at a future meeting.

Responses to questions 1-4

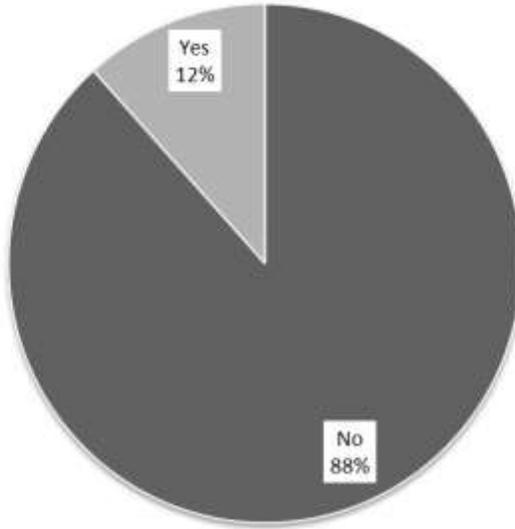
Q1: Opposed to allowing boat shelters no matter what type of construction is allowed?



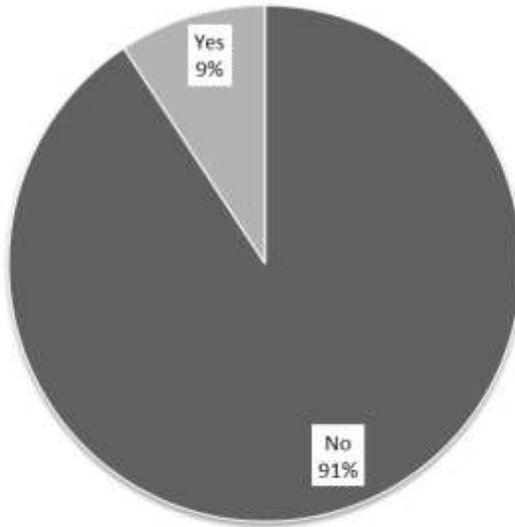
Q2: Opposed to allowing boat shelters if they had no solid walls?



Q3: Opposed to allowing boat shelters in areas where none or few currently exist?



Q4: Opposed to allowing new boat shelters in areas where many currently exist?



Additional comments (each cell represents one respondent's comments, unedited)
check for structures recently constructed close to water but not boat houses
Should be allowed where others exist now.
Not clear as to what this proposal applies: Only old existing boat wells? New ones? What defines a boat well? Is that the same as a boat house? Also, this is just not necessary, in general. Just another opportunity for problems and unsightly structures to be built; it seems many unsightly things are already allowed in Cheboygan - we don't need more. Heck, the existing boat houses don't appear to be well-maintained as it is. Even with strict rules, I would anticipate enforcement to be an issue.
Sorry, if I'm duplicating...not sure if my survey I already created was submitted (received an error message). Vague as to what this applies: Existing boat houses/wells? Allowing new ones? Slippery slope allowing more structures to be built that would likely detract from the scenery. History to date would suggest there will be issues with unsightly and possible unsafe structures being erected, that block views. Current boat houses don't appear to be visually pleasing - adding more, with or without sides would likely be the same.
The waters of our State belong to the people and should not have private structures on or above them.
Although I do have a boat well, and have seriously considered this proposal, I believe that allowing such side-less covers for wells on the waterways would detract from the natural beauty and possibly present a safety issue. It is not uncommon to experience 60-70 MPH wind gusts which would require the structural design to withstand at least 80 MPH or even 100 MPH wind gusts. I have seen, in other areas, such covers blow off during storms causing damage to property and other boats some distance from where they were constructed. Also it would be very difficult to control that which is aesthetically pleasing versus that which is an eye sore.
The first question states "no matter what type of construction is allowed".
We have no problem with boat shelters however they should be built in good taste and with sound construction practices so as not to be an eye sore or danger to the waterways.
Boathouses are not a nuisance. They help to keep our property safe from Northern Michigan weather. The only thing "wrong" with them is the potential lack of upkeep on non wood structures.
There are already enough old docks floating down the river during spring breakup. We don't need more structures in the river that could be displaced by ice which could cause navigation issues.
Not quite sure what "level of importance to previous question" is exactly supposed to mean.
Survey too broad will this change have negative impact on navigation?
Thank you for asking....
There need to be guidelines for structures before residents will approve
My Black River lot is angled to the river (not 90 degrees). If my neighbor puts up a boat shelter, it can end up closer to my house, than theirs and adversely affecting my view of water. As a matter of fact, they put up some kind of a boat house that is currently blocking the view. Thank you.
A follow-up comment to my previous comment. My lot slope down toward the water, so a boat house roof may obstruct as much as much as walls. Thank you.
I pose this question, if you spend the extra money to purchase a water front view, why have anything obstruct your view?
Don't want obstructed view of river.
You should be thanking people trying to make things look great down the river. You could spend more

<p>time ticketing, people that don't keep their properties up. If anything, someone that makes their property look better they should be given a tax break. You spend way too much time messing with the good folks trying to improve how things look to all the visitors that go by from the river.</p>
<p>Not opposed to boat houses regardless of walls. As long as it is well constructed, we would have no objection</p>
<p>I think the board should review each request and concenter it on it merits. There is no one size fits all in the situation. In general I support property owner rights ,however no one wants the natural beauty of the river system to be littered with sub standard structures. .</p>
<p>shelters in question should not be permitted if they extend into the waterway, in the narrow sections of the rivers or if the neighbors are opposed to the shelter possible blocking there view thank you</p>
<p>Let's keep the rivers as natural as possible and not let homeowners build boat covers that may impede views, etc. of other homeowners.</p>
<p>I believe Boathouses can become an attractive part of the Cheboygan county water-front community. My concern is having good restrictions and regulations in place. If done right, this will greatly enhance an individuals property. No junk!!</p>
<p>The first question is confusing because I care what type of construction but as long as there are not solid walls I wouldn't have any issues with this.</p>
<p>Why Clutter The View and if this is approved; it will not be long that boats will be hanging from the so called roofs all or part of a year further blocking the view and temporary canvas or plastic sheeting will also be used. Give them an inch and they'll take a MILE!!!!!!!</p>
<p>Shelters with "No Sides" only permitted</p>
<p>Stormwater runoff carries pollutants, and our objective is to keep hard surfaces and rooftops as far away from the shoreline, as possible. A boathouse will increase impervious surfaces, which cause negative impacts by preventing water from infiltrating through the soil. This increases velocity and often the duration of runoff, diverting the runoff to either the neighboring properties or, more likely, directly to the stream, inland lake, or Lake Huron.</p> <p>For this question, we do not know specific intentions for a specific property, so the amount of increased impervious surfaces for any site is unknown. However, studies show that once the area around a waterway reaches 10-15% impervious surfaces, water quality is greatly and noticeably reduced.</p> <p>Boathouses also limit the ability of a shoreline buffer zone to perform its vital functions in protecting lakes and streams. Dredging is also sometimes involved, in an area that normally would not need dredged. This could impose significant impacts on lake or stream bottom biota.</p> <p>Finally, boathouses are traditionally built using treated lumber or other materials for dock structures that will be submerged in water. Treated lumber and certain other materials may contain compounds that can be released into the water and become toxic to the aquatic environment. (The American Wood Preservers Institute recognizes that even with the standards by the American Wood Preservers Association and its Canadian counterpart, Canadian Wood Preservers Association, a certain quantity of the chemical used to preserve wood will leach or migrate from treated wood structures built in aquatic and wetland areas into the water column and surrounding sediments. These chemicals have the potential to impact biota when dissolved in the water and accumulated in sediment.)</p> <p>Free standing seasonal docks and free standing seasonal boat hoists provide for the rights extended to riparian property owners for wharfage. Placing seasonal docks and hoists on bottom lands adjacent to private riparian property is a common law right and provides the applicant with a viable alternative to a permanent covered boathouse.</p>
<p>open to public, no phone #</p>

You should be able to have an enclosed boathouse
I don't see anything wrong with this, when you travel around the country this is allowed all over
Curious about definition of 'maintaining' a current walled boat house.
I feel that there are enough boat houses on the Indian River, any more would detract from the natural beauty of the area.
Any shelter COULD be annoying if it blocked a neighbor's view.
This is great news for us that own property on the water to protect our investment in boats and personal water craft
Do not currently have a boathouse, or have no plans to build one...
I think this is very important to the growth and beautification of the area
Obstructing view and changing scenic visual of river is greatly opposed. Would like boathouses established to be inspected and required to be removed if unsafe and river view obstructed.
Construction of a boat house or just a roof impedes the view of the river.
Black Lake typical winter ice cover will destroy almost any typical boat shelter on lake shore property. River shore lines should be allowed with no walls,
Personally, I would actually like to preserve my view of Indian R. However, I have a few good neighbors that do want to build a or modify their boat shelter. Rats!
Thank you for submitting this survey.
Your whole explanation is rather vague as to what you'll allow and in what circumstances. We should really be given much more specific details on this or people will just build unsightly structures.
I support allowing boat shelters/houses of any kind.
It seems this could have been written more clearly. Am not completely sure I gave my intended answer ! When and where will I be able to see the results of this survey?
Its important if you have to pump the water out of a fishing boat!
I am a waterfront property owner
Thanks for asking about this subject, I think you should allow TIKI bars within the 40' zone also as they are a no harm temporary structure. Thank you.
We believe that permanent boat shelters should be permitted and encouraged. Construction standards should be required. We would love to see good looking boat houses and would consider building one ourselves.
We do not care what people do with property they own and ae paying taxes on.
In particular, the clause "and any navigable waterway connected to them" creates quite a bit of leeway and room for interpretation as to where the geographic limits of this expanded use would be. The Pigeon River is a state designated Natural River, the administration of which is handled by Cheboygan County. One could feasibly navigate a boat from Indian River into the lower Pigeon and therefore expect Cheboygan County to allow a boat shelter to be constructed. This would be in direct conflict with the Natural Rivers Program administration.
These questions are phrased in a double negative manner. Instead of "Are you or your organization opposed to allowing boat shelters if they had no solid walls?" It should state: "Do you or your organization approve of allowing boat shelters if they have no solid walls?" When using a double negative format it makes it harder for people to decipher what is being asked.
A Boat Shelter/Roof with No Sides should be acceptable. If you live on the water 98% of us who live on the water own boats or watercraft of some type. Most of which represent a substantial investment we want to protect from harmful Ultraviolet Rays (UV), Rain, Bird Droppings, or other falling Natural

Debris. Suitable Building Regulations and other building 'guidelines' should be incorporated that are reasonable, and employ good common sense. Thank you for asking.
as long as the boat houses are maintained it should be the property owners decision to have boat houses. if they are not maintained then other measures should be taken.
I am not opposed to Tiki Bars and such establishments that are very common in Lake Living.
The opportunity to build a boat shelter with or without walls would be great. It would be great to help maintain our boat. I really hope that the zoning regulations can be changed to allow the boat houses. Done properly it can only improve the esthetics of our river fronts and improve our home values.
Not a member of any organizations one way or another; didn't know they existed.
Sounds like a good plan.
Something should be done about the boathouses that look like they are falling done. Left up because they are grandfathered in, but look so unsafe that I would never put my boat in. Those are the real eyesore.
Would not want to see structures on the main river.
Boat houses often look sloppy and poorly Maintained. Boat covers with no solid walls would be easier to maintain and do not block views so much.
I would assume that MDEQ and Army Corp of Engineers permitting would still be required as they are with a permanent dock structure, along with a local building permit and inspection.
I also suggest that owners of dilapidated shelters be required to remove them or fix them. Some are a real eyesore
I support any zoning that may have the impact of increasing buyer demand for vacant land. This waterway is known for recreational boating. If potential land buyers are boaters, this could only help to increase demand bringing buyers to the market and maybe increased land prices.
I am NOT opposed to boat shelters or boat houses of any kind with or without walls.
This is needed in our area to protect out boats and put people to work building them.
We need to allow boat shelters as they protect boats look nice and employ people to build them. I feel putting sides on them would be nice as well to protect boat from rain and water. Steve Konicki Black River
It must be clear if only existing boat wells are to be considered. i have a neighbor with poles in the river and a tarp over his boat. it looks terrible. would he be able to have a permanent structure? Many questions to consider.
SHOULD BE ALLOWED AS LONG AS THEY ARE PROPERLY MAINTAINED
This is a good idea. I am more likely to improve my property if this is allowed
Temporary boat shelters only. The rivers would be crowded and appear very unsightly and unnatural with permanent structures.
Higher taxes on waterfront should come with privileges.
Cheboygan County rules are getting more, more, more complex for property owners needlessly! Your rules should not hinder property owners usage and enjoyment of their homes and property!!! These needlessly complex construction regulations are greatly adding to construction costs for all tax payers-- --not good!!!!
Will block view of scenery of what could be available without the boat shelter. Most that I have seen also have an overhang to protect the boat from weather elements. No mention is made of construction material, size, pitch of roof, etc. AS I have witnessed in the past, it opens the door to other changes that are not restrictive as the present ordinance. I firmly oppose any change to the ordinance, especially this drastic one. Thank You for letting us present our view.

This is a very misleading survey. Questions 3 & 4 are discriminatory.

There are already many boat shelters along the waterways listed and property owners should be allowed to protect their boats by permanent shelters if they so desire.

I think that the shelters are very beneficial. When we were confronted with this situation we were granted the ability to take down a dangerous old boat house and replace it with this type of shelter. We were very careful to make sure it was high enough to not obstruct our neighbors view of the river. I believe there is a substantial safety benefit for everyone by storing your boats in a boat well as opposed to storing them on the river front. Indian River is not very wide in many places. Having and using protective boat wells opens up the river. For example, we have been watching the boat races for over 30 years. The racers come dangerously close to hitting boats in parts of the river. We move our boat to the boat well and off the river for any of these types of activities.

Allowing the homeowners to have covered boat wells encourages them to secure their boats on their own property. I have never understood why this is such an issue as long as everyone is considerate of their neighbors.

Name	Address	city	State	Zip	Parcel#
ABAR, VERA LIVING TRUST	1821 DACOSTA	DEARBORN	MI	48128	162-M49-000-018-00
ABARE, ROBERTA J & PHILIP J NASH,	4076 NORTH GALE RD	DAVISON	MI	48423	161-I33-000-014-00
ABM REAL ESTATE, LLC	PO BOX 146	MULLETT LAKE	MI	49761	092-008-300-018-01
ALAPERET, WARREN & JUDITH H/W	5836 BELLCHASE DR	INDIAN RIVER	MI	49749	162-M47-000-011-00
ALBERS, JERRY L/E; ALBERS, GERALD &	9739 ROSEMARY LANE	BRIGHTON	MI	48114	104-035-100-022-00
ALFORD, MARK & KATHLEEN H/W	205 N SPRUCE ST	TRAVERSE CITY	MI	49684	092-Y31-000-009-00
ALLEN, GEORGE	8584 TOWNLINE RD	CHEBOYGAN	MI	49721	092-019-100-043-05
ALLEN, JERRY & SANDRA H/W	8650 W BLACK LN	CHEBOYGAN	MI	49721	105-B06-000-013-00
ALLEN, RAY M	209 VIA DELUNA	ENGLEWOOD	FL	34224	104-017-400-017-00
ANDERSEN, JOHN & CAROLYN H/W	2 LOWER LAKESHORE DR	KATONAH	NY	10536	151-017-200-001-00
ANDERSON, DELYNN	PO BOX 4	MULLETT LAKE	MI	49761	105-B06-000-007-00
ANDRES, JAMES & RUTH ANN H/W	6391 LENZ DR	CHEBOYGAN	MI	49721	151-007-100-021-00
ANDREWS, BARBARA J	3114 BROOKSIDE DR	WATERFORD	MI	48328	153-001-100-022-00
ANDREWS, MITCHELL JR TRUSTEE	550 BAYVIEW DR	CHEBOYGAN	MI	49721	052-G63-001-011-00
ANDREWS, ROBERT M & MICHELE H/W	7850 GOLF VIEW DR	CHEBOYGAN	MI	49721	105-R53-000-017-00
ANSELM, DIANE M, TRUSTEE	23613 N ROCKLEDGE BLVD	NOVI	MI	48375-3760	052-G63-001-010-00
ANTHONY, LINDA K	1945 TOPINABEE MAIL RT RD	CHEBOYGAN	MI	49721	092-006-300-024-00
ARCHAMBO, ARTHUR & PATRICIA H/W	2226 N BLACK RIVER RD	CHEBOYGAN	MI	49721	153-R09-000-014-00
ARMSTRONG, JERRY & PHYLLIS H/W	6219 BRENDA LN	ONAWAY	MI	49765	231-B01-000-014-00
ARNOLD, KRIS & MARY H/W	3588 6TH ST	WAYLAND	MI	49348	054-P41-003-007-00
ARTIP, MICHAEL W	2574 W RISTOW HWY	ROGERS CITY	MI	49779	231-014-200-008-00
ATHEARN, BRUCE & MARY, TTEES	4435 NINTH ST	WAYLAND	MI	49348	162-019-100-011-01
AUBERT, AUSTIN W	134 N COURT ST	LAPEER	MI	48446	105-B07-000-018-00
AUBERT, HARLYN	6110 KORAL BAY RD	CHEBOYGAN	MI	49721	105-B07-000-017-00
AUBERT, HARLYN & CLARECE H/W	6110 KORAL BAY RD	CHEBOYGAN	MI	49721	105-B07-000-016-00
AUSTIN, FRANCIS X & JERRY H/W	41899 CONNERWOOD CT	CANTON	MI	48187	162-019-100-025-00
BABCOCK, JOHN & CAROL H/W	3860 FIFTEENTH ST	WYANDOTTE	MI	48192	153-C04-000-008-00
BACKSTROM, JACK; DEBBIE MINCH &	13056 GRANT CIRCLE	CLIO	MI	48420	161-I31-012-001-01
BADGERO, CHARLES & JENNIFER H/W	11289 WIGGLESWORTH RD	ONAWAY	MI	49765	231-036-100-006-00
BAILEY, LARRY & SANDRA H/W	6750 STRAWFLOWER LN	CHEBOYGAN	MI	49721	153-B02-000-023-00
BAKER, JANE	3119 APPLE BLOSSOM ST	INDIAN RIVER	MI	49749	162-019-100-023-00
BAKER, MARY & CHARLES W/H; CARRIE	7985 VIAU RD	CHEBOYGAN	MI	49721	151-017-400-001-01
BALAWENDER, JAMES & JANICE H/W	6267 CUNNINGHAM LAKE RD	BRIGHTON	MI	48116	140-R23-000-010-00
BALDWIN, TODD & DONNA H/W	1029 PAULLY RD	CHEBOYGAN	MI	49721	092-008-300-014-02
BALL, SUSAN M	544 BAYVIEW	CHEBOYGAN	MI	49721	052-G63-001-013-00
BANCROFT, GERRIT & MOLLY BANCROFT,	5925 FINDLAY RD	SAINT JOHNS	MI	48879	104-022-101-003-02
BANKS, ANDREW & ANGELA H/W	1801 OBRIEN RD	MAYVILLE	MI	48744	231-003-100-001-00
BARETTE, HAROLD & ROZETTA, TTEES	1090 LEE ST	ENGLEWOOD	FL	34224	151-017-200-017-00
BARNETT, HUGH W, TRUSTEE	PO BOX 1408	SPRINGFIELD	OH	45504	092-Y31-000-039-00
BARR, BRUCE & NANCY H/W	9608 JOHN WERNER DR	CHEBOYGAN	MI	49721	105-R53-000-006-00
BARRETT, PAMELA, TRUSTEE	2196 MCDONALD DR	MOUNT PLEASANT	MI	48858	161-I31-015-001-01
BARRY, ARTHUR L/EWPTS;	6513 N BLACK RIVER RD	CHEBOYGAN	MI	49721	105-R55-000-003-00
BEALS, EDWARD & JENAY H/W	9460 HARRISON ST	LIVONIA	MI	48150	104-035-200-025-00
BEALS, PATRICIA M	9266 ALLEN RD	ALLEN PARK	MI	48101	153-B02-000-001-00
BEALS, PAUL & LAURA H/W	9724 RUTH AVE	ALLEN PARK	MI	48101	172-I15-000-003-00
BEATTY, MARVIN & MARMA TRUST	PO BOX 478	ONAWAY	MI	49765	231-014-200-007-03
BECK, GARY & BECKY NEELIS, JTWFRS	6311 LENZ DR	CHEBOYGAN	MI	49721-0344	153-R09-000-010-00
BEDNARZ, DORIS	328 DUNCAN AVE	CHEBOYGAN	MI	49721	104-017-300-014-00
BEEBE, DIANE, TTEE	2851 GRATIOT ST	INDIAN RIVER	MI	49749	162-018-300-002-00
BEEBE, RICHARD & DEBRA	4716 FOREST TRAIL	INDIAN RIVER	MI	49749	161-I31-019-007-01
BEHM, WILLIAM & REBECCA H/W	3189 APPLE BLOSSOM ST	INDIAN RIVER	MI	49749	162-019-100-031-00
BENTLEY, NANCY D	45141 HARRIS RD	BELLEVILLE	MI	48111	153-E07-000-010-00
BENTLEY, TERRY & KATHERINE H/W	19610 CLARK RD	BELLEVILLE	MI	48111-9113	153-001-100-027-00
BERBAS, BRADLEY & WENDY H/W	1490 ROSE CENTER RD	FENTON	MI	48430	162-019-100-021-00
BERING, LILLIAN AND	6700 STRAWFLOWER LN	CHEBOYGAN	MI	49721	153-B02-000-029-00
BERLIN, WANETA	3672 RIVER REST RD	CHEBOYGAN	MI	49721	104-027-200-006-00
BERRY SELF-TRUSTEES LIV REVOC TRUST	4916 REFLECTIONS DR	CHEBOYGAN	MI	49721	140-R22-000-004-00
BIDDINGER, LARRY TRUSTEE	PO BOX 146	INDIAN RIVER	MI	49749	161-I31-016-005-00
BIG BOY RESTAURANT	ONE BIG BOY DR	WARREN	MI	48091	055-G17-003-001-00
BILINKAS & KWIATKOWSKI DEVELOP, LLC	11512 N STRAITS HWY	CHEBOYGAN	MI	49721	092-006-300-021-00
BILLINGS, THOMAS & BONNIE H/W	4305 FORSYTH ST	CHEBOYGAN	MI	49721	151-007-100-022-02
BINDER, REX, TRUSTEE	1867 E DECKERVILLE RD	CARO	MI	48723	092-Y31-000-026-00
BINESI PROPERTIES, LLC	488 E LA MESA ST	MOUNT PLEASANT	SC	29464	054-M30-003-002-05
BINGHAM, RONALD & DEBORAH H/W	05429 CAMP DAGGETT RD	BOYNE CITY	MI	49712	153-012-100-007-00
BIRCHMEIER, THOMAS	9228 HUDSON DR	CHEBOYGAN		49721-9414	104-017-300-010-00
BISHOP, THOMAS & JANIC H/W L/EWPTS;	PO BOX 460	CHEBOYGAN	MI	49721	052-G63-001-008-00
BLACK RIVER CUSTOMS	9810 N STRAITS HWY	CHEBOYGAN	MI	49721	092-017-100-004-00

Name	Address	city	State	Zip	Parcel#
BLACK RIVER FULL GOSPEL	2732 ORCHARD BEACH RD	CHEBOYGAN	MI	49721	151-017-100-007-00
BLACK RIVER LIMITED PARTNERSHIP	764 LEXINGTON CR			XXXXX	104-035-200-012-00
BLACK RIVER LTD	764 LEXINGTON CR			XXXXX	104-035-400-018-00
BLASZAK, GARY & SHIRLEY H/W	7272 E M-113	KINGSLEY	MI	49649	105-557-000-004-00
BLOCK, FRED A & JAMES A BLOCK TIC	11824 SWEITZER RD	CARLETON	MI	48117	231-025-100-011-00
BLOCK, GREGORY & FRED BLOCK, TIC	20455 VINING RD	NEW BOSTON	MI	48164	231-025-300-010-00
BLOCK, JAMES & FRED BLOCK TIC	11824 SWEITZER RD	CARLETON	MI	48117	231-024-400-017-00
BLOCK, JAMES A	11824 SWEITZER RD	CARLETON	MI	48117	231-025-200-001-00
BOARDWALK MAIZE LLC	1369 BALLYBUNION CT. SE	GRAND RAPIDS	MI	49546	161-P63-000-007-00
BOCK, GREG & KELLY (STACKPOLE-BOCK)	14534 CARROLL RD.	BLISSFIELD	MI	49228	162-I41-006-007-00
BODHAINE, DUANE & DOROTHY, TTEES	11700 AMMAN RD	SAINT CHARLES	MI	48655	140-012-200-003-01
BOEHM, FRANKLIN & JACQUELYN (DECD)	6023 BAYOU DR	CHEBOYGAN	MI	49721	153-B02-000-036-00
BOEHM, FRANKLIN & JACQUELYN TRUST	6023 BAYOU DR	CHEBOYGAN	MI	49721	153-B02-000-012-00
BOEHM, FRANKLIN & JACQUELYN, TTEES	6023 BAYOU DR	CHEBOYGAN	MI	49721	105-R47-000-018-00
BOEHM, PAUL & LISA H/W	12720 SWEITZER	CARLETON	MI	48117	105-R47-000-019-00
BOELTER, JAMES ERNEST	590 S MILTON	PELLSTON	MI	49769	151-021-100-006-00
BOHLS, KAY L L/E & KAY L BOHLS,	1861 LINDBURGH LN	CHEBOYGAN	MI	49721	104-017-400-014-00
BOIK, EMIL E & DENISE G H/W	3379 OWENS RD	CHEBOYGAN	MI	49721	151-017-200-008-04
BOLDENOW, CRAIG ALLEN	34410 MORAVIAN	STERLING HEIGHTS	MI	48312	105-F19-000-001-00
BOLEN, PATRICK & KATHLEEN H/W	5600 SOUTH RIVER RD	CHEBOYGAN	MI	49721	140-001-100-008-01
BORDNER, KEVIN & KATHERINE H/W	5004 STOLL RD	CHEBOYGAN	MI	49721	140-R23-000-001-00
BORRMAN, HAROLD & DEBORAH H/W	10501 S MOONLIGHT BAY RD	CHEBOYGAN	MI	49721	104-008-300-001-02
BOUCARD, LOUIS J & SUSAN H/W	PO BOX 1385	MUKILTEO	WA	98275	092-017-100-015-00
BOUHANA, THOMAS & ANDREA H/W	11479 HIGHLAND RD	HARTLAND	MI	48353	104-017-400-015-00
BOUMAN, CHARLES & LINDA H/W	2964 N PUENTE ST	FULLERTON	CA	92835-1949	161-I31-016-002-00
BOURDEAU, GERALDINE, TRUSTEE	3118 CANTON RD	CHEBOYGAN	MI	49721	104-035-100-021-01
BOYD, HELEN J L/EWPTS; HELEN J	8972 ANNA DR	CHEBOYGAN	MI	49721	092-019-100-023-00
BOYD, HELEN J L/EWPTS; HELEN J	8972 ANNA DR	CHEBOYGAN	MI	49721	092-019-100-027-00
BOYD, PAUL R TRUSTEE	8572 SHORT CUT RD	FAIR HAVEN	MI	48023	151-017-200-008-02
BOYD, THOMAS M	3901 OWENS RD	CHEBOYGAN	MI	49721	151-017-200-002-00
BOYER, ROBERT & JEAN REVOC	3245 CANTON RD	CHEBOYGAN	MI	49721	105-B05-000-040-00
BOYK, GREGORY & KATHLYRN H/W	6490 BREWER RD	FLINT	MI	48507	153-C04-000-002-00
BOYLE, WILLIAM & VIRGINIA H/W	6740 STRAW FLOWER LN	CHEBOYGAN	MI	49721	140-R25-000-016-00
BRACH, KENNETH & MARY H/W	15558 LOVELAND	LIVONIA	MI	48154	092-008-300-002-00
BRADD, ROBERT & KAREN H/W	3149 CANTON RD	CHEBOYGAN	MI	49721	105-B05-000-029-00
BRADDOCK, CAMERON & ALEXANDRA	3583 CANAL ST	INDIAN RIVER	MI	49749	161-I33-000-027-00
BRADY, ROBERT & CONNIE H/W	6105 BRENDA LN	ONAWAY	MI	49765	231-B01-000-008-00
BRAND REVOCABLE LIVING TRUST	1699 LINDBURGH LN	CHEBOYGAN	MI	49721-8446	104-017-400-007-03
BRANDT, FRED & EILEEN H/W L/EWPTS &	6112 N BLACK RIVER RD	CHEBOYGAN	MI	49721	104-035-400-017-05
BREED JOSEPH & TERESA BREED	6140 KORAL BAY RD	CHEBOYGAN	MI	49721	105-B07-000-014-00
BREED, PAUL	6281 LENZ DR	CHEBOYGAN	MI	49721	153-R09-000-006-00
BRIGHTWOOD PROPERTIES, LLC	6200 N DIXBORO RD	ANN ARBOR	MI	48105	161-I31-016-009-00
BROOKS, LEWIS, TRUSTEE	10721 S MOONLIGHT BAY RD	CHEBOYGAN	MI	49721	104-008-100-014-00
BROOKS, MICHAEL & BRENDA BROOKS	1984 MCRAE DR	CHEBOYGAN	MI	49721	105-S57-000-012-00
BROOKS, VERN E REVOC TRUST	1210 OAKBROOK DR	ORTONVILLE	MI	48462	104-016-300-006-02
BROTHERS, HAZEL	2041 FRANCE LN	CHEBOYGAN	MI	49721	104-016-300-003-00
BROVAGE, JUDITH & NANCY LEEDS,	6024 HEMLOCK	INDIAN RIVER	MI	49749	171-008-300-015-00
BROWN, BRUCE & MELISSA	3236 NIXON	POTTERVILLE	MI	48876	162-018-300-010-04
BROWN, DANIEL & SUE BROWN, TIC	2454 STILL WATERS LN	CHEBOYGAN	MI	49721	104-016-300-022-02
BROWN, DAVID & SUE ANN H/W	9019 SOUTH RIVER RD	CHEBOYGAN	MI	49721	104-016-300-022-04
BROWN, DERRICK & SARA H/W	11128 N STRAITS HWY	CHEBOYGAN	MI	49721	092-006-300-028-00
BROWN, LAWRENCE LIVING TRUST	430 BOZEMAN CT	HOWELL	MI	48843	151-017-200-008-01
BRUDER, NEIL A L/EWPTS	4577 LIEST RD	ONAWAY	MI	49765	231-013-400-014-00
BRUMMETT, H JOE	1979 FRANCES WAY	YPSILANTI	MI	48198-7603	151-007-300-006-00
BRYERS, DARRELL W	11 MILLRACE LN	KEEDYSVILLE	MD	21756-1315	162-M47-000-008-00
BUCALOS, RICARDO & BARBARA H/W	117 MEDICI TERRACE	NORTH VENICE	FL	34275-6662	092-Y31-000-013-00
BUDNICK, TODD & CORY H/W	954 S 7TH ST	ROGERS CITY	MI	49779	104-008-400-012-00
BUR, FRANK ET AL	4537 ORCHARD BEACH RD	CHEBOYGAN	MI	49721	104-026-400-002-01
BUR, TIMOTHY ET UX	4771 ORCHARD BEACH RD	CHEBOYGAN	MI	49721	104-026-400-002-02
BURG, TIMOTHY & KERRI LYNN H/W	1627 M-55	TAWAS CITY	MI	48763	171-008-300-009-00
BURGER, NANCY L/EWPTS & TIMOTHY J	8280 E FOOTE RD	CHEBOYGAN	MI	49721	092-Y31-000-029-00
BURGESS, STEPHEN & THERESA H/W	7380 VASSAR RD	GRAND BLANC	MI	48439	231-014-200-009-00
BURKE, BRYAN & JEANETTE H/W	33552 ALTA	GARDEN CITY	MI	48135	162-I35-000-033-00
BURKE, BRYAN & JEANETTE H/W	33552 ALTA	GARDEN CITY	MI	48135	162-I35-000-032-00
BURKE, DAVID	2640 N. EUCLID AVE.	BAY CITY	MI	48706	161-I31-016-003-00
BURKS, RANDALL & DEBORAH H/W	2082 HUNTER RD	BRIGHTON	MI	48114	052-E61-001-010-00
BURLESON, MARY C, EST OF 1/2 INT &	519 PLYMOUTH DR	DAVISON	MI	48423	162-M47-000-003-00

Name	Address	city	State	Zip	Parcel#
BURY, ADAM & ANN H/W	9286 HUDSON DR	CHEBOYGAN	MI	49721	104-017-300-012-00
BURY, JOSEPH F	11031 LOUISVILLE ST	LOUISVILLE	OH	44641-8533	052-E61-001-013-00
BUSSLER, THOMAS	101 MILL ST	CHEBOYGAN	MI	49721	055-006-200-023-00
BUTTS, ELAINE	1985 LINDBURG LN	CHEBOYGAN	MI	49721	104-016-300-001-00
BYNDAS , THEODORE & KAY H/W	121 N DOUGLAS ST	BOGATA	TX	75417	104-016-300-008-00
BYNDAS, SCOTT REVOC LIVING TRUST	8654 W BLACK LN	CHEBOYGAN	MI	49721	105-B06-000-012-00
BYRNES, RONALD & CONSTANCE CARANTZA	2754 W CLARK RD	LANSING	MI	48906	104-026-300-009-00
CALDWELL, V ROGER REV LIV TRUST	PO BOX 5162	CHEBOYGAN	MI	49721	092-018-400-023-00
CALDWELL, V. ROGER REVOC LIV TRUST	PO BOX 5162	CHEBOYGAN	MI	49721	092-018-400-024-00
CANNARILE, KIRK & JOANN GOFF, JTWFRS	2321 S AURELIUS RD	MASON	MI	48854	105-R47-000-012-01
CARMODY, GRACE C & RICHARD J	201 EDGEWOOD TRL	MARQUETTE	MI	49855	055-006-200-021-00
CARMODY, WILLIAM & ADELAIDE H/W	8241 TOWNLINE RD	CHEBOYGAN	MI	49721	105-B05-000-043-00
CARROLL, LIZABETH A	140 SPRING LAKE BLVD	WARETOWN	NJ	8758	104-027-200-011-00
CARROTHERS, GREGORY & CYNTHIA H/W	3096 HILLVIEW DR	METAMORA	MI	48455	153-001-400-001-04
CARTMILL, RICHARD & CYNTHIA H/W	4704 ORCHARD BEACH RD	CHEBOYGAN	MI	49721	104-035-200-002-00
CAULKINS, HENRY L JR, TRUSTEE	8999 N CANAL DR	CHEBOYGAN	MI	49721	104-018-400-009-00
CAVANAUGH, JANET B, TRUSTEE	606 BAYVIEW DR	CHEBOYGAN	MI	49721	104-005-300-001-00
CENDROWSKI, THOMAS & PATRICIA H/W	2155 E DRAHNER RD	OXFORD	MI	48370	231-013-100-011-00
CHAPMAN, DONALD & RITA H/W LE/WPTS	3118 CANTON RD	CHEBOYGAN	MI	49721	105-B05-000-025-01
CHARBONEAU, RUTH, TRUSTEE	12765 ABRAHAMSON RD	CHEBOYGAN	MI	49721	092-007-200-068-01
CHARBONEAU, THOMAS JR & MARY JO H/W	9136 SUMMERTIME CT	CHEBOYGAN	MI	49721	092-018-400-025-00
CHASKEY, CHRISTINA, TRUSTEE	21080 HUTCHINSON HWY	ONAWAY	MI	49765	231-036-300-014-00
CHASTAIN, CHAD & THOMAS CHASTAIN, CHEBOYGAN COUNTY	PO BOX 382 870 S MAIN ST	CHEBOYGAN	MI	49721	054-P41-003-009-00 052-031-404-001-00
CHEBOYGAN YACHT CLUB @ PIER 33	110 PARK AVE	CHARLEVOIX	MI	49720	092-017-100-007-02
CHELI, SUSAN C REVOC LIVING TRUST	8756 TOWNLINE RD	CHEBOYGAN	MI	49721	092-019-100-010-00
CHIMNER, PETER & JUDITH, TTEES	5933 BAYOU DR	CHEBOYGAN	MI	49721	153-B01-000-006-00
CHLIPALA, MARY LOU, L/EWPTS - THEN	1606 CEDAR LN	ANN ARBOR	MI	48105	161-I33-000-025-00
CHURCHILL, STEPHEN & SHARON H/W	7575 COVINGTON DR	CHEBOYGAN	MI	49721	151-017-200-013-00
CHINDRIC, ROBERT L/EWPTS, REMAINDER	198 CIRCLE CT	SALINE	MI	48176-1308	232-012-112-114-01
CITY OF CHEBOYGAN	PO BOX 39	CHEBOYGAN	MI	49721	052-031-204-007-00
CLARK, AUDREY (JACKSON); GEORGE	8157 BOLT DR SE	ADA	MI	49301	092-006-300-023-00
CLELAND, ALEXANDER & LORI H/W	670 CINDY LANE	CHEBOYGAN	MI	49721	052-G63-001-005-00
CLINE, THEODORE M & VERALYN H/W	13394 SOUTH 36TH ST	VICKSBURG	MI	49097	052-005-103-003-00
CLULEY, DAVID C. ET UX	1180 E PRATT RD	DEWITT	MI	48820	104-022-100-003-12
COAN, DENNIS	2063 FRANCE LN	CHEBOYGAN	MI	49721	104-016-300-005-00
COLEMAN, ROSEMARIE L	31750 ARLINGTON DR	BEVERLY HILLS	MI	48025-5662	140-012-200-003-09
COLUMBUS BEACH CLUB	PO BOX 130	INDIAN RIVER	MI	49749	161-I31-018-002-00
COMPTON, CLARK & DAWN H/W	6840 STRAWFLOWER LN	CHEBOYGAN	MI	49721	153-B02-000-015-00
CONSUMERS ENERGY COMPANY	ONE ENERGY PLAZA	JACKSON	MI	49201	052-031-402-001-00
CONVISSOR, HANNELORE & PHILIP W/H	3914 12TH ST	WAYLAND	MI	49348	161-I33-000-002-00
COOK, BRIGETTE; STEPHEN COOK &	PO BOX 1149	INDIAN RIVER	MI	49749	161-I31-010-003-00
COOK, BRUCE & KIM H/W	318 RIVERSIDE DR	CHEBOYGAN	MI	49721	052-E61-001-016-00
COOK, BRUCE E	318 RIVERSIDE DR	CHEBOYGAN	MI	49721	092-017-100-016-00
COOK, KIM C	318 RIVERSIDE DR	CHEBOYGAN	MI	49721	055-006-200-019-00
COOK, STEPHEN & BRIGETTE H/W	5815 BELLCHASE DR P.O. BOX 1149	INDIAN RIVER	MI	49749	162-M47-000-005-00
COON, JACK J & ERIN JO H/W	610 BAYVIEW DR	CHEBOYGAN	MI	49721	104-005-300-007-00
COOPER, JEANENE L, TRUSTEE	9147 N ISLAND VIEW DR	CHEBOYGAN	MI	49721	105-L29-000-007-00
COREY, NANCY L/EWPTS	3424 POPLAR ST, PO BOX 96	INDIAN RIVER	MI	49749	161-I31-015-002-00
CORMIER, MARK & SHERI H/W L/EWPTS;	5575 IRISH RD	GRAND BLANC	MI	48439	162-I43-000-004-00
CORRELL, JAMES TTEE JAMES E CORRELL	35956 QUAKERTOWN	FARMINGTON HILLS	MI	48331	161-C13-006-002-00
COURTE, FRANK & GAYANNE H/W	3650 RAINIER	HOWELL	MI	48843	104-019-400-002-00
CRISAN, THOMAS & SHARON H/W	2661 NORTON LAWN	ROCHESTER	MI	48307	140-001-300-001-00
CRIST, PHYLLIS M L/EWPTS, THEN TO:	9100 LAKE CT	CHEBOYGAN	MI	49721	151-027-300-001-00
CRIST, ROBERT & SHIRLEY H/W	3205 CANTON RD	CHEBOYGAN	MI	49721	105-B05-000-036-00
CROCKER, GARY & JOANNE H/W	511 EDMUND	ROYAL OAK	MI	48073	182-R06-000-010-00
CROFT, JAMES E & DARLENE H/W	11132 WILDWOOD RD	ALANSON	MI	49706	172-I15-000-007-00
CRONK, ROGER & REBECCA H/W	5046 STOLL RD	CHEBOYGAN	MI	49721	140-R23-000-008-00
CROOKER, GEORGE JR & JUDITH H/W	5817 LORI LN	INDIAN RIVER	MI	49749	162-M51-000-032-00
CROSS, CHRISTI L	13455 S BLACK RIVER RD	ONAWAY	MI	49765	232-012-100-011-00
CROWE, ADELINE	1014 ELEVENTH ST	BAY CITY	MI	48708	231-003-100-007-01
CROWLEY, AARON	6011 PICKARD DR	TOLEDO	OH	43613	162-019-100-030-00
CUNNINGHAM, DOUGLAS	7530 COVINGTON DRIVE	CHEBOYGAN	MI	49721	151-017-200-009-00
CUNNINGHAM, PATRICK & GLENNA H/W	12266 INVERNESS TRL RD	CHEBOYGAN	MI	49721	105-B05-000-042-00
CUNNINGHAM, THOMAS & JOCELYN H/W	1735 LINDBURGH LN	CHEBOYGAN	MI	49721	104-017-400-008-00
CYMAN, ROBERT C	9099 N BLACK RIVER RD	CHEBOYGAN	MI	49721	104-022-100-002-00
CYMAN, ROBERT REVOC LIVING TRUST	9099 N BLACK RIVER RD	CHEBOYGAN	MI	49721	104-015-300-001-00

Name	Address	city	State	Zip	Parcel#
DAESCHLER, KAY	1368 RICHMOND DR	CHEBOYGAN	MI	49721	105-P43-000-007-00
DAHLGREN, GARY & SUSAN H/W	12777 WALNUT RIDGE	SOUTH LYON	MI	48178	231-003-100-004-00
DAHLQUIST, RICHARD & CAROL H/W	426 VALE ST	CHEBOYGAN	MI	49721	105-L29-000-029-00
DAILEY, THOMAS & MARGARET H/W	1901 LAKELAND DR	FINDLAY	OH	45840	092-Y31-000-045-00
DAMM, DOUG & LU ANN H/W	8682 W BLACK LN	CHEBOYGAN	MI	49721	105-B06-000-005-00
DANIELS, WALTER & LYNNE H/W	2973 CANTON RD	CHEBOYGAN	MI	49721	105-B05-000-007-00
DAY, CURTIS & ELAINE H/W	6553 FORSYTH ST	CHEBOYGAN	MI	49721	153-C04-000-006-00
DAY, FLORENCE & CURTIS TTEES	7403 OSAGE DR	HUDSON	FL	34667	153-C04-000-005-00
DEASON, HEROLD & WILMA H/W	8592 TOWNLINE RD	CHEBOYGAN	MI	49721	092-019-111-110-00
DECKEBACH, GEORGE & MARY KAY H/W	6553 WESSELMAN RD	CINCINNATI	OH	45248	161-C13-005-001-00
DEENIHAN/RYAN ASSET HOLDINGS, LLC	1213 WEST HEART LAKE DR	GAYLORD	MI	49735	162-018-300-005-00
DEGROFF, DANIEL & PATTI	10735 S MOONLIGHT BAY RD	CHEBOYGAN	MI	49721	104-008-100-015-04
DEITERING, RICHARD & PATRICIA H/W	3431 S PROSPECT ST	INDIAN RIVER	MI	49749	161-I31-016-001-01
DELPH, JEANNE M	5830 CROOKED LN	INDIAN RIVER	MI	49749	162-018-300-010-03
DEMPSEY, GLEN (DECD) REVOC	15846 FLANAGAN	ROSEVILLE	MI	48066	104-026-111-105-00
DERRICK, CRAIG D 1/2 INT &	9637 REECK RD	ALLEN PARK	MI	48101	162-019-100-022-00
DETERS, CARROLL & MARGARET H/W	5722 SOUTH RIVER RD	CHEBOYGAN	MI	49721	140-001-109-081-00
DICOSOLA, CHRISTOPHER E &	8485 JACLYNN ANN	FLUSHING	MI	48433	162-M51-000-039-00
DIKSAS, MARK & DIANE H/W	5743 METAMORA RD	METAMORA	MI	48455	231-025-300-004-00
DISBROW, JOANNE L/E & ARTHUR	465 LINCOLNSHIRE DR	TROY	OH	45373	161-I31-007-004-00
DLUZIN, PATRICIA A	PO BOX 142	LAKE ANN	MI	49650	140-R25-000-014-00
DLUZIN, STANLEY F	PO BOX 142	LAKE ANN	MI	49650	140-R25-000-012-00
DLUZIN, STANLEY F & PATRICIA DLUZIN	PO BOX 142	LAKE ANN	MI	49650	140-R25-000-013-00
DOBBIAS, CHARLOTTE L/EWPTS AND	15206 LOUIS MILL DR	CHANTILLY	VA	20151	092-008-300-007-00
DODDER, ROBERT T	5950 SOUTH RIVER RD	CHEBOYGAN	MI	49721	153-C04-000-009-00
DOLBEER, RICHARD D, TRUSTEE	489 LONGFORD CLOSE DR EAST	SPRINGFIELD	OH	45503	092-Y31-000-038-00
DOLBEER, RICHARD D,TTEE UNDER TRUST	1901 LAKELAND DR	FINDLAY	OH	45840	092-Y31-000-042-00
DOLGAN, EDDIE & GAYLE H/W	506 MORRISH RD	FLUSHING	MI	48433	140-001-109-080-06
DOMBROWSKI, MICHAEL & ANNETTE,	19665 TWIN SCHOOL HWY	ONAWAY	MI	49765	151-027-300-003-00
DOMKE, DOUGLAS, TRUSTEE	5951 BIG SKY TRL	INDIAN RIVER	MI	49749	231-024-209-081-00
DONDERO, DRAYKE	1612 N PLEASANT	ROYAL OAK	MI	48067	105-G23-000-051-00
DONDERO, DRAYKE & MARY H/W	5805 WOODSTONE CT	CLARKSTON	MI	48348	092-019-100-043-02
DORAN, RICHARD	450 PASADENA	TOLEDO	OH	43612	140-012-200-003-05
DOTY, ARTHUR & CAROL H/W	PO BOX 846	INDIAN RIVER	MI	49749	161-I31-011-002-00
DOTY, DONALD & CAROLANN KENT,	7085 MCGUIRE	FENTON	MI	48430	052-G63-001-003-00
DOTY, DONALD & NANCY H/W	PO BOX 1170	HOWELL	MI	48844	052-G63-001-004-01
DOTY, DONALD V, TRUSTEE	7085 MCGUIRE RD	FENTON	MI	48430	052-G63-001-004-00
DOWELL, ALAN L	3583 CLUB RD, PO BOX 219	INDIAN RIVER	MI	49749	161-I33-000-006-00
DRUM, TEDRICK & GERALDINE H/W	8262 E FOOTE RD	CHEBOYGAN	MI	49721	092-Y31-000-031-00
DRUMMOND, JOSEPH & SHARON CO-TTEES	5691 MOULDER DR	CHEBOYGAN	MI	49721	105-R47-000-008-00
DRUMMOND, JOSEPH & SHARON, TTEES	5691 MOULDER DR	CHEBOYGAN	MI	49721	153-001-100-010-01
DUFFTON, KEITH & DEANNA H/W	10675 S MOONLIGHT BAY RD	CHEBOYGAN	MI	49721-8612	105-G21-000-001-00
DUNAJ, DANIEL & ELIZABETH H/W	319 W IROQUOIS	PONTIAC	MI	48341	153-012-100-001-00
DUNN, CALVIN & CAROL H/W	7933 STRAWBERRY LN NE	BELMONT	MI	49306	151-007-100-012-00
DURST, GERALD & MICHELLE REVOC	10646 N STRAITS HWY	CHEBOYGAN	MI	49721	092-007-200-068-00
DWYER, SANDRA J	PO BOX 4368	SCOTTSDALE	AZ	85261-4368	153-C04-000-012-00
EAGLING, LARRY & SELMA, TTEES	10313 S BLACK RIVER RD	ONAWAY	MI	49765	231-025-100-008-00
EARHART, ALLEN & BARBARA H/W	13189 ORMOND RD	BELLEVILLE	MI	48111	092-019-100-017-00
EDELMAN, JAMES L	3764 VICTOR DR	INDIAN RIVER	MI	49749	162-I35-000-048-00
EDWARDS, ARLINGTON AND	1585 S M-52 HWY, PO BOX 727	OWOSSO	MI	48867	231-036-200-001-00
EHRMANTRAUT FAMILY TRUST	6045 BAYOU DR	CHEBOYGAN	MI	49721	105-R47-000-017-00
EICHENHORN, MARTIN LEE L/EWPTS &	PO BOX 433	CHEBOYGAN	MI	49721	092-017-100-010-00
EINHARDT, ADAM & JULIA H/W	10651 S MOONLIGHT BAY RD	CHEBOYGAN	MI	49721	105-G21-000-003-00
EIZONAS, PAULA & MARI LYNN FRIDAY	1946 MC RAE DR	CHEBOYGAN	MI	49721	104-017-200-001-00
ELMHIRST, JAMES & BETTY H/W	6183 SHORTCUT RD	MARINE CITY	MI	48039	162-019-100-020-00
ENDLICH, CARY & SUZANNE H/W	2950 BYWATER	TROY	MI	48098	151-017-200-022-02
ENDLICH, DEAN & LYNNE H/W	54905 DANIELLE ST	NEW BALTIMORE	MI	48047	151-017-200-022-01
ENGELHARDT, DAVID ET UX	3133 CANTON RD	CHEBOYGAN	MI	49721	105-B05-000-027-00
ENGLISH, ROBERT L/EWPTS AND	1127 RIVIERA DR	CHEBOYGAN	MI	49721	104-017-300-004-00
ENGLISH, ROBERT T & KENNETH R	1127 RIVIERA DR	CHEBOYGAN	MI	49721	104-026-300-008-00
ENNES, MARK & NANCY H/W	PO BOX 85	TOWER	MI	49792	231-B01-000-009-00
ERRATT, CLAYTON E	11608 638 HWY	ONAWAY	MI	49765	231-024-200-003-00
ESKEW, JOHN & DEBRA H/W	625 KINGS HWY	WYANDOTTE	MI	48192	104-035-200-009-00
ESTES FAMILY TRUST	575 SAND WEDGE LOOP	APOPKA	FL	32712-6055	231-025-100-001-00
EUSTICE, KATHLEEN S	1299 PINE RIDGE TRL	CHEBOYGAN	MI	49721	092-017-108-071-00
FALSETTA, TONI	5224 FAIRBANKS	LANSING	MI	48917	162-M47-000-010-00
FANNIE MAE AKA FEDERAL NATL MTG	3900 WISCONSIN AVE	WASHINGTON	DC	20016	151-017-400-003-00

Name	Address	city	State	Zip	Parcel#
FARKAS, BRADLEY & ROSALIND H/W	1540 OAK ST	WATERFORD	MI	48328	104-008-300-001-03
FARR, HARRY A	10768 FIELDVIEW TRL	ONAWAY	MI	49765	231-014-200-003-00
FELL, LLOYD & KATHLEEN LIEDER H/W	8660 FOLLY DR	CHEBOYGAN	MI	49721	092-019-100-035-00
FELLRATH, JUDITH	700 JOHN DALY	DEARBORN HEIGHTS	MI	48127	162-019-300-002-00
FELLRATH, JUDITH	700 JOHN DALY	DEARBORN HEIGHTS	MI	48127	161-024-400-006-00
FENLON, LILLIAN L/EWPTS THEN TO:	207 SAMMONS ST	CHEBOYGAN	MI	49721	151-007-100-008-00
FERGUSON, EDWARD EST OF	8415 S EBERHART AVE	CLARE	MI	48617	104-016-300-013-00
FERNELIUS, JUSTIN & ABBI H/W	9583 JOHN WERNER DR	CHEBOYGAN	MI	49721	105-R53-000-001-00
FINEOUT, KENNETH & PAULA H/W	1116 S QUINCY	GREEN BAY	WI	54301	105-R49-000-016-00
FINN, HARRY & MARY H/W	3475 ONONDAGA NW	GRAND RAPIDS	MI	49534	052-G63-001-006-00
FINN, WILLIAM & VICTORIA H/W	9739 ROSEMARY LN	BRIGHTON	MI	48114	105-P43-000-011-00
FIRST COMMUNITY BANK	200 E MAIN ST	HARBOR SPRINGS	MI	49740	151-017-200-008-03
FISH, BRENDA	214 CASS ST	CHEBOYGAN	MI	49721	092-007-200-030-00
FISHER, JOHN & SHIRLEY H/W	881 RILEY CENTER RD	MEMPHIS	MI	48041	151-021-100-004-00
FISHER, WILLIAM & CYNTHIA H/W	PO BOX 23	INDIAN RIVER	MI	49749	161-I31-007-006-00
FITCH, TERRANCE II & DIANA LUTZ	9617 JOHN WERNER DR	CHEBOYGAN	MI	49721	105-R53-000-011-00
FITZPATRICK, KEVIN & LYNNE H/W	546 N MADISON ST	LAPEER	MI	48446	153-001-100-023-01
FLISNIK, MICHAEL J	8150 S BLACK RIVER RD	ONAWAY	MI	49765	231-014-200-012-00
FLORIAN, MICHAEL & ADAM FLORIAN,	8840 GOLFSIDE CT	SHEPHERD	MI	48883	105-L29-000-003-00
FORSBERG, ANNE M	8550 E FOOTE RD	CHEBOYGAN	MI	49721	092-Y31-000-005-00
FORSTER, LEO & KAY H/W	8212 E FOOTE RD	CHEBOYGAN	MI	49721	092-Y31-000-035-00
FORYTEK, VAUGHN S L/EWPTS	6288 E POTTER RD	BURTON	MI	48509	092-019-100-029-02
FORYTEK, VAUGHN S L/EWPTS;	6288 E POTTER RD	BURTON	MI	48509	092-019-100-029-01
FOWLER, JOHN, TRUSTEE	190 DENA MARIE DR	ORTONVILLE	MI	48462-8100	161-I31-016-003-01
FRADETTE, EUGENE & CAROL H/W	174 RIVERSIDE DR	CHEBOYGAN	MI	49721	052-E61-001-002-00
FRANCE, DALE & LEEANN H/W L/EWPTS	2147 FRANCE LN	CHEBOYGAN	MI	49721	104-016-300-011-00
FRANCE, JACEQUELINE L L/EWPTS	1050 PATRICK DR	GAYLORD	MI	49735	104-016-300-009-00
FRANCE, PAUL & SHELLI H/W	1951 HENNINGS RD	CHEBOYGAN	MI	49721	092-017-100-005-02
FRASIER, ROBERT & PATRICIA, TTEES	PO BOX 1117	INDIAN RIVER	MI	49749	161-I33-000-003-00
FRENCH, JOHN & BARBARA H/W	121 GLENVIEW RD	ARDEN	NC	28704-8305	104-026-300-013-01
FULLER, LOUISE J	3768 VICTOR DR	INDIAN RIVER	MI	49749	162-I35-000-049-00
GALACZ, PATRICIA A	8029 BEEBE RD	CHEBOYGAN	MI	49721	104-019-400-022-02
GALBRAITH, G GEOFFREY & DEBRA KRENT	6626 VARONICA LN	CHEBOYGAN	MI	49721	104-035-100-025-00
GALBRAITH, GEORGE & MARJORIE H/W	1563 CENTER ST	CHEBOYGAN	MI	49721	171-008-300-015-01
GALBRAITH, LARRY & DIANA H/W	12451 NORTH LINDEN RD	CLIO	MI	48420	104-008-400-011-00
GARDNER, WILLIAM	4321 ISLAND VIEW DR	FENTON	MI	48430	092-018-400-030-00
GATHMAN, LARRY TTEE	2374 DOBIE RD	MASON	MI	48854	162-019-100-028-00
GATZKE, NORMA J	4411 HINCHEY	HOWELL	MI	48843	161-I33-000-004-00
GAY, STEPHEN & BERNICE H/W	22537 LAVON ST	SAINT CLAIR SHORES	MI	48081	105-R49-000-022-00
GELDMACHER, MICHAEL &	3301 CANTON RD	CHEBOYGAN		49721	105-B05-000-047-00
GEMIGNANI, WALLACE & ELAINE, TTEES	8319 BEEBE RD	CHEBOYGAN	MI	49721	104-019-400-015-00
GENOVESE, SAMUEL P JR	5821 BELLCHASE DR	INDIAN RIVER	MI	49749	162-M47-000-004-00
GERKEN, ROBERT & DONNA LH/W	5532 THREE MILE RD	BAY CITY	MI	48706	151-007-116-151-00
GIELEGHEM, SUSAN A, TRUSTEE	47225 WHIPPOORWILL	MACOMB	MI	48044	105-R47-000-006-00
GIELEGHEN, SUSAN C, TRUSTEE	47225 WHIPPOORWILL DR	MACOMB	MI	48044	105-R47-000-007-00
GIERSCHKE, GEORGE & CYNTHIA H/W	4158 SOUTH RIVER RD	CHEBOYGAN	MI	49721	151-007-400-006-01
GILDNER, GREGORY & CANDI TRUSTEES	11370 N BLACK RIVER RD	CHEBOYGAN	MI	49721	092-017-100-014-00
GILDNER, MARTIN & DENISE H/W	2659 BAYHULST RD	CHEBOYGAN	MI	49721	104-016-300-025-00
GILLET, GERALD & BARBARA GILLET	10983 COPE RD	ONAWAY	MI	49765	231-014-200-013-00
GLASER, CATHERINE	9060 KURAS DR	CHEBOYGAN	MI	49721	151-016-300-004-00
GODLEY, KENNETH & CLIFFORD GODLEY	PO BOX 66	INDIAN RIVER	MI	49749	162-019-100-036-00
GOELLNER, PATRICIA, TRUSTEE	4526 MORRIS CT	MASON	OH	45040	104-016-300-015-00
GOODRICH, CARL & MARCIA, TTEES	9383 SCHLOTTMAN RD	LOVELAND	OH	45140	153-001-100-031-00
GOODRICH, HAROLD, TTEE OF	264 S BIRD RD	SPRINGFIELD	OH	45505	092-Y31-000-040-00
GORAL, ANDREW JAMES	3869 CLUB RD	INDIAN RIVER	MI	49749	161-I33-000-021-00
GORAL, ANDREW JAMES	3869 CLUB RD	INDIAN RIVER	MI	49749	161-I33-000-022-00
GOTTSCHALK, JAMES & SANDRA H/W	6130 GOTTSCHALK DR	CHEBOYGAN	MI	49721	151-007-100-005-00
GOUINE, CAL CONSTRUCTION INC	492 LAPERELL RD	CHEBOYGAN	MI	49721	182-R06-000-009-00
GOULD, CHARLES & WENDY H/W	1099 MILDRED J CT	BRIGHTON	MI	48116	054-M30-003-002-03
GOURLEY, THOMAS & MARY BROWN H/W	600 BAYVIEW DR	CHEBOYGAN	MI	49721	052-G63-001-012-00
GRANGOOD, WAYNE; DANIEL GRANGOOD &	871 SILVER CREEK RD	PETOSKEY	MI	49770	104-035-200-007-00
GRANT, ROBERT & CHRISTINE H/W	42100 HANKS LN	STERLING HEIGHTS	MI	48314	231-014-200-002-01
GREAT LAKES LIGHTHOUSE KEEPERS	206 LAKE ST, PO BOX 219	MACKINAW CITY	MI	49701	053-C10-000-006-00
GREAT LAKES TISSUE COMPANY, THE	437 S MAIN ST	CHEBOYGAN	MI	49721	055-031-304-004-00
GREENWOOD, JAMES 1/4 INT; GENEVA	1077 PAULLY RD	CHEBOYGAN	MI	49721	092-008-300-018-02
GREIG, DAVID M, TRUSTEE	210 PARK AVE	HOLLY	MI	48442	104-019-400-003-00
GRIESHABER, JAMES P	4550 DONCASTER DR	ELLCOTT CITY	MD	21043	105-B05-000-037-00

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GRUNDEY, JOSEPH	PO BOX 246	REYNOLDSBURG	OH	43068	161-M57-000-005-01
GRUSKIN, DARYL & JANE H/W	1727 LINDBURGH	CHEBOYGAN	MI	49721	104-017-400-007-01
GUILMETTE, ROBERT & JULIE H/W	5220 BLUE HERON LN	CHEBOYGAN	MI	49721	153-001-400-001-02
GUST, STEPHEN & CHARLENE, TTEES	4288 LONG POINT DR	CHEBOYGAN	MI	49721	161-I31-010-008-00
GUSTIN, JOSEPH W	2061 FRANCE LN	CHEBOYGAN	MI	49721	104-016-300-004-00
GYORKOS, CHARLES & CHRISTINE H/W	366 PLEASANT VALLEY	MILFORD	MI	48380	161-I31-006-001-00
HACKETT, PATRICK & THOMAS JAMES	500 HACK MA TACK RD	CHEBOYGAN	MI	49721	104-008-100-001-00
HAFFERKAMP, MELABETH AND	2375 N BEACH RD, 1B	ENGLEWOOD	FL	34223	052-E61-001-003-00
HALE, DAWN; BRENDA TRAVIS;	817 EMMET ST	PETOSKEY	MI	49770	055-006-200-024-03
HALL, RICHARD & DANA H/W	10101 E WEST RESORT RD	BURT LAKE	MI	49717	161-I33-000-021-01
HALLER, DOUGLAS G, TRUSTEE	31229 BOBRICH	LIVONIA	MI	48152	162-019-100-033-00
HAMILTON, GREGORY & PATRICIA H/W	4600 FOX LAKE RD	GOODRICH	MI	48438	104-019-400-017-01
HANCHETT, JAMES & JENNIFER, TTEES	8847 SWAN POINTE DR	CHEBOYGAN	MI	49721	104-022-100-003-04
HANCHETT'S WATER'S EDGE, LLC	11404 N STRAITS HWY	CHEBOYGAN	MI	49721	092-006-300-026-00
HANLON, TIMOTHY J TRUST	PO BOX 684	INDIAN RIVER	MI	49749	161-I31-006-001-01
HANTZ, JOHN R, TRUSTEE	26200 AMERICAN DR, 5TH FLOOR	SOUTHFIELD	MI	48034	231-011-300-001-02
HARDIN, TRACY E, TRUSTEE	8648 W BLACK LN	CHEBOYGAN	MI	49721	105-B06-000-014-00
HARGER, BRIAN & CAROL ANN	4276 SOUTH VAUGHN LAKE RD	GLENNIE	MI	48737	104-017-400-018-00
HARRIS, THOMAS & SHANNON H/W	10484 WASHBURN RD	ORTONVILLE	MI	48462	151-007-100-009-01
HARRISON, CINDY	9718 JOHN WERNER DR	CHEBOYGAN	MI	49721	105-R53-000-019-00
HARRISON, DAVID & REBECCA H/W	258 NICKLAS CT	OXFORD	MI	48371	231-014-215-150-00
HARRISON, JOANNE, SUCC TRUSTEE	1008 DONALD CT	CHEBOYGAN	MI	49721	055-006-200-016-00
HARVEY, BOBBIE	2261 E HOTCHKISS RD	BAY CITY	MI	48706	092-008-300-001-00
HASBROUCK, JACK R & MARY H/W	2670 COVERT RD	LESLIE	MI	49251	104-017-400-014-01
HAWORTH, ROY & AMANDA H/W	1248 HOAG RD	PETOSKEY	MI	49770	104-008-100-013-00
HEADRICK, BLAIR & SANDRA H/W	8389 MANCHESTER DR	GRAND BLANC	MI	48439	105-G23-000-054-00
HEARTHSIDE OFFICE PARK, LLC ET AL	40950 WOODWARD AVE STE 305	BLOOMFIELD HILLS	MI	48304	104-026-300-015-00
HENDERSHOT, ALLEN	6211 LAKE ST, PO BOX 611	INDIAN RIVER	MI	49749	161-I31-015-003-00
HENDERSON, ELEANORE, TRUSTEE	416 RIVERSIDE DR	CHEBOYGAN	MI	49721	052-E61-001-018-00
HENKEL, DONALD & JANET COYNE JT	812 ORCHARD	WYANDOTTE	MI	48192	104-019-400-001-00
HENSE, DONALD F ET AL	PO BOX 5021	CHEBOYGAN	MI	49721	104-022-300-003-00
HENSE, PAUL A, TRUSTEE	1419 SUNCREST DR NE	GRAND RAPIDS	MI	49525	104-022-300-005-00
HERPEL, HENRY & SUZANNE H/W	PO BOX 703	INDIAN RIVER	MI	49749	161-I31-007-005-00
HERRMANN, ALLEN & ANNA H/W	424 RIVERSIDE DR	CHEBOYGAN	MI	49721	052-005-103-002-00
HESS, ROBERT R	3686 VICTOR DR	INDIAN RIVER	MI	49749	162-I35-000-041-00
HESELINK, DARWIN & CHRISTINE H/W	8479 BEEBE RD	CHEBOYGAN	MI	49721	104-019-400-004-00
HESELINK, DENNIS & TAMELA H/W	1439 LINDBURGH LN	CHEBOYGAN	MI	49721	105-R53-000-003-00
HIGGINS, SCOTT & SANDRA H/W	29315 WALNUT ST	FLAT ROCK	MI	48134	153-B02-000-014-00
HINMAN, CLAUDE & MARIE KAY H/W L/E	PO BOX 203	INDIAN RIVER	MI	49749	162-M51-000-034-00
HOCQUARD, KIM & PAULA H/W	8410 E FOOTE RD	CHEBOYGAN	MI	49721	092-Y31-000-017-00
HOFFMAN REVOC LIVING TRUST	3136 MINGO TRL, PO BOX 669	INDIAN RIVER	MI	49749	162-I43-000-003-00
HOFFMAN, ALLEN & MARIAN, TTEES	9341 TWIN LAKES RD	CHEBOYGAN	MI	49721	140-001-109-080-07
HOFFMAN, ANGELINE	PO BOX 669	INDIAN RIVER	MI	49749	162-019-100-036-02
HOFFMAN, CHRISTOPHER JON	5092 PARKER LANE	CHEBOYGAN	MI	49721	140-001-109-080-08
HOFFMAN, MARK & CORRINE HOFFMAN	6384 KINGS PTE RD	GRAND BLANC	MI	48439	162-I41-006-005-00
HOGAN, DANIEL T & PATRICIA A H/W	1060 WEST CALLE BONITA	TUCSON	AZ	85737	054-M30-003-002-02
HOLLEY, PETER & CAROL H/W	11440 N STRAITS HWY	CHEBOYGAN	MI	49721	092-006-300-025-00
HOMENIK, JEFFREY M TTEE	4036 HUNTERS CIR	CANTON	MI	48188	172-I15-000-004-00
HOPPER, KEITH & KATHY H/W	3774 VICTOR DR	INDIAN RIVER	MI	49749	162-I35-000-050-00
HORNbacher, DUANE	PO BOX 2143	INDIAN RIVER	MI	49749	162-019-100-011-00
HORNER, PATRICK C	5981 BRENDA LN	ONAWAY	MI	49765	182-R06-000-002-00
HORNING, LUTHER (DECD) & DOROTHY	14 MARGARET AVE	HAMILTON	OH	45015	171-008-300-014-00
HOUSEHOLDER, PAUL & LINDA H/W	3376 AMBLESIDE DR	FLUSHING	MI	48433	105-G21-000-006-00
HOWE INTERLAKES MARINE, INC	PO BOX 516	INDIAN RIVER	MI	49749	162-I41-007-001-00
HOWE, MARGARET M	3595 CLUB RD, PO BOX 533	INDIAN RIVER	MI	49749	161-I33-000-007-00
HUBBACH, ROBERT N, TRUSTEE	6935 RIDGEWOOD RD	CLARKSTON	MI	48346	151-007-100-001-01
HUBBARD, CAROLYN S L/EWPTS, THEN TO	9290 SUMMERTIME CT	CHEBOYGAN	MI	49721	092-018-400-020-00
HUBBARD, DAVID R, TRUSTEE	PO BOX 6028	CHEBOYGAN	MI	49721	105-G23-000-053-00
HUDSON, DAVID J ET UX	8391 BEEBE RD	CHEBOYGAN	MI	49721	104-019-400-008-00
HUDSON, PHYLLIS M	PO BOX 428	CHEBOYGAN	MI	49721	104-017-300-013-00
HUDSON, PIERRE & RACHAEL H/W	1501 HACKMATAK RD	CHEBOYGAN	MI	49721	104-017-300-010-01
HUGGETT, LAURA A, TRUSTEE	9146 ADDISON DR	CHEBOYGAN	MI	49721	105-R51-000-004-00
HUGHES, RONALD E TRUST	8796 ANNA DR	CHEBOYGAN	MI	49721	092-019-100-019-01
HULETT, BURTON	1162 N HILL ST	VAN ALSTYNE	TX	75495	140-001-100-007-00
HULL, LARRY & PATRICIA H/W	PO BOX 123	INDIAN RIVER	MI	49749	161-I31-010-012-00
HUMPHREY, RUSSELL & SALLY H/W	208 RIVERSIDE DR	CHEBOYGAN	MI	49721	052-E61-001-009-00
HUNT, DOUGLAS & JANICE H/W	5408 SOUTH RIVER RD	CHEBOYGAN	MI	49721-9503	140-001-100-008-00

Name	Address	city	State	Zip	Parcel#
HURST, JERRY & LORI H/W	PO BOX 2158	INDIAN RIVER	MI	49749	162-019-100-024-00
HUTT, LORRAINE, TRUSTEE	37213 GLENBROOK DR	CLINTON TOWNSHIP	MI	48036	104-027-200-004-00
HYATT, GLEN & SUSAN, CO-TRUSTEES	2440 COLLEGE RD	HOLT	MI	48842	105-L29-000-009-00
HYDE, JEFFREY & SHELLEY H/W L/EWPTS	560 NEEDLE POINTE DR	CHEBOYGAN	MI	49721	151-017-108-077-00
IGNASIAK, TERRANCE	PO BOX 173	ONAWAY	MI	49765	231-025-100-005-00
IHRKE, RONALD & MARY H/W	6165 BRENDA LN	ONAWAY	MI	49765	231-B01-000-011-00
INGERSOLL, ANTHONY; LEON INGERSOLL	1260 RICHMOND DR	CHEBOYGAN	MI	49721	105-R53-000-014-00
IRWIN, ROBERT	2884 ONAGON TRL	WATERFORD	MI	48328-3139	162-I35-000-047-00
ISON, JAMES & PAMELA, TTEES	8199 SPRINGDALE	WHITE LAKE	MI	48386	231-B01-000-013-00
J BLACK, LLC	3215 DUNCAN BAY DR	CHEBOYGAN	MI	49721	054-H20-000-032-00
JACKSON, GENEVIEVE &	502 ERIE ST, APT 4	EAST JORDAN	MI	49727	182-R06-000-004-00
JACOBS, ROGER W	PO BOX 296	INDIAN RIVER	MI	49749	161-I31-010-007-00
JAMES, THOMAS N	11065 N STRAITS HWY	CHEBOYGAN	MI	49721	092-017-100-004-01
JAMIESON, CHRISTOPHER & MELODY H/W	4200 N BLACK RIVER RD	CHEBOYGAN	MI	49721	151-008-300-005-00
JAMIESON, GRANT & SANDRA H/W	5841 BRENDA LN	ONAWAY	MI	49765	182-033-400-002-00
JANECZEK, BRIAN & COLLEEN H/W	PO BOX 352	ONAWAY	MI	49765	231-025-100-004-03
JANECZEK, PAULA, SCOTT JANECZEK,	673 WOODCREEK CIR	SALINE	MI	48176	151-027-300-019-00
JANESKI, JASON & CORRIE L H/W	16468 WHISPERING MEADOWS DR	STOCKBRIDGE	MI	49285	105-R47-000-014-00
JARVELA, GLENN & BARBARA H/W	11242 BACH LN	BYRON	MI	48418	153-012-100-010-00
JAYNE, LEONARD & LINNEA H/W	5486 TWIN LAKES RD	CHEBOYGAN	MI	49721	153-001-100-018-00
JERNIGAN, MARK & JANIE H/W 1/2 INT	PO BOX 255	SAINT HELEN	MI	48656-9405	092-008-300-002-01
JERNIGAN, MATTHEW & MICHELE H/W	PO BOX 255, 10124 FISHER LAKE RD	SAINT HELEN	MI	48656	092-008-300-002-04
JEWELL, LONNY & PATSY H/W	2111 HILTON HEAD DR	MISSOURI CITY	TX	77459-3311	162-I35-000-031-00
JOHNSON, CALVIN & CHRISTINE H/W	5116 STOLL RD	CHEBOYGAN	MI	49721	140-R25-000-020-00
JOHNSON, DAVID & SUSAN, TRUSTEES	PO BOX 5176	CHEBOYGAN	MI	49721	104-017-400-019-00
JOHNSON, ERLING & CAROL NEUMANN	6564 N BLACK RIVER RD	CHEBOYGAN	MI	49721	105-R55-000-001-00
JOHNSON, GLORIA	6555 N BLACK RIVER RD	CHEBOYGAN	MI	49721	105-R55-000-006-00
JOHNSON, JOHN & LINDA H/W	1697 MCRAE DR	CHEBOYGAN	MI	49721	105-R49-000-001-00
JOHNSON, KARLEEN	2482 COLD CREEK RD	ONAWAY	MI	49765	231-024-200-003-03
JOHNSON, KIRK W	6142 DAVID HWY	SARANAC	MI	48881	162-I43-000-005-00
JOHNSON, MARTIN A & VENITA R H/W	3722 RIVER REST RD	CHEBOYGAN	MI	49721	104-027-200-008-00
JOHNSON, RANDOLPH & WENDY, TRUSTEES	5024 OAK BLUFF COURT	HOWELL	MI	48843	162-M49-000-014-00
JOHNSON, RANDY & MARGARET H/W	10627 S MOONLIGHT BAY RD	CHEBOYGAN	MI	49721	105-G21-000-004-00
JOHNSON, ROBERT & MARY LEE H/W	931 CAROL LN	CRETE	IL	60417	140-012-200-003-03
JOHNSON, VICKI (RUTKOWSKA)1/2 INT	4370 DAUNCY RD	FLAT ROCK	MI	48134	151-007-100-010-00
JOHNSTON FAMILY REVOC LIV TRUST	11622 N STRAITS HWY, BOX D	CHEBOYGAN	MI	49721	055-006-200-024-01
JOHNSTON, ARTHUR & WANDA H/W	11622 S MAIN ST	CHEBOYGAN	MI	49721	092-006-300-020-00
JOHNSTON, ARTHUR & WANDA, TTEES	11622 N STRAITS HWY	CHEBOYGAN	MI	49721	092-006-300-019-01
JOHNSTON, ARTHUR JAMES	11622 N STRAITS HWY	CHEBOYGAN	MI	49721	092-006-300-019-00
JOHNSTON, JERRY & DARLENE, TTEES	1111 S WATER ST	CHEBOYGAN	MI	49721	055-006-200-024-00
JONES, BUCK O & WILMA H/W	4475 FORSYTH ST	CHEBOYGAN	MI	49721	151-007-100-022-01
JORDAN, DUDLEY W JR	7555 DOVER RIDGE CT	BLACKLICK	OH	43004	092-007-200-060-00
JOZWIAK, TERRY & PAULA H/W	5160 BLUE HERON LN	CHEBOYGAN	MI	49721	153-001-400-001-05
JUSTICE, JOSEPH & CYNTHIA MAULDON	2348 IVES RD	LESLIE	MI	49251	162-019-100-036-03
K & J WILLEY, LLC	1200 SW 26TH ST	BLUE SPRINGS	MO	64015	104-035-100-019-00
KACZMAREK, RALPH E ET UX	6061 BAYOU DR	CHEBOYGAN	MI	49721	105-R47-000-016-00
KAISER, JOHN D 9/10 INT &	38846 LAKESHORE	HARRISON TOWNSHIP	MI	48045	151-017-200-012-00
KAPSA, LINDA M CHARBONEAU	182 RIVERSIDE DR	CHEBOYGAN	MI	49721	052-E61-001-004-00
KARASEK, NORBERT S ET UX	5845 LORI LN	INDIAN RIVER	MI	49749	162-M51-000-029-00
KARTY, PAUL & LYNNE H/W	1050 S MILFORD RD #101	HIGHLAND	MI	48357	052-W59-035-001-00
KAYE, KEVIN & BARBARA H/W	230 N DENWOOD ST	DEARBORN	MI	48128	105-B05-000-004-00
KD'S ACRES, LLC	2450 OSTRUM ST	WATERFORD	MI	48328	104-026-111-105-01
KEENE, CHRISTOPHER & DONNA H/W	1599 MCRAE DR	CHEBOYGAN	MI	49721	105-R49-000-007-00
KEFFER, DAVID & BONNIE WILSON,	41758 WILLIS RD	BELLEVILLE	MI	48111	153-012-100-009-00
KELDSEN, RICHARD & MIKYUNG H/W	2645 LAKE ST	SAN FRANCISCO	CA	94121	092-019-100-021-00
KELLEY, COURTLAND T ET UX	1920 BRIARCLIFF BLVD	OWOSSO	MI	48867	104-019-400-014-00
KENDALL, COLEMAN & ANN TTEE	4638 REFLECTIONS DR	CHEBOYGAN	MI	49721	140-012-200-003-07
KENDALL, COLEMAN & ANN, TTEES	4638 REFLECTIONS DR	CHEBOYGAN	MI	49721	140-012-200-003-08
KEOUGH, REGINA A, TRUSTEE	51014 DRAKES BAY DR	NOVI	MI	48374	105-L29-000-028-00
KESSELRING, LEE R	1537 TECUMSEH RD	CHEBOYGAN	MI	49721	105-R49-000-009-00
KETCHUM, LEWIS J ET UX	3025 E US-23	CHEBOYGAN	MI	49721	104-019-400-013-00
KIEFER, DAVID J & DIANE H/W	6235 ANAVISTA DR	FLINT	MI	48507-3882	092-008-300-001-01
KING, ARTHUR & DAGNY H/W	3857 CLUB RD	INDIAN RIVER	MI	49749	161-I33-000-020-00
KITCHEN, NORMAN R	5166 SOUTH RIVER RD	CHEBOYGAN	MI	49721	140-001-300-002-03
KITCHEN, RICHARD & SANDRA H/W	5200 SOUTH RIVER RD	CHEBOYGAN	MI	49721	140-001-300-002-02
KLEVEN, MIRIAM REVOC LIV TRUST	28036 ANN ARBOR TRL	WESTLAND	MI	48185	092-019-100-026-03
KLOTZ, LUKE	500 EAST PEARL ST	JACKSON	MI	49201	162-I41-006-004-00

Name	Address	city	State	Zip	Parcel#
KNIGHTS OF COLUMBUS %L.SOCZEK	9209 INVERNESS TRAIL RD	CHEBOYGAN	MI	49721	092-017-100-003-00
KNOPSKE, ARNOLD L/EWPTS, THEN TO:	24829 MIDDLEBELT	NEW BOSTON	MI	48164	151-027-300-009-00
KNOWLES, MICHAEL & MELINDA H/W	300 JACKSON ST	JAMESTOWN	NC	27282	231-R01-000-011-00
KOCZUK, CHESTER & KATHERINE H/W	9251 HUDSON DR	CHEBOYGAN	MI	49721	104-017-300-008-00
KOKOSING CONSTRUCTION COMPANY, INC	17531 WATERFORD RD	FREDERICKTOWN	OH	43019	053-029-301-003-00
KOKOULEN, JOHN & ELEANOR (DECD)	14 HICKORY CT	DEARBORN HEIGHTS	MI	48127	162-143-000-002-00
KOLATSKI, RAYMOND & LOIS H/W AND	10591 S MOONLIGHT BAY RD	CHEBOYGAN	MI	49721	105-G21-000-007-00
KOLODZIEJCZYK, JEFFREY ADAM	27082 BATHURST DR	FLAT ROCK	MI	48134	104-017-400-007-04
KONICKI, STEVEN & KAYLYNN	8689 SWAN POINT DR	CHEBOYGAN		49721	104-022-100-003-07
KORSTANJE, MICHAEL & SHERY H/W	1991 N SHERIDAN	MUSKEGON	MI	49445	161-024-200-009-00
KORSTANJE, MICHAEL & SHERYL H/W	1991 N SHERIDAN RD	MUSKEGON	MI	49445	092-019-100-026-02
KOSANKE, EDWARD & CHARLOTTE H/W	1180 SHARILL LN	CHEBOYGAN	MI	49721	105-G23-000-055-00
KOSANKE, JOSEPH & JODY H/W	630 BAYVIEW DR	CHEBOYGAN		49721	104-006-400-003-00
KOUBA, ERIC & MICHELLE H/W	10130 RIDGELINE DR	MILAN	MI	48160	052-G63-001-004-02
KOWZAN, SUSAN S	8662 W BLACK LN	CHEBOYGAN	MI	49721	153-R09-000-011-00
KOWZAN, SUSAN S TRUSTEE	8662 W BLACK LN	CHEBOYGAN	MI	49721	105-B06-000-010-00
KOZIAL, STANLEY J & BUNNY	6890 STRAWFLOWER LN	CHEBOYGAN	MI	49721	153-B02-000-010-00
KOZIOL, GERALD F	1011 E HURD RD	CLIO	MI	48420	092-019-100-026-01
KRAFT, JAMES PATRICK	683 CLIFFSIDE DR	MILFORD	MI	48381	104-019-400-017-00
KRAMP, MARK & MARY H/W	4710 INLAND ROUTE DR	INDIAN RIVER	MI	49749	172-I15-000-001-00
KRIEG, RONALD & DARLENE H/W	6340 THE PIKE	INDIAN RIVER	MI	49749	161-C13-006-001-00
KROT, GREGORY & CAMILLE H/W	5822 DIANE DR	INDIAN RIVER	MI	49749	162-M49-000-021-00
KRYSKA, MARY ELLEN	634 PERRY CREEK DR	GRAND BLANC		48439	105-P43-000-003-00
KUJAWA, MABEL K	7151 ELMHURST ST	WEST BLOOMFIELD	MI	48322	182-R06-000-005-00
KURAS, RALPH W, TRUSTEE	3503 OWENS RD	CHEBOYGAN	MI	49721	151-016-300-001-00
KURTH, TIMOTHY & BELINDA H/W	8420 E FOOTE RD	CHEBOYGAN	MI	49721	092-Y31-000-015-00
KURTZ, JOSEPH & STEPHANIE H/W	120 S BALL ST	CHEBOYGAN	MI	49721	054-P41-003-006-00
KWIATKOWSKI, CLARENCE &	66700 CAMPGROUND RD	WASHINGTON	MI	48095	153-R09-000-002-00
KWIATKOWSKI, CLARENCE & PATRICIA H/W	66700 CAMPGROUND RD	WASHINGTON	MI	48095	151-008-300-003-01
KWIATKOWSKI, DEBRA A	1072 W COOK RD	GRAND BLANC	MI	48439	153-C04-000-007-00
LACOMBE, ANTHONY SR & BARBARA H/W	9316 PROVO RD	CHEBOYGAN	MI	49721	092-018-400-014-00
LACOST, PATRICK & ANGELA H/W	5098 PARKER LN	CHEBOYGAN	MI	49721	140-001-109-080-09
LACOURSIER, ALLAN & ELIZABETH H/W	PO BOX 193	INDIAN RIVER	MI	49749	161-I31-007-001-00
LACROSS, LEANNA; JULIE VANHIMBERGEN;	725 S CUYLER ST	CHEBOYGAN	MI	49721	104-016-300-022-03
LADOCHI, MICHAEL	1330 REVERE DR	TROY	MI	48083	092-007-200-069-00
LAMAY, PAMELA L	9408 N STRAITS HWY	CHEBOYGAN	MI	49721	092-018-400-012-00
LAMBERG, GARY A	1058 MARLAS WAY	CHEBOYGAN	MI	49721	151-007-100-020-00
LANDON, JOHN P 50% INT AND	206 SILVER BIRCH LN	BEAR	DE	19701	104-016-300-016-00
LANE, ALBERT L/EWPTS THEN TO:	6053 BRENDA LN	ONAWAY	MI	49765	231-B01-000-004-00
LANGE, BRIAN & SHAREN H/W	2265 KNOTWOOD DRIVE	HOLT	MI	48842-8765	092-018-400-028-00
LARSON, CHRISTOPHER & MONICA H/W	PO BOX 522	ONAWAY	MI	49765	231-003-100-010-01
LARSON, JASON C	6297 BRENDA LN	ONAWAY	MI	49765	231-003-100-010-02
LARSON, WALLACE (DECD) & MARY, TTEES	6561 BARKLEY AVE	ONAWAY	MI	49765	231-003-100-010-03
LARSON, WALLACE ET UX	6561 BARCLAY AVE	ONAWAY	MI	49765	231-003-403-021-00
LATTIMORE, MARK A	315 N POPP RD	LAKE LELANAU	MI	49653	232-012-100-003-02
LAUHOFF, TERRY A	3189 CANTON RD	CHEBOYGAN	MI	49721	105-B05-000-034-00
LAVENDER, GERALD (DECD) & GLORIA	52836 BRENTWOOD DR	SHELBY TWP	MI	48316	105-R47-000-012-00
LAVENDER, JOSEPH E	350 S HURON	CHEBOYGAN	MI	49721	140-R22-000-006-00
LAVIOLETTE, CARL & BEVERLY H/W	13621 E US 23	CHEBOYGAN	MI	49721	162-I35-000-052-00
LAVIOLETTE, CARL A & BEVERLY H/W	13616 US-23 HWY	CHEBOYGAN	MI	49721	104-026-300-005-00
LAVIOLETTE, CARL A & DONALD C	13616 US-23 HWY	CHEBOYGAN	MI	49721	104-026-300-004-00
LAVIOLETTE, DAVID & DIANE NEWBERG,	12340 W REID RD	DURAND	MI	48429	104-022-100-003-08
LAVIOLETTE, THOMAS & DEIRDRE H/W,	3918 BALD EAGLE LAKE RD	HOLLY	MI	48442	104-022-100-003-03
LAWS, LINDA	7667 COVINGTON DR	CHEBOYGAN	MI	49721	151-017-200-020-00
LAYMAN, CHARLES & CINDY H/W	2875 GROVELAND RD	ORTONVILLE	MI	48462	151-008-300-008-00
LAYMAN, ROBERT ELWIN II	PO BOX 69	INDIAN RIVER	MI	49749	161-I33-000-028-00
LAZZARO, JON & ELENA H/W	1394 S RIVER RD	SAGINAW	MI	48609	153-001-400-001-01
LEADY, CHARLES E	PO BOX 5284	CHEBOYGAN	MI	49721	104-019-202-019-00
LEE, SANDRA (FKA: MURRAY)	6641 N BLACK RIVER RD	CHEBOYGAN	MI	49721	104-036-300-004-00
LEINONEN, TIMOTHY & MICHELLE H/W	5871 LORI LN	INDIAN RIVER	MI	49749	162-M51-000-027-00
LEMAY, JAMES	15320 GREAT GLEN LN	HUNTERSVILLE	NC	28078	161-024-200-008-00
LEMAY, JAMES & ALICE H/W	PO BOX 395	INDIAN RIVER	MI	49749	161-024-200-010-00
LETKO, SETH THOMAS	10801 S BLACK RIVER RD	ONAWAY	MI	49765	231-025-309-084-00
LIBBY, SPENCER ET UX	PO BOX 386	CHEBOYGAN	MI	49721	104-022-100-003-10
LIBBY, SPENCER W & DEBRA J H/W	PO BOX 386	CHEBOYGAN	MI	49721	104-022-100-003-09
LIEDKE, WILLIAM & JULIE H/W	3942 ARLINGTON AVE	FORT GRATIOT	MI	48059	104-036-100-008-00
LINDHOLM, NICHOLAS A	2941 CANTON RD	CHEBOYGAN	MI	49721	105-B05-000-003-00

Name	Address	city	State	Zip	Parcel#
LINDSAY, STEPHEN & NANCY H/W	628 S HURON ST	CHEBOYGAN	MI	49721	104-008-300-001-04
LISZEWSKI, RAYMOND Z	7315 METZ DR	SHELBY TOWNSHIP	MI	48316	231-013-100-010-00
LISZEWSKI, THOMAS & WENDY H/W	5690 BALDWIN			XXXXX	231-013-100-012-00
LITTLE, JAMES & CHERYL, TRUSTEES	1830 WYNGARDEN	EAST LANSING	MI	48823	092-Y31-000-021-00
LITTRELL, ROBERT & SHIRLEY H/W	1560 TECUMSEH RD	CHEBOYGAN	MI	49721	105-R49-000-020-00
LITZNER, AUDREY P, L/EWPTS,	170 RIVERSIDE DR	CHEBOYGAN	MI	49721	052-E61-001-001-00
LITZNER, COLIN	6831 MONOMINEE RD	CHEBOYGAN	MI	49721	104-035-200-016-02
LITZNER, COLIN D	6831 MENOMINEE RD	CHEBOYGAN	MI	49721	104-035-200-016-00
LOCKER, ROBERT & DEBORAH H/W	5275 BULLARD RD	FENTON	MI	48430	105-B06-000-015-00
LONGHI, DENNIS & MARY H/W	31235 HENNEPIN	GARDEN CITY	MI	48135	104-017-400-016-00
LORD, DAVID & SUSAN H/W	10667 S MOONLIGHT BAY RD	CHEBOYGAN	MI	49721	105-G21-000-002-00
LOVELACE, TIMOTHY & PAMELA H/W	7740 S BLACK RIVER RD	ONAWAY	MI	49765	231-011-400-014-00
LOWE, WM J ET UX	2800 ADAMS RD	OAKLAND	MI	48363	104-026-300-007-00
LUCAS, SHARON A	22279 GLENWOOD LN	WOODHAVEN	MI	48183	104-035-200-014-00
LUDLAM, CATHERINE; MADINE	3521 SMITH ST	DEARBORN	MI	48124	105-S57-000-014-00
LUND, CLAYTON & REBECCA H/W	1908 MCRAE DR	CHEBOYGAN	MI	49721	105-S57-000-010-00
LUND, RICHARD S & CLAYTON L LUND	PO BOX 370	CHEBOYGAN	MI	49721	092-007-200-059-00
LUND, RICHARD S & CLAYTON LUND	PO BOX 370	CHEBOYGAN	MI	49721	055-006-200-022-00
LUND, RICHARD S ET AL	PO BX 370	CHEBOYGAN	MI	49721	052-031-204-001-00
LUTTMAN, KAREN (SHAMANOFF)	5028 STOLL RD	CHEBOYGAN	MI	49721	140-R23-000-005-00
LUTTRELL, JASON & JACQUELINE H/W	8949 N CANAL DR	CHEBOYGAN	MI	49721	104-019-200-002-00
LUTZ, KENNETH & DENISE H/W	5613 US-23 HWY NORTH	ROGERS CITY	MI	49779	151-017-200-024-09
LYNCH, LANNY & DONNA H/W	10881 S MOONLIGHT BAY RD	CHEBOYGAN	MI	49721	105-G23-000-057-00
LYON, LINDA	1137 RIVIERA DR	CHEBOYGAN	MI	49721	105-R51-000-001-00
MACLEOD, DUSTIN; LISA MACLEOD;	10899 COPE RD	ONAWAY	MI	49765	232-012-100-002-00
MADISON, THOMAS & NANCY H/W	PO BOX 265	ONAWAY	MI	49765	231-014-204-031-00
MAGNUS, ROBERT L	5821 DIANE DR	INDIAN RIVER	MI	49749	162-M49-000-019-00
MALLORY, RONALD & MARY H/W	5329 SHAFTSBURG RD	LAINGSBURG	MI	48848	105-B05-000-014-00
MALLOY, JEROME A JR	7855 N BLACK RIVER RD	CHEBOYGAN		49721	104-026-100-003-00
MALTBY, ELY III & MARTHA L/E AND	7889 PINEDALE	WILLIAMSBURG	MI	49690	104-017-400-012-00
MALTBY, WAYNE & JOYCE H/W	1785 LINDBURGH LN	CHEBOYGAN	MI	49721	104-017-400-010-00
MALTBY, WAYNE G & JOYCE H/W	1785 LINDBURGH LN	CHEBOYGAN	MI	49721	104-017-400-011-00
MANLEY, MILTON JR ET AL	17 SYCAMORE LN	GROSSE POINTE	MI	48230-1936	104-008-300-007-00
MANNING, IVAN B	7447 CARPENTER RD	FLUSHING	MI	48433	105-B05-000-019-00
MANNING, ROBERT & TAMMY H/W	9241 N ISLAND VIEW DR	CHEBOYGAN	MI	49721	105-L29-000-002-00
MANNING, ROBERT A & TAMMY J H/W	9241 N ISLAND VIEW DR	CHEBOYGAN	MI	49721	104-018-400-002-01
MANSON, MARY TRUSTEE	3188 W COON LAKE RD	HOWELL	MI	48843	162-019-100-029-00
MAPES, PAULA	5848 LORI LN	INDIAN RIVER	MI	49749	162-M51-000-038-00
MARCOTT, DAVID & JILL CO-TTEES	22257 IRONGATE	TRENTON	MI	48183	151-027-300-002-00
MARCOTT, HAROLD & ELIZABETH H/W L/E	1060 CRIST ISLE	CHEBOYGAN	MI	49721	151-027-300-004-00
MARCOTT, THOMAS & SUSAN H/W	1080 CRIST ISLE	CHEBOYGAN	MI	49721	151-027-300-005-00
MARODIS, GARY & MARLENE H/W	3064 W COON LAKE RD	HOWELL	MI	48843	162-M47-000-013-01
MARQUETTE, JOHN & SUSAN H/W	PO BOX 1166	INDIAN RIVER	MI	49749	161-I33-000-010-00
MARTIN, JAMES & VIRGINIA DASCENZA	1210 BAKER	FENTON	MI	48430	161-I31-007-006-01
MARTINDALE, VICTORIA L, TRUSTEE	14208 CHEBOYGAN POINT RD	CHEBOYGAN	MI	49721	054-M30-003-002-01
MARTLOCK, MICHAEL F ET UX	3013 CANTON RD	CHEBOYGAN	MI	49721	105-B05-000-010-00
MARX, BERTA	5769 BRENDA LN	ONAWAY	MI	49765	182-R06-000-013-00
MASSEY, DALE S & SANDRA H H/W	4216 DILLON RD	FLUSHING	MI	48433	104-022-100-003-06
MASSIMILLA, JEFFREY & JENNIFER H/W	3169 KATIE LN	MILFORD	MI	48380-2021	104-019-400-020-02
MATHEWSON, JILL; VICKI RUTKOWSKE	4370 DAUNCY RD	FLAT ROCK	MI	48134	151-007-100-011-00
MAURER, NICHOLAS	601 EUCLID AVE	GLEN ELLYN	IL	60137	104-035-200-001-00
MAXWELL, JOHN & JERENE, TRUSTEES	1796 MCRAE DR	CHEBOYGAN	MI	49721	105-S57-000-005-00
MAXWELL, TERRY & MONA H/W	1344 RICHMOND DR	CHEBOYGAN	MI	49721	105-P43-000-005-00
MAY, BILLY & CHARLENE H/W	2895 KEYSTONE HEIGHTS	APOPKA	FL	32703	105-R55-000-007-00
MCARTY, JERIANN & THOMAS MACLEAN,	9985 NEUMAN RD	CHEBOYGAN	MI	49721	105-S57-000-013-00
MCCAMANT, GARY & SANDRA H/W	6340 BYRON RD	HOWELL	MI	48855-8330	140-012-200-003-04
MCCANN, PAUL & MARTHA H/W	1175 RIVIERA DR	CHEBOYGAN	MI	49721	105-R51-000-002-00
MCCLEAN, ROBERT D, TRUSTEE	1005 WEST GENEVA	DEWITT	MI	48820	161-I33-000-015-00
MCDONALD, RICHARD AND	6230 BARCLAY AVE	ONAWAY	MI	49765	231-003-100-007-00
MCDONALD, STEVEN & CELESTE H/W	923 N REMBRANDT AVE	ROYAL OAK	MI	48067	140-R22-000-002-00
MCEWEN, RANDY & MARY H/W	7860 E M-21	CORUNNA	MI	48817	161-I31-008-001-01
MCFALLS BURT LAKE, LLC	PO BOX 240	TOPINABEE	MI	49791	231-013-400-007-00
MCGINNIS, PATRICK & JANE H/W	3610 VICTOR DR	INDIAN RIVER	MI	49749	162-I35-000-034-01
MCGOWAN, TIMOTHY & LISA H/W	8670 W BLACK LN	CHEBOYGAN	MI	49721	105-B06-000-008-00
MCGREW, JOSEPH & SHARON H/W L/EWPTS	3101 CANTON RD	CHEBOYGAN	MI	49721	105-B05-000-023-00
MCPHEE, MICHAEL & MARIE H/W	3085 CANTON RD	CHEBOYGAN	MI	49721	105-B05-000-021-00
MCPHEE, R PATRICK & DONNA, TTEES	211 S MAIN ST	CHEBOYGAN	MI	49721	104-008-300-001-06

Name	Address	city	State	Zip	Parcel#
MELAVEY, EDWARD NEIL & ROBERT	58740 TRAVIS RD	NEW HUDSON	MI	48165	092-006-300-011-00
MENDRICK, GLORIA L/EWPTS, THEN TO:	444 RIVERSIDE DR	CHEBOYGAN	MI	49721	052-005-103-005-00
MERCER, LARRY & CHERYLE H/W	PO BOX 5046	CHEBOYGAN	MI	49721	092-017-100-011-00
MESTER, STEPHEN & CHRISTINE H/W	22681 SANDRA	SOUTH LYON	MI	48178	153-001-100-028-00
MICHELS, MICHAEL; ELIZABETH ODELL;	3190 CAPITOL	WARREN	MI	48091	153-E07-000-001-00
MICHELS, MICHAEL; ELIZABETH O'DELL;	3190 CAPITOL	WARREN	MI	48091	153-E07-000-003-00
MICHIGAN DEPT OF NATURAL RESOURCES	PO BOX 30722	LANSING	MI	48909	052-W59-031-013-00
MIDDAUGH, DENNIS W	20720 HUTCHINSON HWY	ONAWAY	MI	49765	151-017-200-004-00
MILES FAMILY TRUST	PO BOX 999	INDIAN RIVER	MI	49749	162-019-100-017-00
MILLER, GENE	PO BOX 458	INDIAN RIVER	MI	49749	162-M47-000-001-00
MILLER, GENE O ET UX	5841 BELLCHASE, PO BOX 458	INDIAN RIVER	MI	49749	162-018-300-010-02
MILLER, JOANN L/EWPTS,	3760 ABBEY RD	CHEBOYGAN	MI	49721	151-017-100-009-00
MILLER, JOANN L/EWPTS;	3760 ABBEY RD	CHEBOYGAN	MI	49721	151-017-200-011-02
MILLS, ROBERT & ANN H/W	818 TAYLOR LN	CANTON	MI	48188	153-B02-000-020-00
MINGE, TIMOTHY L	1886 MCRAE DR	CHEBOYGAN	MI	49721	105-S57-000-009-00
MITCHELL, LARRY & ELIZABETH H/W	10482 STANLEY RD	DAVISON	MI	48423	105-B05-000-030-00
MITTERHOLZER, RUDOLPH & LINDA H/W	8530 E FOOTE RD	CHEBOYGAN	MI	49721	092-Y31-000-007-00
MOODY, TERRI SUE	5861 DIANE DR	INDIAN RIVER	MI	49749	162-M49-000-015-00
MOORE, CAROL	PO BOX 767	INDIAN RIVER	MI	49749	161-024-400-005-00
MOORE, RALPH & DEBRA H/W	6240 BARCLAY AVE	ONAWAY	MI	49765	231-003-100-006-00
MORAN, PATRICIA D	7611 COVINGTON DR	CHEBOYGAN	MI	49721	151-017-200-016-00
MORLEY, BURROWS III & CHRISTINE H/W	4820 ZIELINSKI LN	AUBURN	MI	48611	054-M30-003-002-04
MORRIS, CHARLES & VELETTA MORRIS	8447 BEEBE RD	CHEBOYGAN	MI	49721	104-019-400-006-00
MORRISH MARINE, LLC	629 N MAIN ST	CHEBOYGAN	MI	49721	053-C10-000-001-00
MORRISH, KANE R & KERRY M H/W	3748 RIVER REST RD	CHEBOYGAN	MI	49721	104-027-200-009-00
MORRISH, THOMAS & ROCHELLE, TTEES	2021 FRANCE LN	CHEBOYGAN	MI	49721	104-016-300-002-00
MORRISH, ZACHARY W	8607 CARTER RD	CHEBOYGAN	MI	49721	104-019-200-005-00
MORRISH-WALLACE CONST, INC	634 WATER ST, PO BOX 265	CHEBOYGAN	MI	49721	053-C10-000-005-00
MORROW, DAVID V.	5200 BRIARCREST DR.	FLINT	MI	48532	161-I31-016-001-03
MOULDER, CLAYTON & DORIS H/W	613 N MAIN ST	CHEBOYGAN	MI	49721	105-B05-000-001-00
MOULDER, FRED C; BETH MOULDER;	5661 MOULDER DR	CHEBOYGAN	MI	49721	153-E07-000-007-00
MOULDER, FRED; BETH MOULDER;	5661 MOULDER RD	CHEBOYGAN	MI	49721	153-001-100-010-02
MOULDER, FREDERICK C III	5661 MOULDER DR	CHEBOYGAN	MI	49721	153-E07-000-005-00
MOULDER, FREDERICK, III &	5661 MOULDER DR	CHEBOYGAN	MI	49721	153-E07-000-004-00
MOUSSEAU, CAROLYN V	9038 KURAS DR	CHEBOYGAN	MI	49721	151-016-300-002-01
MOUSSEAU, JAMES & CAROLYN L/EWPTS	9038 KURAS DR	CHEBOYGAN	MI	49721	151-016-300-002-00
MUNROE, JACK L/EWPTS; SCOTT MUNROE;	3141 APPLE BLOSSOM ST	INDIAN RIVER	MI	49749	162-019-100-026-00
MYERS, WILLIS W ET AL	1040 NE SUMMIT LOOP	COUPEVILLE	WA	98239-3564	162-I35-000-040-00
NAGY, TIMOTHY & LAURINE H/W	6400 E SHORE DR	CHEBOYGAN	MI	49721	151-007-102-020-00
NEUMAN, KEVIN P, TRUSTEE	PO BOX 37	CHEBOYGAN	MI	49721	104-008-300-004-00
NEUMAN, RONALD & BRENDA H/W	1473 RIGGSVILLE RD	CHEBOYGAN	MI	49721	151-007-400-003-00
NEUMANN, ALFRED & SARAH REVOC	8749 N BLACK RIVER RD	CHEBOYGAN	MI	49721	104-022-213-121-00
NEWMAN, ALBERT J ET UX	6940 STRAWFLOWER LN	CHEBOYGAN	MI	49721	153-B02-000-005-00
NEWMAN, CHESTER JR ET AL	9864 NEUMAN RD	CHEBOYGAN	MI	49721	104-016-100-003-00
NEWMAN, CHESTER JR; ROSALINDA	9864 NEUMAN RD	CHEBOYGAN	MI	49721	104-016-100-001-00
NEWSOME, ROBERT L, TRUSTEE	102 BLUFF ST	CLIO	MI	48420	104-035-200-003-00
NICHOLSON, WILLIAM JR & GINA H/W	51144 ARIANA CT	MACOMB	MI	48042	231-014-200-005-00
NIELAND REAL ESTATE	201 S MAIN ST	CHEBOYGAN	MI	49721	054-P41-003-001-00
NIELAND, DANIEL R ET UX	612 BAYVIEW DR	CHEBOYGAN	MI	49721	104-005-300-006-00
NIEMCHAK, LAWRENCE & PATRICIA	57773 APPLE CREEK DR	WASHINGTON	MI	48094-3229	104-008-400-010-00
NIHLS, JAMES & KATHRYN, TRUSTEES	8901 SWAN POINTE DR	CHEBOYGAN	MI	49721	104-022-101-003-03
NORTHERN SHORE INVESTMENTS, LLC	989 E VFW RD	CHEBOYGAN	MI	49721	092-017-100-006-00
NUNNERY, DANIEL & JUDITH H/W	3640 VICTOR DR	INDIAN RIVER	MI	49749	162-I35-000-038-00
NUNNERY, DANIEL & JUDITH H/W	3640 VICTOR DR	INDIAN RIVER	MI	49749	162-I35-000-037-00
NUNNERY, DANIEL & JUDITH H/W	3640 VICTOR DR	INDIAN RIVER	MI	49749	162-I35-000-038-01
OBERMAN, MARK & TAYLOR H/W	10807 S MOONLIGHT BAY RD	CHEBOYGAN	MI	49721	104-008-100-015-00
ODETTE, PATRICK F REVOCABLE	3553 CANAL DR, PO BOX 2034	INDIAN RIVER	MI	49749	161-I33-000-030-00
ODONNELL, JAMES M	5851 DIANE DR	INDIAN RIVER	MI	49749	162-M49-000-016-00
OEMKE, MARK & AMY H/W	5855 BOIS ILE	HASLETT	MI	48840	151-017-400-002-00
OESTREICH, LAWRENCE & LAURA H/W L/E	2916 WOODEN DR	CHEBOYGAN	MI	49721	151-021-100-005-00
OGDEN, RAY & LESLIE H/W	3935 BITTERSWEET LN	INDIAN RIVER	MI	49749	162-019-300-006-01
O'GRADY, GERALD F	2153 HENNINGS RD	CHEBOYGAN	MI	49721	104-035-100-020-00
OHLRICH, JAMES & BARBARA H/W	3400 WESTBRIER TERRANCE	MIDLAND	MI	48642	161-I31-012-001-00
OIDIZNOT, LLC	889 S MAIN ST	CHEBOYGAN	MI	49721	055-006-200-012-00
OLIVER, JOHN D & GAYLE H/W L/EWPTS;	5811 BELLCHASE DR	INDIAN RIVER	MI	49749	162-M47-000-006-00
OLOC, LLC	502 NORTHLAND DR, STE 200	ROCKFORD	MI	49341	092-006-300-022-00
ONE SOURCE PACKAGING & HANDLING	6660 EDWOOD	WEST BLOOMFIELD	MI	48324	104-026-300-011-01

Name	Address	city	State	Zip	Parcel#
ORCHARD HEIGHTS DEV CO	550 BAY VIEW DR	CHEBOYGAN	MI	49721	104-005-300-004-00
ORMSBEE, JOHN & DARLEEN LIV TRUST	9506 N STRAITS HWY	CHEBOYGAN	MI	49721	092-018-400-010-01
ORMSBEE, LEROY J ET AL TRUST	PO BOX 5157	CHEBOYGAN	MI	49721	092-018-400-009-00
ORMSBEE, TODD & LORAL H/W	9504 N STRAITS HWY	CHEBOYGAN	MI	49721	092-018-400-010-02
ORR, SAMUEL & PHYLLIS H/W	440 RIVERSIDE DR	CHEBOYGAN	MI	49721	052-005-103-004-00
OSMAN, KENNETH & SHERILYN H/W	13616 N KENYON RD	GRAND LEDGE	MI	48837	162-M51-000-036-00
OSSEWAARDE, JACK & SHARON H/W	6540 BLACK RIVER TRL	CHEBOYGAN	MI	49721	151-007-200-004-01
OTTMER, MARK D LE/WPTS UPON DEATH	3693 FAIRVIEW AVE	JACKSON	MI	49203	162-M51-000-035-00
PAKE, JOAN	6539 N BLACK RIVER RD	CHEBOYGAN	MI	49721	105-R55-000-005-00
PANIK, JOSEPH & MICHELLE H/W	10400 N STRAITS HWY	CHEBOYGAN	MI	49721	092-008-300-006-00
PANOSSO, MARLENE G, TRUSTEE	1015 DONALD CT	CHEBOYGAN	MI	49721	092-007-200-058-00
PAPINEAU, STEVE	3303 I-75 BUSINESS SPUR	SAULT SAINTE MARIE	MI	49783	054-P41-003-005-00
PARENT, RICHARD & CHERYL H/W	33846 N FISCHER DR	INGLESIDE	IL	60041	153-B02-000-028-00
PASSENSO, DOLORES (ROCHELEAU);	PO BOX 93	CHEBOYGAN	MI	49721	092-007-200-038-00
PASSENSO, JEFF & SHERRY H/W	614 RIVER ST	PALATKA	FL	32177	104-015-300-001-01
PASSENSO, MARK & JAYNE PASSENSO	9923 NEUMAN RD	CHEBOYGAN	MI	49721	105-S57-000-016-00
PASSINO, JUNE M ET AL	8401 BEEBE RD	CHEBOYGAN	MI	49721	104-019-400-007-00
PASSINO, KAREN A	PO BOX 1217	INDIAN RIVER	MI	49749	161-I33-000-001-00
PASSINO, MICHAEL & BRENDA H/W	PO BOX 2184	INDIAN RIVER	MI	49749	161-I31-006-004-00
PATON, DANA ROBERTS	6213 BAYOU DR	CHEBOYGAN	MI	49721	105-R47-000-004-00
PAUL, LINDA L/EWPTS - THEN TO:	6079 BRENDA LN	ONAWAY	MI	49765	231-B01-000-006-00
PEARSON, MARK & CATHERINE H/W	9072 ADDISON DR	CHEBOYGAN	MI	49721	105-B06-000-003-00
PENDLETON, CHERYL T	5857 LORI LN	INDIAN RIVER	MI	49749	162-M51-000-028-00
PENNINGTON, JOHN & MARY H/W	27345 POLK	TRENTON	MI	48183	151-007-200-004-00
PERHAI, CHERYL	PO BOX 6013	CHEBOYGAN	MI	49721	105-B05-000-049-00
PERRIGO, CHRIS A	7125 HOGBACK LAKE RD	DAVISBURG	MI	48350	151-008-300-004-01
PETERMAN, CLIFTON & SAUNDRA H/W	11855 3 MILE RD	ONAWAY	MI	49765	231-024-400-009-00
PFISTER, DARRYL & KATHLEEN H/W L/E	PO BOX 334	INDIAN RIVER	MI	49749	161-I31-011-006-00
PHILLIPS, JUDITH ANGELA, TRUSTEE	227 HARRIET AVE	LANSING	MI	48917	153-R09-000-009-00
PIERCE, SHARI	4911 COURVILLE AVE	TOLEDO	OH	43623	162-M49-000-023-00
PINES COTTAGE OF INDIAN RIVER LLC	6053 PROSPECT, PO BOX 1249	INDIAN RIVER	MI	49749	161-I31-006-005-00
PLAUNT, CURTIS	PO BOX 2	CHEBOYGAN	MI	49721	054-P39-001-003-00
PLAUNT, CURTIS L	PO BOX 2	CHEBOYGAN	MI	49721	054-P39-001-001-00
POMEROY, CONSTANCE MARIE, TTEE	24164 MCKINLEY	DEARBORN	MI	48124	161-M57-000-005-00
POSH, DAVID M & DEMARICE H/W	1588 MCRAE DR	CHEBOYGAN	MI	49721	105-R49-000-021-00
POUCH, MARK & KATHLEEN H/W	16643 MACARTHUR	REDFORD	MI	48240	140-012-200-003-02
POUSHO, ROBERT M L/EWPTS, THEN TO:	10814 BIG LAKE RD	DAVISBURG	MI	48350	161-I33-000-009-00
POWELL, GARY J & BETTY J H/W	21580 SUNFLOWER	NOVI	MI	48375	162-019-100-027-00
POWELL, KATHRYN	1254 BERSHIRE RD	GROSSE POINTE PARK	MI	48230	151-017-200-011-01
POWERS, RENEE MARY	6859 MENOMINEE RD	CHEBOYGAN	MI	49721	104-035-200-010-00
PRAASTERINK, DONALD & KAREN H/W &	8413 LOCKHART RD	DAFTER	MI	49724	104-017-300-015-01
PRICE, ALAN & RUTHALEEN H/W	11875 W 638 HWY	ONAWAY	MI	49765	231-024-200-003-01
PRICE, JEFFREY & SHELBY H/W	19360 NORTH ALLIS HWY	ONAWAY	MI	49765	231-024-200-003-02
PROKOPY, MARTIN & DEBRA H/W	3522 GREEN LAKE RD	WEST BLOOMFIELD	MI	48324	153-001-100-026-00
PROVORSE, JERRY & TERI JOHNSON H/W	10571 S MOONLIGHT BAY RD	CHEBOYGAN	MI	49721	105-G21-000-008-00
PRZYBYLOWICZ, RICHARD JR &	2674 CAMPBELLGATE	WATERFORD	MI	48329	153-001-100-019-00
PURCELL, NOREEN L/EWPTS THEN TO:	312 RIVERSIDE DR	CHEBOYGAN	MI	49721	052-E61-001-015-00
PURDOM, BRIAN & KELLEY H/W	9696 SCENIC DR	BRIGHTON	MI	48114	104-008-100-016-00
PURKISS, TODD M	12286 CAMBRIDGE BLVD	SOUTH LYON	MI	48178	092-019-100-020-00
PURTILL, JAMES & MARILYN SPOERING	3247 N CLUB RD	INDIAN RIVER	MI	49749	162-019-100-034-00
PURTILL, JAMES E	3247 N CLUB DR	INDIAN RIVER	MI	49749	162-I41-006-003-00
PUTTERS, THOMAS & NADJA H/W	606 KAYSER	ROYAL OAK	MI	48067	161-I33-000-005-00
RAAB, MARGARETE	186 RIVERSIDE DR	CHEBOYGAN	MI	49721	052-E61-001-005-00
RADEBACH, LEROY & ELEANOR CO-TTEES	PO BOX 3011	INDIAN RIVER	MI	49749	161-I31-006-003-00
RAMSBY, STEPHEN & BRENDA H/W	6193 HEATHFIELD DR	EAST LANSING	MI	48823	092-Y31-000-018-00
RAMSEY, RONALD & JANET, CO-TTEES	2151 DATE ST	SAINT JAMES CITY	FL	33956	092-018-400-007-00
RAUCH, WARD & KARINNE H/W	5000 REFLECTIONS DR	CHEBOYGAN	MI	49721	140-R22-000-001-00
REDDING, MICHAEL E	8219 BEEBE RD	CHEBOYGAN	MI	49721	104-019-400-020-01
REDDING, MICHAEL E & SUSAN, H/W	8219 BEEBE RD	CHEBOYGAN	MI	49721	104-019-400-022-03
REDDING, ROBERT & JULIE H/W	8131 BEEBE RD	CHEBOYGAN	MI	49721	104-019-400-022-04
REEDER, ROLLIN & PATTY LOU CO-TTEES	2920 CHERITHBROOK DR	MASON	MI	48854	172-I15-000-002-00
REIBER, LAWRENCE & ELAINE H/W	7495 HARRIS RD	CHESANING	MI	48616	104-027-200-008-01
REIDT, ROBERT & JERI H/W	1128 SHARILL LN	CHEBOYGAN	MI	49721	105-G23-000-052-00
REIMAN, DAVID & TERESA REIMAN H/W	6660 STRAWFLOWER LN	CHEBOYGAN	MI	49721	153-B02-000-033-00
REIMAN, DAVID & TERESA REIMAN	6660 STRAWFLOWER LN	CHEBOYGAN	MI	49721	153-B02-000-034-00
REIMAN, DAVID; GLENN REIMAN &	6660 STRAWFLOWER LN	CHEBOYGAN	MI	49721	153-B02-000-043-00
REIMAN, GLEN & ESTHER H/W	PO BOX 648	GLOUCESTER POINT	VA	23062-0648	153-B02-000-032-00

Name	Address	city	State	Zip	Parcel#
RENAUD, SANDRA	86 WATER ST			XXXXX	151-007-100-001-00
RENAUD, SANDRA L/ EWPTS & THOMAS	86 WATER ST	KINGSVILLE, ONTARIO CANADA		N9Y1J4	153-001-400-003-05
RENO, PAUL & JOAN H/W	2168 ORCHARD BEACH RD	CHEBOYGAN	MI	49721	153-B02-000-040-00
RENSEL, ARDELLE LE/ WPTS; WILLIAM	3441 S PROSPECT ST	INDIAN RIVER	MI	49749	161-I31-016-001-02
REYNOLDS, FRANCIS & PENNY H/W	8841 SOUTH RIVER RD	CHEBOYGAN	MI	49721	092-018-400-029-00
RICH, ROGER ET UX	299 E QUINCY	DIMONDALE	MI	48821	105-B05-000-017-00
RIDINGS, JEREMY & LOIS H/W	3125 CANTON RD	CHEBOYGAN	MI	49721	105-B05-000-025-00
RIEGLER, TERRY&KATHLEEN H/W L/ EWPTS	9633 JOHN WERNER DR	CHEBOYGAN	MI	49721	105-R53-000-012-00
RILEY, MICHAEL & ELIZABETH, TTEES	1061 HENDRICKS DR	ONAWAY	MI	49765	151-027-300-014-00
RILEY, MICHELLE TRUST	8734 COUNTY LINE RD	ONAWAY	MI	49765	231-013-400-009-00
RIPPER, DAVID & KIMBERLY H/W	4169 DUKESBURY CT	NOVI	MI	48375	092-007-200-061-00
RITCHEY, DONALD & THERESA H/W	14842 ELEANOR	LANSING	MI	48909	151-017-200-006-00
RIVER TERRACE PROPERTIES, INC	420 RIVERSIDE DR	CHEBOYGAN	MI	49721	055-G17-003-003-00
RIVERS RIDGE LLC	147 NE MULLETT LAKE RD	INDIAN RIVER	MI	49749	092-008-300-013-00
ROACH, ROBERT CHARLES	6747 CRESTWOOD LN	CHEBOYGAN	MI	49721	104-035-200-013-00
ROBBINS, JOHN	13583 RAWSONVILLE RD	BELLEVILLE	MI	48111	104-027-200-012-00
ROBIADEK, CHARLES & JILL H/W	1300 RICHMOND DR	CHEBOYGAN	MI	49721	105-P43-000-001-00
ROBINSON, ELISABETH L/ EWPTS; JANICE	6503 N BLACK RIVER RD	CHEBOYGAN	MI	49721	105-R55-000-002-00
ROBITAILLE, CAROL TRUST	1298 GREENFIELD CT	WILLIAMSTON	MI	48895	151-017-100-008-00
ROEDER, FREDERICK & JOANNE	8706 SHEILA DR	CHEBOYGAN	MI	49721	092-019-100-032-00
ROEDER, FREDERICK & JOANNE TRUST	8706 SHEILA DR	CHEBOYGAN	MI	49721	092-019-100-031-00
ROOKUS PROPERTIES, LLC	789 142ND ST	WAYLAND	MI	49348	161-I31-019-004-00
ROSE, MICHAEL & SANDRA H/W	8451 BEEBE RD	CHEBOYGAN	MI	49721	104-019-400-005-00
ROSE, RONDA	9600 SOUTH RIVER RD	CHEBOYGAN	MI	49721	104-017-300-015-02
ROSINSKI, DONALD AND	PO BOX 285	INDIAN RIVER	MI	49749	162-I35-000-045-00
ROSINSKI, DONALD & PATRICIA FRASIER	PO BOX 285	INDIAN RIVER	MI	49749	162-I35-000-039-00
ROSS, RICHARD	1101 COURT ST	CHEBOYGAN	MI	49721	105-F19-000-002-00
ROUSH, RONALD & MARY H/W	505 E GENEVA DR	DEWITT	MI	48820	092-Y31-000-027-00
ROVER LIFE, LLC	2885 SANFORD AVE SW #32106	GRANDVILLE	MI	49418	055-006-200-018-00
ROZE ENTERPRISES, LLC	3215 DUNCAN BAY DR	CHEBOYGAN	MI	49721	055-031-304-005-00
RUEMENAPP, JOSEPH & DEBRA H/W	5250 SOUTH RIVER RD	CHEBOYGAN	MI	49721	140-001-300-002-01
RUFF, DAWN A	6949 BURNLY	GARDEN CITY	MI	48135	153-R09-000-008-00
RUNYON, JOHN & KIM H/W	3264 ALCO	WATERFORD	MI	48329	151-008-300-004-02
RUSS, MATTHEW G	12484 M68 HWY	MILLERSBURG	MI	49759	052-E61-001-008-00
RUSSO, ANTHONY & CYNTHIA H/W	23003 BROOKDALE BLVD	SAINT CLAIR SHORES	MI	48082	104-027-200-003-00
SAGER, JOANN; MALTBY, JOYCE;	1379 SHARON LN	CHEBOYGAN	MI	49721	104-022-400-001-00
SALTER, BARRETT & RAEANN H/W	4888 REFLECTIONS DR	CHEBOYGAN	MI	49721	140-R22-000-005-00
SALTER, BARRY & RAEANN H/W	4888 REFLECTIONS DR	CHEBOYGAN	MI	49721	153-012-100-005-00
SAMPSON, JENNIFER	1523 TECUMSEH RD	CHEBOYGAN	MI	49721	105-R49-000-015-00
SANDERS, JOHN A, TRUSTEE OF THE	2221 COCHRAN RD	PANAMA CITY BEACH	FL	32408	104-027-200-001-00
SANDERS, JOHN A, TTEE OF HIS	6869 TELURIDE	WHITE LAKE	MI	48383	104-027-100-002-00
SANGSTER, RICHARD A REVOC LIV TRUST	8959 N CANAL DR	CHEBOYGAN	MI	49721	105-L29-000-030-00
SAROW, WILLIAM & MAREE H/W	3144 MINGO TRL, PO BOX 2091	INDIAN RIVER	MI	49749	162-I43-000-001-00
SAUTER, LAWRENCE & DENISE H/W	29 HARBOUR ISLE DR W UNIT 205	FORT PIERCE	FL	34949	092-008-300-016-00
SAYER, VICTORIA & BRIAN TTEES	8558 COUNTY LINE RD	ONAWAY	MI	49765	231-013-400-005-00
SAYLOR, JOHN & KAREN H/W	2460 IRISH WAY	ROSCOMMON	MI	48653	104-027-200-007-00
SCARLETT, GORDON ET UX	4621 SEQUOIA TRL	OKEMOS	MI	48864	161-I31-016-001-04
SCHAEFER, LAVONNE, TRUSTEE	2133 FRANCE LN	CHEBOYGAN	MI	49721	104-016-300-010-00
SCHAEFER, PATRICIA AND	34110 FONVILLE CT	LIVONIA	MI	48152	140-R23-000-006-00
SCHEFFER, CHARLES JR & VIOLET H/W	7262 STOUT RD	CARLETON	MI	48117-9618	161-I33-000-029-00
SCHMELTZER, MICHAEL & JULIE	13662 152ND AVE	GRAND HAVEN	MI	49417	104-016-300-006-01
SCHMIDT, PETER II & JILL H/W	4415 EAGLE RIDGE CT	SAGINAW	MI	48603	105-R53-000-009-00
SCHMIER, JOHN & CAROL H/W	6360 E SHORE DR	CHEBOYGAN	MI	49721	151-007-100-014-00
SCHMITT, MARK & KATHLEEN H/W	8200 MILNES RD	JONESVILLE	MI	49250	161-024-200-012-00
SCHMITTER, SCOTT & WENDY SMITH,	4125 E PEIRSON	FLINT	MI	48506	052-E61-001-007-00
SCHOLLENBURG LIVING TRUST	5838 LORI LN	INDIAN RIVER	MI	49749	162-M51-000-037-00
SCHOOK, DAVID & JEAN SCHOOK	3215 AVALON	ROCHESTER	MI	48309	104-035-200-015-00
SCHOONOVER, BARBARA	PO BOX 853	INDIAN RIVER	MI	49749	162-M51-000-033-00
SCHRAM, GARY WALTER	5862 DIANE DR	INDIAN RIVER	MI	49749	162-M49-000-022-00
SCHULTZ, HELMUTH III & DENYSE H/W	7020 CLEAR LAKE RD	GRASS LAKE	MI	49240	104-008-300-001-05
SCHULTZ, JOSEPH E (DECD) TRUST	8666 W BLACK LN	CHEBOYGAN	MI	49721	105-B06-000-009-00
SCHULZ, ADAM & LYNETTE H/W	2420 TROUT CREEK RD	CHEBOYGAN	MI	49721	052-E61-001-017-00
SCHULZ, DANIEL & SUSAN, TTEES	420 RIVERSIDE DR	CHEBOYGAN	MI	49721	052-005-103-001-00
SCHWARTZ RALPH/DONNA BOIK T/L	30595 SIBLEY	ROMULUS	MI	48174	162-019-100-018-00
SCHWARTZ, RONALD A	30599 SIBLEY RD	ROMULUS	MI	48174	161-I31-009-001-00
SCOTT, GERALDINE & CHERYL SCOTT JT	34410 MORAVIAN DR	STERLING HEIGHTS	MI	48312-5520	153-B02-000-002-00
SCOTT, JOHN & ANA H/W	3182 W US23	CHEBOYGAN	MI	49721	140-012-200-003-06

Name	Address	city	State	Zip	Parcel#
SEAMAN, JOHN & JULIA LEWPTS	1053 PAULLY RD	CHEBOYGAN	MI	49721	092-008-300-017-00
SEAMAN, JOHN & JULIE H/W L/EWPTS	1053 PAULLY RD	CHEBOYGAN	MI	49721	092-008-300-018-00
SEARS, DANIEL & TERESA TRUSTEES	2042 MEADOW RIDGE	WALLED LAKE	MI	48390	153-B02-000-022-00
SECLUDED LAND COMPANY, LLC	PO BOX 10	DE SOTO	WI	54624	151-007-400-009-00
SEIDL, RICHARD & SHIRLEY H/W	5226 SW 11TH AVE	FORT MYERS	FL	33901	105-B05-000-032-00
SELDEN, DONALD & CECILIA AND	1234 RIVERS RIDGE COURT	CHEBOYGAN	MI	49721	092-008-300-012-00
SENESKI, EUGENE & SUSAN H/W	4275 ORCHARD BEACH RD	CHEBOYGAN	MI	49721	104-026-300-011-00
SETTER, KEVIN & KATHLEEN H/W	6447 SMITHS CREEK RD	SMITHS CREEK	MI	48074	151-027-300-016-00
SEVCIK, MICHAEL & DEBORAH H/W	21085 W 638 HWY	ONAWAY	MI	49765-9349	231-B01-000-015-00
SHAFFER, KAREN, TRUSTEE	5731 MOULDER DR	CHEBOYGAN	MI	49721	153-E07-000-013-00
SHAMANOFF, KAREN LUTTMANN	5028 STOLL RD	CHEBOYGAN	MI	49721	140-R23-000-003-00
SHEA, WILLIAM L L/E & KAREN B	55 PARK ISLAND DR	LAKE ORION	MI	48362	092-019-100-022-00
SHEEHAN, ROBERT ET UX	214 GULLEY RD	HOWELL	MI	48843	161-I33-000-026-00
SHEPARD, CHRISTOPHER & SHARI H/W	5251 PLEASANT HILL DR	FENTON	MI	48430	162-018-300-010-07
SHEPARD, LANNY & WINIFRED H/W	10554 N STRAITS HWY	CHEBOYGAN	MI	49721	054-P41-003-003-00
SHEPPARD, WILLIAM & JEAN H/W	1721 LINDBURGH LN	CHEBOYGAN	MI	49721	104-017-400-007-02
SHERMAN, DAVID & CHRISTINE H/W	10175 N STRAITS HWY	CHEBOYGAN	MI	49721	092-008-300-008-00
SHERMAN, LAWRENCE M	8684 SPEEDWAY DR	SHELBY TWP	MI	48317-3347	153-012-100-003-00
SHERWOOD, CAROL, TRUSTEE	846 S MAIN ST	CHEBOYGAN	MI	49721	104-006-400-001-00
SHERWOOD, MICHAEL & CAROL H/W L/E	846 S MAIN ST	CHEBOYGAN	MI	49721	153-001-100-020-00
SHERWOOD, MICHAEL C	846 S MAIN ST	CHEBOYGAN	MI	49721	153-001-100-020-01
SHEWCHUCK, ERMA, TRUSTEE	207 S MAIN ST	CHEBOYGAN	MI	49721	054-M30-003-002-06
SHIVNEN, KEITH & SUZANNE H/W	10516 VILLAGE CT	GRAND BLANC	MI	48439	092-Y31-000-043-00
SHRUM, RANDY AND	8658 W BLACK LN	CHEBOYGAN	MI	49721	105-B06-000-011-00
SICHTA, DONALD & HOLLY H/W	7681 COVINGTON DR	CHEBOYGAN	MI	49721	151-017-200-021-00
SIMON, ROBERT & LISA H/W	40 HAWTHORNE RD	GROSSE POINTE SHORES	MI	48236	162-M51-000-030-00
SINDA, LEROY & BETTY H/W	5411 MIDDLETON RD	ONAWAY	MI	49765	105-R53-000-015-00
SINEMAN, JAMES & VIRGINIA, CO-TTEES	1800 W OLDS RD	LESLIE	MI	49251	105-B07-000-019-00
SINGELYN, MICHAEL & BARBARA, TTEES	22606 CORTEVILLE	SAINT CLAIR SHORES	MI	48081	092-007-200-070-00
SIUDARA, ELIZABETH LIV TRUST	7786 MULLETT LAKE RD	CHEBOYGAN	MI	49721	092-006-300-033-00
SIUDARA, ELIZABETH M, TRUSTEE	7786 MULLETT LAKE RD	CHEBOYGAN	MI	49721	092-007-200-028-00
SKERSKE, JAMES & IRENE H/W	1714 HUDSON ST	ENGLEWOOD	FL	34223	161-I31-016-001-00
SKNDK, LLC	1917 AUDUBON PARK DR	SPRINGFIELD	OH	45504	092-Y31-000-033-00
SKOGLUND, ANNA M, TRUSTEE	8340 E FOOTE RD	CHEBOYGAN	MI	49721	092-Y31-000-024-00
SKSZEK, WALTER & DOROTHY, TTEES	49899 S SERVICE DR	BELLEVILLE	MI	48111	182-R06-000-011-00
SLEEP, ELIZABETH MARY, TRUSTEE	5104 STOLL RD	CHEBOYGAN	MI	49721	140-R25-000-018-00
SLIVA, JOHN & LORI H/W	5872 DIANE DR	INDIAN RIVER	MI	49749-9720	162-M49-000-026-00
SLOCUM, ARTHUR & MARY H/W	PO BOX 2134	INDIAN RIVER	MI	49749	161-I33-000-013-00
SLOWRIVER, JACK & CLARE M H/W	960 165TH AVE SE	BELLEVUE	WA	98008	161-I33-000-018-00
SMALL, IRWIN & JOAN H/W	8929 N CANAL DR	CHEBOYGAN	MI	49721-9298	104-019-202-018-00
SMITH, CHARLES & CAROLYN CO-TTEES	PO BOX 986	INDIAN RIVER	MI	49749	161-M57-000-004-00
SMITH, FRED J SR, TTEE (DECD)	6111 PROSPECT ST, PO BOX 293	INDIAN RIVER	MI	49749	161-I31-007-003-00
SMITH, KAREN 1/3 INT; MARY GROSS	3664 JANE DR	MIDLAND	MI	48642	161-024-200-011-00
SMITH, KEVIN & MARGARET H/W	4660 INLAND ROUTE DR	INDIAN RIVER	MI	49749	172-I15-000-005-00
SMITH, RICHARD J & DONNA H/W	1704 MCRAE DR	CHEBOYGAN	MI	49721	105-S57-000-001-00
SMITH, WILLARD W 1/2 INT; SUSAN	7660 GARFIELD RD	MENTOR	OH	44060	162-I41-005-009-00
SNYDER, RUTH ANN TRUST	11394 WHITE BIRCH DR	PELLSTON	MI	49769	104-017-300-015-00
SORRELL, BRADLEY; JENNIFER EHRET	P5C 557 BOX 1796			XXXXX	092-019-100-024-02
SOUTHWELL, BEVERLY	6100 GOTTSCHALK DR	CHEBOYGAN	MI	49721	151-007-100-003-00
SPANGLER, EDWARD & SHIRLEY H/W	190 RIVERSIDE DR	CHEBOYGAN	MI	49721	052-E61-001-006-00
SPANGLER, JEFF	160 S CASTOR RD	SHEPHERD	MI	48883	161-I31-019-003-00
SPENCER, KIM, TRUSTEE	2811 VALENTINE RD	LAPEER	MI	48446	162-M49-000-017-00
SPENS, ROSS P	7644 SPENS DR US 23	MILLERSBURG	MI	49759-9447	105-S57-000-007-00
SPIES, DONALD P & LOIS H/W	10856 N STRAITS HWY	CHEBOYGAN	MI	49721	092-007-200-034-00
SPIES, DONALD P JR	10790 N STRAITS HWY	CHEBOYGAN	MI	49721	092-007-200-034-09
SPLAN, GEORGE & DONNA H/W	1123 SHARILL LN	CHEBOYGAN	MI	49721	105-G23-000-050-00
ST ONGE, MICHELLE	9567 MUNGER RD	AFTON	MI	49705	162-019-100-036-04
ST ONGE, MICHELLE	9567 MUNGER RD	AFTON	MI	49705	162-019-107-061-00
STAMAN, FRAZER & IRENE H/W &	3614 W MAPLE RD	WIXOM	MI	48393	104-019-400-016-00
STANLEY, GERALD & PATRICIA H/W	PO BOX 626	INDIAN RIVER	MI	49749	161-I31-016-008-00
STARKS, CHARLES & ELIZABETH H/W	5637 BRACKETT RD	WILLIAMSBURG	MI	49690	231-013-400-006-00
STATE OF MICHIGAN	PO BOX 30448	LANSING	MI	48909	052-005-103-006-00
STEELE, DIANNE L/EWPTS, THEN TO:	5870 DUBAY ST	WATERFORD	MI	49329-	104-035-200-006-00
STEGALL, GAYLE & MARIE H/W LEWPTS	760 PEMBROOK	WHITE LAKE	MI	48386	153-B02-000-039-00
STEGH, MARIA; BERTA MARX &	5769 BRENDA LN	ONAWAY	MI	49765	182-R06-000-012-00
STEVENS, CHARLES III & JAMIE H/W	5325 ABBEY RD	ROCHESTER HILLS	MI	48306	231-036-200-009-00
STEVENS, RICHARD & MAXINE H/W	1465 SAND RD	CHEBOYGAN	MI	49721	105-P43-000-010-00

Name	Address	city	State	Zip	Parcel#
STORM, ALFRED LAVERN REVOCABLE	220 RIVERSIDE DR	CHEBOYGAN	MI	49721	052-E61-001-012-00
STORY, JANE A	9250 SUMMERTIME CT	CHEBOYGAN	MI	49721	092-018-400-022-00
STOVAK, JAMES & KATHLEEN H/W	1074 ISABELLA VISTA DR	LAKE ISABELLA	MI	48893-9376	161-I31-016-004-00
STROH, WILFRED & MARY H/W	PO BOX 130	CHEBOYGAN	MI	49721	105-R51-000-003-00
STROM, SCOTT RICHARD	7587 COVINGTON DR	CHEBOYGAN	MI	49721	151-017-200-014-00
STROM, STEVEN EDWIN	1411 TRANSUE AVE	BURTON	MI	48509	151-017-200-015-00
SUMMERS, JENNIFER J	9004 N CANAL DR	CHEBOYGAN	MI	49721	105-L29-000-024-00
SUTTERLY, CHARLES A & CHRISSEY H/W	6062 SOUTH RIVER RD	CHEBOYGAN	MI	49721	104-035-400-017-04
SWANSON, LARRY & KATHY H/W	PO BOX 579	INDIAN RIVER	MI	49749	161-I33-000-011-00
SWEETEN, ERNEST & DIANA, TRUSTEES	5733 BRENDA LN	ONAWAY	MI	49765	182-R06-000-015-00
SWEETEN, ERNEST SR & DIANA, TTEES	5733 BRENDA LN	ONAWAY	MI	49765	182-R06-000-014-00
SWINK, WILLIAM F JR & JUDITH H/W	6557 GLENDALE	TROY	MI	48098-1713	161-M57-000-002-00
SZABO, CINDY & MICHELLE SZABO, TIC	15512 LEONA DR	REDFORD	MI	48239	105-R55-000-008-00
SZCZESNIAK, DONNA	PO BOX 304	CHEBOYGAN	MI	49721	092-019-100-016-00
SZUL, STANLEY J TRUSTEE	3087 APPLE BLOSSOM ST	INDIAN RIVER	MI	49749	162-019-100-019-00
SZYMANSKI FAMILY LIVING TRUST	6820 STRAWFLOWER LN	CHEBOYGAN	MI	49721	153-B02-000-017-00
SZYMONIAK, BRUCE & WENDY H/W	9740 PINE RD	MILLERSBURG	MI	49759	231-011-300-001-01
TALAGA, JEFFREY & BETH ANN H/W	8687 WILDERNESS CIRCLE	FREELAND	MI	48623	092-Y31-000-036-00
TAMLYN, MARK & VALERIE H/W	1315 NATALIE LN	CHEBOYGAN	MI	49721	092-017-100-011-01
TAR, FRANCIS & EVELYN TRUST	14072 STAMFORD	LIVONIA	MI	48154	092-019-100-024-01
TARNOWSKI, DAVID & DOROTHY H/W	8521 GLEN HAVEN	HOWELL	MI	48843	105-B06-000-004-00
TAYLOR, ADAM	8450 E FOOT RD	CHEBOYGAN	MI	49721	092-Y31-000-011-00
TEBO, MARY KAY; GREGORY MCKINLEY & TENEROVICZ, THOMAS & AURELIA H/W	8373 BEEBE RD	CHEBOYGAN	MI	49721	104-019-400-011-00
TEWES, CRAIG & JODY H/W	6143 BAYOU DR	CHEBOYGAN	MI	49721	105-R55-000-004-00
TEWS, CRAIG & JODY H/W	6143 BAYOU DR	CHEBOYGAN	MI	49721	105-R47-000-010-00
THATCHER, JOHN & REBECCA THATCHER,	7880 WHITE RD	INDIAN RIVER	MI	49749	104-035-202-015-00
THIESE, KURT M & JUDY H/W	1546 TECUMSEH RD	CHEBOYGAN	MI	49721	105-R49-000-019-00
THOMPSON, ELDENE & MARILYN H/W	4823 BETTERLY DR	CHEBOYGAN	MI	49721	153-012-100-012-00
THOMPSON, LUCILLE, TRUSTEE	57221 PONTIAC TRL	NEW HUDSON	MI	48165	172-I15-000-006-00
THOMPSON, ROBERT L; CURTIS R	991 LAHAIE RD	CHEBOYGAN	MI	49721	151-008-300-002-00
THORNBERRY, JASON	3891 CLUB RD	INDIAN RIVER	MI	49749	161-I33-000-023-01
THORNTON, STEVEN & JENNIFER H/W	11110 N STRAITS HWY	CHEBOYGAN	MI	49721	092-006-300-032-00
THREE LINKS, LLC	1946 TEWKSCURY RD	COLUMBUS	OH	43221	161-I31-016-010-00
THREE R INC	PO BOX 360	ONAWAY	MI	49765	151-016-300-006-00
THROOP, CAROL L, TRUSTEE	10704 S CENTER RD	GRAND BLANC	MI	48439	161-C13-006-003-00
TIP OF THE MITT, LLC	3051 44TH AVE NORTH	SAINT PETERSBURG	FL	33714	162-019-100-032-00
TIRRELL, DONALD & DONNA, TTEES	676 W BROADWAY	CHARLOTTE	MI	48813	161-I31-009-004-00
TOLSTYKA, FRANK JR & JACQUELINE H/W	5601 MOULDER DR	CHEBOYGAN	MI	49721	153-001-100-013-00
TOMAC, WILLIAM LEWPTS THEN TO:KAREN	3110 PRAIRIE ST	GRANDVILLE	MI	49418	140-001-300-002-00
TOWER KLEBER LTD PARTNERSHIP	764 LEXINGTON CR			XXXXX	182-029-200-001-00
TREMPER, GERALD & CAROL H/W	828 HILLDALE CIR	MILFORD	MI	48381-2345	151-021-100-003-00
TRUDO, FREDERICK J	9444 PINE VALLEY DR	GRAND BLANC	MI	48439	104-026-300-002-00
TRUSSELL, DOUGLAS & KATHLEEN H/W	39 FRANKLIN ALY	CHEBOYGAN	MI	49721	055-006-200-020-00
TUCKER, DAVID & TINA H/W	535 STAGE RD	IONIA	MI	48846	053-W52-000-010-00
TUPPER, KAREN L, TRUSTEE	216 RIVERSIDE DR	CHEBOYGAN	MI	49721	052-E61-001-011-00
TURNER, MAXINE & NIGEL TURNER	4341 ORCHARD BEACH RD	CHEBOYGAN	MI	49721	104-026-300-010-02
TUSCARORA, TOWNSHIP OF		INDIAN RIVER	MI	49749	161-I31-010-001-00
TUSCARORA, TOWNSHIP OF	3546 S STRAITS HWY	INDIAN RIVER	MI	49749	161-I31-012-002-00
TYER, JEFFREY & JANET H/W	PO BOX 276	INDIAN RIVER	MI	49749	161-I31-015-001-00
UBER, DANIEL D ET AL	8585 SWAN POINTE DR	CHEBOYGAN	MI	49721	104-022-100-003-11
UMBARGER, DAVID A	8803 CARTER RD	CHEBOYGAN	MI	49721	104-019-200-004-00
UNCLE JERRY'S CABIN, LLC	12399 BEDFORD	SOUTHGATE	MI	48195	151-027-300-006-00
UNITED STATES COAST GUARD	TREASURY DEPT	WASHINGTON	DC	20220	052-029-200-001-00
US OIL CO, INC	PO BOX 25	COMBINED LOCKS	WI	54113	052-W59-034-001-00
VAN KALKER, JOE	1117 BUCKLEY	PETOSKEY	MI	49770	105-P43-000-009-00
VANANTWERP, RAYMOND	2414 WOODTHRUSH DR	CHATTANOOGA	TN	37421	105-L29-000-005-00
VANDENBRINK, BRUCE & SUSAN H/W	4160 SPRUCE	DORR	MI	49323	153-B02-000-019-00
VANGORDON, KEVIN R	8073 M-33 HWY	CHEBOYGAN	MI	49721	104-018-400-001-00
VANVELZOR, SHARON & WILLIAM W/H	4849 BETTERLY DR	CHEBOYGAN	MI	49721	153-012-100-011-00
VANWORMER, GERALD B	4111 BAY ARENAC LINE RD	PINCONNING	MI	48650-8419	105-R53-000-003-01
VAUGHN, REED & RENAE H/W	6541 BLACK RIVER TRL	CHEBOYGAN	MI	49721	151-007-200-004-02
VESEY, CHRISTOPHER M	19224 WOODSIDE DR	HARPER WOODS	MI	48225	092-007-200-072-00
VIEAU, SHIRLEY M L/EWPTS;	6907 SOGGY BOTTOM AVE	COCOA	FL	32926	151-007-100-002-00
VOISINET, LISA M (SPOONER)	6547 BURNHAM DR	CANTON	MI	48187	161-I33-000-017-00
VOISINET, ORVILLE & MARYANN TTEES	6547 BURNHAM DR	CANTON	MI	48187	161-I33-000-016-01
WAGNER, JOSEPH & LYNN H/W	6835 CRESTWOOD LN	CHEBOYGAN	MI	49721	104-035-200-011-00
WAGNER, LINDA	11021 DIXON HWY	ONAWAY		49765	232-012-112-114-04

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WAISANEN, JOHN & COLLEEN LINDEMAN,	1607 MCRAE DR	CHEBOYGAN	MI	49721	105-R49-000-006-00
WAISANEN, JOHN M	1607 MCRAE DR	CHEBOYGAN	MI	49721	105-R49-000-004-00
WAKELEY, ARTHUR J. ET UX	10783 S MOONLIGHT BAY RD	CHEBOYGAN	MI	49721	104-008-100-015-01
WALDRON, JULIE & CRAIG TTEES	PO BOX 4206	BURT LAKE	MI	49717	162-019-100-035-00
WALL, GARY & BETTY H/W L/EWPTS	48825 SEVEN MILE RD	NORTHVILLE	MI	48167	104-016-200-004-00
WALLACE, BARRY F & JANICE, STEVEN &	PO BOX 141	ROMEO	MI	48065	153-B02-000-037-00
WALSER, JEANNINE C, TRUSTEE	PO BOX 234	SANFORD	MI	48657	151-017-200-018-00
WALSTROM MARINE, INC	501 E BAY ST	HARBOR SPRINGS	MI	49740	052-W59-032-003-00
WALTERS, GLENN & PEGGY H/W	10407 S BLACK RIVER RD	ONAWAY	MI	49765	231-025-100-009-00
WANICKE, ROBERT J JR & CANDACE H/W	764 PIERCE ST	BIRMINGHAM	MI	48009-1753	104-019-400-012-00
WARD, JOHN & NANCY H/W L/EWPTS;	540 BAYVIEW DR	CHEBOYGAN	MI	49721	052-G63-001-007-00
WATER STREET LIMITED	220 WATER ST PO BOX 326	CHEBOYGAN	MI	49721	054-H20-000-012-00
WEBER, WILLIAM & DENISE H/W L/EWPTS	405 WOODSTONE DR	WATERFORD	MI	48329	162-I41-006-006-00
WELCH, CARL & NORMA ANN, TTEES CARL	4298 WOOD ST	BROWN CITY	MI	48416	162-M49-000-020-00
WELDON, PATRICK & BOBBI JO H/W	2301 N HARRISON AVE	HARRISON	MI	48625	162-M49-000-025-00
WESTLEY, HARVEY	499 HORNER DR	OXFORD	MI	48371	092-Y31-000-001-00
WHALEY, MARY & THEODORE W/H	PO BOX 475	CHEBOYGAN	MI	49721-0475	104-035-200-004-00
WHEELER, DALE R	8380 PEACEFUL VALLEY	CLARKSTON	MI	48348	140-001-100-005-00
WHEELLOCK, STEVEN & DIANE H/W	11170 HASSLER WOODS TRL	ALANSON	MI	49706	105-B05-000-045-00
WHITING, DALE, TTEE 1/2 INT &	11747 MACKINAW STRAITS DR	CHEBOYGAN	MI	49721	231-025-100-007-00
WILCOX, LOREN & APRIL H/W	PO BOX 601	ONAWAY	MI	49765	231-014-200-006-00
WILL, DENNIS & KIMBERLY H/W	6180 RYNN RD	CLYDE	MI	48049-4216	104-008-400-013-00
WILLEY, DEBRA C	PO BOX 1249	INDIAN RIVER	MI	49749	162-019-100-036-01
WILLIAMS, SHEILA	5200 BLUE HERON LN	CHEBOYGAN	MI	49721	153-001-400-001-03
WILLIAMSON, TERRY & ROSE H/W	9275 HUDSON DR	CHEBOYGAN	MI	49721	104-017-300-011-00
WILLNOW, LINDA	6700 STRAWFLOWER LN	CHEBOYGAN	MI	49721	153-B02-000-031-00
WILMINGTON TRUST NATIONAL ASSOC	8950 CYPRESS WATERS BLVD	COPPELL	TX	75019	151-007-100-018-00
WILSON, DOUGLAS & ELEANOR H/W	6251 LENZ DR	CHEBOYGAN	MI	49721	153-R09-000-004-00
WILSON, KAREN & LOWELL WILLIAMS W/H	1350 RICHMOND DR	CHEBOYGAN	MI	49721	105-P43-000-006-00
WILSON, NATHAN & SHEPHANIE	1480 RICHMOND DR	CHEBOYGAN	MI	49721	105-P43-000-012-00
WILSON, NATHAN & SHEPHANIE	12450 N RIGGSVILLE RD	CHEBOYGAN		49721	104-008-400-009-00
WILSON, RAYMOND & RENEE ANN WILSON,	4465 SOUTH RIVER RD	CHEBOYGAN	MI	49721	153-R09-000-015-01
WILSON, TONI; HAROLD HANEL JR; &	1605 COOK RD	INDIAN RIVER	MI	49749	161-I31-010-002-00
WILTON, ROBERT LOUIS REVOCABLE	8184 S BLACK RIVER RD	ONAWAY	MI	49765	231-014-200-011-00
WINGATE, LISA M	10899 COPE RD	ONAWAY	MI	49765	231-014-200-007-01
WIRTH, GEORGE C ET UX	BOX 123	MULLETT LAKE	MI	49761	162-I35-000-046-00
WISELEY, TERRY & LINDA H/W	6637 BARBARA, P.O. BOX 63	INDIAN RIVER	MI	49749	162-M47-000-013-00
WITHAM, WILLIAM JAY	8700 COUNTY LINE RD	ONAWAY	MI	49765	231-013-400-008-00
WITKOWSKI, HELEN	612 HAMILTON AVE	KINGSFORD	MI	49802	104-035-100-023-00
WIXSON, KARL	3519 ORCHARD BEACH RD	CHEBOYGAN	MI	49721	151-007-100-004-00
WIXSON, RALPH & SHIRLEY, TRUSTEES	5812 BELLCHASE DR	INDIAN RIVER	MI	49749	162-M47-000-007-00
WOIDERSKI, CHARLES M	12639 AIRPORT RD	CHEBOYGAN	MI	49721	151-007-300-003-00
WOJCHIOSKY, RONALD & MARLENE H/W	5608 SOUTH RIVER RD	CHEBOYGAN	MI	49721	140-001-109-082-00
WOJTOWICZ, WILLIAM & SUSAN H/W	5705 STRADDLING RD	BOYNE FALLS	MI	49713	153-001-100-025-00
WOOD, LARRY & CANDACE, CO-TTEES	8960 SOUTH RIVER RD	CHEBOYGAN	MI	49721	104-016-300-023-00
WOOD, STEPHEN & LAURIE H/W	10683 S MOONLIGHT BAY RD	CHEBOYGAN	MI	49721	104-008-100-012-00
WOODBURN, JOHN & SHARON H/W	6542 BLACK RIVER TRL	CHEBOYGAN	MI	49721	151-007-200-004-03
WOODCROFT, GREGORY & PATRICIA H/W	24452 LAUREL	FLAT ROCK	MI	48134	151-027-300-007-01
WOODEN FAMILY LIVING TRUST	2970 WOODEN DR	CHEBOYGAN	MI	49721	151-016-300-005-00
WOODEN, ROGER & NELDA, TTEES	2970 WOODEN DR	CHEBOYGAN	MI	49721	151-021-102-015-00
WOODS REVOCABLE LIVING TRUST	5844 BELLCHASE DR	INDIAN RIVER	MI	49749	162-M47-000-012-00
WOODS, JACKIE & JANICE REVOCABLE	5837 BELLCHASE DR	INDIAN RIVER	MI	49749	162-M47-000-002-00
WRIGHT, ERIC & ANDREA WRIGHT	9675 JOHN WERNER DR	CHEBOYGAN	MI	49721	105-R53-000-013-00
WRIGHT, RICHARD JR & BERNICE H/W	27 SARASOTA DR	STAFFORD	VA	22554	153-001-100-014-00
WYMAN, KIMBERLY D	712 S CONNECTCUT AVE	ROYAL OAK	MI	48067	153-B02-000-003-00
WYSOCKI, DENNIS & BERNADETTE TRUST	5969 BAYOU DR	CHEBOYGAN	MI	49721	153-B01-000-005-00
WYSOCKI, DENNIS & BERNADETTE TTEES	5969 BAYOU DR	CHEBOYGAN	MI	49721	153-B01-000-003-00
WYSZKOWSKI, ANDREW H	722 MESSINA DR	WADSWORTH	OH	44281	151-007-200-004-05
YOCKEY, BRYAN & DEANNA, CO-TTEES	4856 INDIANA POINT	ALANSON	MI	49706	104-018-400-003-00
ZAMBROWSKI, BARBARA A, TRUSTEE	5868 SOUTH RIVER RD	CHEBOYGAN	MI	49721	140-001-109-080-05
ZAPFE, FREDERICK & ROCHELLE H/W	8265 BEEBE RD	CHEBOYGAN	MI	49721	104-019-400-018-00
ZARRO, RALPH AND	1817 LINDBURGH LN	CHEBOYGAN	MI	49721	104-017-400-013-00
ZINKOSKY, VERONICA S; MINA	6621 N BLACK RIVER RD	CHEBOYGAN	MI	49721	105-R55-000-011-00
ZYBER, MARION J & GARY E ZYBER	5825 LORI LN	INDIAN RIVER	MI	49749	162-M51-000-031-00
Birchwood Association of Mullett Lake	PO Box 324	Mullett Lake	MI	49761	162-99
Black Lake Association	PO Box 302	Onaway	MI	49765	
Burt Lake Cottagers Association	PO Box 4151	Burt Lake	MI	49717	

Name	Address	city	State	Zip	Parcel#
Burt Lake Preservation Association	PO Box 298	Topinabee	MI	49791	
Cheboygan Long Lake Area Association	4797 Hiawatha Drive	Cheboygan	MI	49721	
Cheboygan Twin Lakes Association	9482 Page Road	Cheboygan	MI	49721	
Douglas Lake Improvement Association	PO Box 472	Pellston	MI	49769	
East Mullett Lake Property Owners	1537 N East Mullett Lake Rd	Indian River	MI	49749	
Grand View Beach on Mullett Lake	PO Box 241	Topinabee	MI	49791	
Mullett Lake Area Preservation Society	PO Box 517	Topinabee	MI	49791	
Mullett Lake Woods Civic Association	6191 Mullett Lake Woods Shore Dr	Cheboygan	MI	49721	
Paradise Lake Association	PO Box 2	Carp Lake	MI	49718	
NEMCOG	80 Livingston Blvd U-108	Gaylord	MI	49734	
MDNR, Attn: Patrick Ertel	1732 M-32 West	Gaylord	MI	49735	
MDEQ, Attn: Brian Marshall	2100 West M-32	Gaylord	MI	49735	
US Army Corps of Engineers	312 West Portgage Avenue	Sault Ste. Marie	MI	49783	
Aloha Township	4670 Hiawatha Dr	Cheboygan	MI	49721	
Beaugrand Township	991 LaHaie Rd	Cheboygan	MI	49721	
Benton Township	5012 Orchard Beach Rd	Cheboygan	MI	49721	
Burt Township	4271 E Burt Lake Rd	Cheboygan	MI	49721	
Ellis Township	7912 Afton Rd	Afton	MI	49705	
Forest Township	8948 Tucker Rd	Onaway	MI	49765	
Grant Township	1604 N Black River Rd	Cheboygan	MI	49721	
Hebron Township	12091 Paradise Lake Rd	Levering	MI	49755	
Inverness Township	1473 Riggsville Rd	Cheboygan	MI	49721	
Koehler Township	1991 Hackelburg Rd	Indian River	MI	49749	
Mackinaw Township	9228 W US 23	Mackinaw City	MI	49701	
Mentor Township	7483 Woods Homestead Rd	Wolverine	MI	49799	
Mullett Township	PO Box 158	Topinabee	MI	49791	
Munro Township	10606 N Extension Rd	Levering	MI	49755	
Nunda Township	PO Box 511	Wolverine	MI	49799	
Tuscarora Township	PO Box 220	Indian River	MI	49749	
Walker Township	4460 E M-68 Hwy	Afton	MI	49705	
Waverly Township	10640 Twin School Rd	Onaway	MI	49765	
Wilmot Township	17672 Otsego Road	Wolverine	MI	49799	
Tip Of The Mitt Watershed Council	426 Bay Street	Petoskey	MI	49770	

Timestamp	Are you or your organization opposed to allowing boat shelters no matter what type of construction is allowed? If you answer yes, then you will not need to complete the remainder of the survey.	Level of importance to previous question.	Are you or your organization opposed to allowing boat shelters if they had no solid walls?	Level of importance to previous question.	Are you or your organization opposed to allowing boat shelters in areas where none or few currently exist?	Level of importance to previous question.	Are you or your organization opposed to allowing new boat shelters in areas where many currently exist?	Level of importance to previous question.	Submitted By	If you are completing this survey on behalf of someone else, please note the property owners name or the name of the organization.	Additional comments
6/6/2017 18:43:02	No	5	No	5	Yes	2	No	5	Aaron S Crowley		Should be allowed where others exist now.
6/5/2017 13:03:46	No	2	No	2	No	2	No	2	Adam Einhardt		
6/6/2017 8:29:35	No	5	No	5	No	5	No	5	Anthony LaCombe Sr		
6/17/2017 16:24:59	No	3	No	1	No	1	No	1	Arnold Knofske		
6/5/2017 11:41:32	No	5	No	5	No	5	No	5	Moonlight Bay Road		
6/6/2017 10:51:18	No	3	No	3	No	3	No	3	Arthur Disbrow		
6/29/2017 19:40:40	No	1	No	1	No	1	No	1	Barry Gies		
6/7/2017 13:31:59	No	5	No	5	No	5	No	5	Benton Township Board		
6/5/2017 16:53:14	No	5	No	5	No	5	No	5	Billie Desy		
6/6/2017 1:17:50	No	2	No	2	No	3	No	3	Brian Harger		
6/6/2017 10:49:49	No	4	No	4	No	4	No	4	brian manson		
6/6/2017 14:30:31	No	5	No	5	No	5	No	5	Brittney Guilmette		
5/31/2017 11:15:19	No	5	No	5	No	5	No	5	bruce brandt		
6/5/2017 21:33:42	No	4	No	4	Yes	5	No	4	Calvin Dunn	no	
6/5/2017 16:42:06	No	2	No	2	No	2	No	2	Cam Braddock		
6/7/2017 8:02:37	No	4	Yes	3	No	3	No	3	carl laviolette		
6/9/2017 5:19:19	No	5	No		No	5	No	5	carol moore		
6/6/2017 10:55:18	No	4	Yes	4	Yes	4	Yes	4	Celeste P. McDonald		
6/13/2017 17:36:15	No	5	No	5	No	5	No	5	Links, LLC)		
6/12/2017 18:46:56	No	4	No	3	Yes	3	No	3	Charles Borgwardt		
6/13/2017 9:46:41	No	4	No	3	No	3	No	3	Cheryl Perhai		The first question states "no matter what type of construction is allowed". We have no problem with boat shelters however they should be built in good taste and with sound construction practices so as not to be an eye sore or danger to the waterways.
6/5/2017 16:07:14	No	5	No	5	No	5	No	5	Chris Hoffman		Boathouses are not a nuisance. They help to keep our property safe from Northern Michigan weather. The only thing "wrong" with them is the potential lack of upkeep on non wood structures.
6/13/2017 7:55:49	No	3	No	3	No	3	No	3	chris perrigo		
6/6/2017 6:16:47	No	4	No	5	No	5	No	3	Christopher Shepard		
6/14/2017 22:38:53	No	1	No	1	No	1	No	1	chuck gould		
6/6/2017 17:27:54	No	4	No	5	No	3	No	5	Corrie Janeski		Not quite sure what "level of importance to previous question" is exactly supposed to mean.
6/5/2017 16:28:38	No	5	No	5	No	4	No	5	Craig Waldron		
6/8/2017 6:57:51	No	3	No	3	No	3	No	3	Curtis Day		
6/14/2017 12:25:46	No	4	No	4	No	4	No	4	d kiefer		
6/5/2017 17:25:09	No	4	No	4	No	4	No	4	Dale Wheeler		
6/6/2017 0:20:11	No	3	No	4	No	3	No	3	Daniel hogan		Survey too broad will this change have negative impact on navigation?
6/5/2017 20:09:24	No								Darrell "Chet" Wallace		
6/6/2017 13:24:17	No	1	No	5	Yes	1	Yes	1	Darryl A Pfister	No	
6/14/2017 19:53:17	No	5	No	5	No	5	No	5	Daryl Gruskin		

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6/12/2017 12:34:17	No		No		No		No		Dave Hubbard		
6/5/2017 20:48:12	No	4	No	4	No	3	No	4	Dave Marcott		
6/5/2017 22:54:29	No	5	Yes	5	No	3	No	4	David Burke		
6/5/2017 14:33:43	No	3	No	3	No	3	No	3	David Landon		
6/23/2017 10:10:09	No	5	No	4	No	4	No	4	Dawn Compton		
6/19/2017 8:33:37	No	5	No	5	No	5	No	5	deb libby		
6/5/2017 18:45:09	No	5	No	5	No	5	No	5	Debra Beebe		
6/5/2017 15:59:29	No	5	No	5	No	5	No	5	Dennis .W Middaugh		
6/13/2017 12:05:13	No	5	No	5	No	5	No	5	Dennis and Mary Longhi		
6/6/2017 11:44:49	No	5	No	5	No	5	No	5	Don Green		You should be thanking people trying to make things look great down the river. You could spend more time ticketing, people that don't keep their properties up. If anything, someone that makes their property look better they should be given a tax break. You spend way too much time messing with the good folks trying to improve how things look to all the visitors that go by from the river.
6/7/2017 8:04:18	No	3	No	3	No	3	No	3	Donald Laviolette		
6/30/2017 10:06:17	No		No		No		No		Donna Falor, Treasurer Mackinaw Township		
6/6/2017 17:16:24	No	3	No	3	No	3	No	3	Doug Marcum/ John Hantz PO		Not opposed to boat houses regardless of walls. As long as it is well constructed, we would have no objection
6/6/2017 11:53:29	No	1	Yes	3	No	3	No	3	Dr. Gregory Hamilton	Dr. Gregory Hamilton	I think the board should review each request and concenter it on it merits. There is no one size fits all in the situation. In general I support property owner rights ,however no one wants the natural beauty of the river system to be littered with sub standard structures. .
6/11/2017 9:51:20	No	5	No	5	No	3	No	5	Drayke Dondero		
6/8/2017 20:04:56	No	5	No	5	Yes	5	No	5	edward beals		shelters in question should not be permitted if they extend into the waterway, in the narrow sections of the rivers or if the neighbors are opposed to the shelter possible blocking there view thank you
6/11/2017 8:26:34	No	5	No	4	No	5	No	5	Fred Martindale		I believe Boathouses can become an attractive part of the Cheboygan county water-front community. My concern is having good restrictions and regulations in place. If done right, this will greatly enhance an individuals property. No junk!!
6/5/2017 16:24:53	No	5	No	5	No	5	No	5	Gary and Joanne Crocker		
6/5/2017 22:41:43	No		No		No		No		Gary Blaszak		
6/5/2017 17:08:02	No	5	No	5	No	5	No	5	Gary Schram		
6/12/2017 7:23:38	No	4	No	3	No	4	No	4	George Allen		
6/7/2017 12:35:48	No	3	No	3	No	3	No	3	george crooker		Shelters with "No Sides" only permitted
6/24/2017 13:40:48	No								George Deckebach		
6/6/2017 16:05:13	No	5	No	5	No	5	No	5	Gregory Bock		
6/16/2017 22:51:16	No	3	No	4	No	4	No	4	Gregory Krot		
6/6/2017 8:16:33	No	1	Yes	3	No	3	Yes	3	Harold Goodrich		
6/12/2017 11:10:51	No	2	No	2	No	2	No	2	Hobie Kirsch	Mullett Township	
6/5/2017 11:32:15	No	5	No	5	No	5	No	5	howe marine, john hatield		
6/7/2017 19:50:15	No	4	No	5	No	5	No	4	Ivan Manning		

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6/5/2017 14:33:31	No	5	No	5	No	5	No	5	j phillips, trustee		open to public, no phone #
6/7/2017 5:30:22	No	5	No	5	No	3	No	3	Jack Ossewaarde		
6/6/2017 10:19:22	No	5	No	5	No	5	No	5	James Croft		
6/5/2017 14:00:23	No	3	No	3	No	3	No	3	James Edelman		
6/7/2017 12:03:46	No	5	No	5	No	5	No	5	James Greenwood		You should be able to have an enclosed boathouse
6/17/2017 8:04:32	No	3	No	4	No	4	No	5	James LeMay		
6/6/2017 8:26:28	No	3	No	5	No	5	No	5	James Stovak		I don't see anything wrong with this, when you travel around the country this is allowed all over
6/20/2017 9:27:11	No	5	No	5	No	5	No	5	Jane Baker		Curious about definition of 'maintaining' a current walled boat house.
6/17/2017 8:34:52	No	3	No	2	No	2	No	2	Janice Dillaha	Daniel and Judith Nunnery	
5/31/2017 11:36:54	No	5	No	5	No	3	No	4	Jayne L. Passeno		
6/26/2017 19:21:13	No	4	No	4	No	4	No	4	Jeanne Delph		Any shelter COULD be annoying if it blocked a neighbor's view.
6/5/2017 16:40:06	No	5	No	5	No	5	No	5	Jeff Armstrong	Ryba Marine	
6/8/2017 9:40:55	No	1	No	1	No	1	No	1	Jeff Homenik		
6/5/2017 18:25:19	No								Jeff spangler		This is great news for us that own property on the water to protect our investment in boats and personal water craft
6/5/2017 19:50:06	No	4	No	4	No	3	No	3	Jerry Allen		Do not currently have a boathouse, or have no plans to build one...
6/8/2017 8:22:39	No	3	No	3	No	3	No	3	jerry provorse		
6/5/2017 17:58:06	No	5	No	5	No	5	No	5	Jill Schmidt		
6/6/2017 14:22:58	No	4	No	4	No	4	No	4	Jim Nihls		
6/9/2017 7:28:09	No	4	No	5	No	4	No	3	Joe Breed		
6/6/2017 7:36:55	No	5	Yes	5	Yes	5	Yes	5	Joe Bury		Obstructing view and changing scenic visual of river is greatly opposed. Would like boathouses established to be inspected and required to be removed if unsafe and river view obstructed.
6/8/2017 9:20:03	No	3	No	4	No	3	No	3	Joe Kosanke		
6/13/2017 22:41:22	No	5	No	4	No	4	No	4	John Fisher	NO	Black Lake typical winter ice cover will destroy almost any typical boat shelter on lake shore property. River shore lines should be allowed with no walls,
6/5/2017 17:34:43	No	5	No	5	No	5	No	5	John Fowler		
6/21/2017 21:08:55	No	2	No	3	Yes	4	No	3	John R. Burleson	Self	Personally, I would actually like to preserve my view of Indian R. However, I have a few good neighbors that do want to build a or modify their boat shelter. Rats!
6/6/2017 20:18:44	No	5	No	5	No	5	No	5	John thatcher		
6/6/2017 14:28:56	No	5	No	5	No	5	No	5	Julie Guilmette		
6/26/2017 20:01:10	No	1	No	1	No	1	No	1	Kane & Kerry Morrish		Thank you for submitting this survey.
6/9/2017 14:45:29	No	5	No	5	No	5	No	5	Kelly Stackpole-Bock		
6/28/2017 11:38:44	No		No		No		No		kenneth fineout		
6/28/2017 21:16:40	No	4	No	4	No	2	No	4	Kevin Kaye		
6/7/2017 18:23:40	No	5	No	5	No	5	No	5	Kevin Kuczynski		
6/6/2017 10:16:53	No	4	No	5	No	4	No	3	Kimberly Will		
6/6/2017 8:43:03	No	5	No	5	No	5	No	5	Kristi Bristley		
6/5/2017 16:34:26	No								Kristin Skiera		
6/10/2017 11:10:44	No	2	No	2	No	2	No	2	Lanny lynch		
6/14/2017 14:19:21	No	5	No		No	5	No	5	Laurie Wood		I support allowing boat shelters/houses of any kind.
6/6/2017 10:24:44	No	5	No	5	No	5	No	5	Leonard Jayne		Its important if you have to pump the water out of a fishing boat!
6/11/2017 14:06:35	No	2	No	2	No	2	No	2	lewis brooks		

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6/5/2017 16:01:06	No	5	No	5	No	5		5	lloyd fell		
6/6/2017 8:55:55	No	5	No	5	No	5	No	5	Luke Klotz		
6/13/2017 21:01:57	No	3	No	3	No	3	No	3	M Jernigan		
6/5/2017 14:11:57	No	3	No	3	No	3	No	3	M riley		
6/16/2017 12:54:18	No	3	No	3	No	3	No	3	Margarete Raab		
6/9/2017 11:03:03	No	5	No	5	No	5	No	5	Mark Cormier		
6/9/2017 11:30:47	No	5	No	5	No	5	No	5	Mark D. Jernigan		I am a waterfront property owner
6/5/2017 20:09:29	No	3	No	3	No	3	No	3	Martin Gildner		
6/5/2017 16:13:56	No	4	Yes	4	No	4	No	4	marvin c. beatty		
6/5/2017 11:20:12	No	3	No	3	No	3	No	3	Mary Ellen Kryska		
6/7/2017 10:40:54	No	5	No	5	No	5	No	5	Mary Manson		
6/5/2017 13:12:16	No	5	No	1	No	5	No	5	Michael D. Throop	Carol L Throop trustee	Thanks for asking about this subject, I think you should allow TIKI bars within the 40' zone also as they are a no harm temporary structure. Thank you.
6/13/2017 16:17:31	No	4	Yes	4	No	4	No	5	michael Florian		
6/9/2017 17:12:54	No	5	No	3	No	5	No	5	Michael Hackett	Patrick Hackett	We believe that permanent boat shelters should be permitted and encouraged. Construction standards should be required. We would love to see good looking boat houses and would consider building one ourselves.
6/5/2017 15:45:07	No		No	1	No	1	No	1	Michael Ladochi		
6/5/2017 17:12:32	No	1	No	1	No	1	No	1	Michael VanFleet		
6/6/2017 11:28:42	No	4	No	4	No	4	No	4	Missy Koszegi - Associate Broker		
6/22/2017 19:45:55	No	5	No	3	No	5	No	5	Molly Bancroft		
6/9/2017 10:17:52	No	3	No	3	No	3	No	3	Nancy Barr		
6/5/2017 14:34:25	No	4	No	4	No	4	No	4	Nate Hall		
6/5/2017 17:50:02	No	3	No	3	No	3	No	3	Patricia Moran		
6/5/2017 20:16:34	No	5	No	5	No	5	No	5	Patrick & Kathleen Bolen		We do not care what people do with property they own and ae paying taxes on.
6/18/2017 10:54:23	No	5	No	5	No	5	No	5	Patrick LaCost		
6/5/2017 17:29:37	No	5	No						Paul Talbot		
6/30/2017 15:27:08	No	3	Yes	3	Yes	3	Yes	3	Pete Canistra		
6/5/2017 17:56:52	No	5	No	5	No	5	No	5	Pete Schmidt		These questions are phrased in a double negative manner. Instead of "Are you or your organization opposed to allowing boat shelters if they had no solid walls?" It should state: "Do you or your organization approve of allowing boat shelters if they have no solid walls?" When using a double negative format it makes it harder for people to decipher what is being asked.
6/6/2017 9:24:32	No	3	No	3	No	3	No	3	Phil Convissor		
6/10/2017 20:46:46	No	5	No	5	No	5	No	5	Ralph & Shirley Wixson		
6/6/2017 10:52:39	No	4	No	4	No	4	No	4	RALPH ZARRO		
6/5/2017 20:48:48	No	5	No	5	No	2	No	5	Randolph E. Johnson, Diane Drive 49749	N/A	A Boat Shelter/Roof with No Sides should be acceptable. If you live on the water 98% of us who live on the water own boats or watercraft of some type. Most of which represent a substantial investment we want to protect from harmful Ultraviolet Rays (UV), Rain, Bird Droppings, or other falling Natural Debris. Suitable Building Regulations and other building 'guidelines' should be incorporated that are reasonable, and employ good common sense. Thank you for asking.
6/5/2017 15:35:37	No	5	No	5	No	5	No	5	Randy A.McEwen		

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6/7/2017 9:16:36	No	4	No	4	No	4	No	4	Randy Johnson		
6/6/2017 9:00:05	No	1	No	1	No	5	No	5	randy shrum		as long as the boat houses are maintained it should be the property owners decision to have boat houses. if they are not maintained then other measures should be taken.
6/11/2017 9:38:42	No	5	No	4	No	3	No	4	Ray liszewski		
6/6/2017 10:53:18	No	5	Yes	5	No	5	No	5	Rebecca Behm		I am not opposed to Tiki Bars and such establishments that are very common in Lake Living.
6/6/2017 20:19:50	No	4	No	5	No	5	No	5	Rebecca thatcher		
6/12/2017 10:07:50	No	5	No	5	No	5	No	5	Reed Vaughn		The opportunity to build a boat shelter with or without walls would be great. It would be great to help maintain our boat. I really hope that the zoning regulations can be changed to allow the boat houses. Done properly it can only improve the esthetics of our river fronts and improve our home values.
6/9/2017 18:21:24	No	4	No	4	No	4	No	4	Regina A Keough		
6/6/2017 6:57:44	No	1	No	1	No	1	No	1	richard przybylowicz		
6/5/2017 11:58:27	No	5	No	5	No	5	No	5	Richard Smith		
6/5/2017 21:05:50	No	1	No	1	No	1	No	1	Richard Wright		Not a member of any organizations one way or another; didn't know they existed.
6/22/2017 10:33:59	No	3	No	3	No	3	No	3	Robert Boyer		
6/6/2017 8:12:13	No	5	No	5	No	5	No	5	Robert C Irwin		Sounds like a good plan.
6/6/2017 14:30:48	No	4	No	4	No	4	No	4	Robert Gehle		
6/6/2017 14:28:05	No	3	No	3	No	5	No	5	Robert Guilmette		
6/10/2017 8:35:13	No	4	No	4	No	4	No	4	Robert J. Wanicke, Jr.		Something should be done about the boathouses that look like they are falling done. Left up because they are grandfathered in, but look so unsafe that I would never put my boat in. Those are the real eyesore.
6/5/2017 12:27:07	No	4	No	4	No	4	No	4	Robert Littrell		
6/8/2017 11:22:47	No	3	No	3	No	3	No	3	Robert Locker		
6/5/2017 19:05:20	No	3	No	4	No	4	No	3	Robert Magnus		Would not want to see structures on the main river.
6/16/2017 13:21:36	No	5	Yes	5	No	5	No	5	robert melavey		
6/5/2017 16:26:46	No	5	Yes	5	Yes	5	Yes	5	Robert Newman		
6/6/2017 10:34:20	No	5	No	5	No	5	No	5	Rochelle K Morrish		
6/12/2017 10:26:52	No	5	Yes	5	No	5	Yes	3	Ron and Mary Ihrke		Boat houses often look sloppy and poorly Maintained. Boat covers with no solid walls would be easier to maintain and do not block views so much.
6/6/2017 7:48:28	No	3	No	3	No	3	No	3	Ron and Mary Mallory		I would assume that MDEQ and Army Corp of Engineers permitting would still be required as they are with a permanent dock structure, along with a local building permit and inspection.
6/6/2017 8:18:16	No	4	No	4	No	4	No	4	Ron Hughes		
6/7/2017 11:09:54	No	5	No	5	No	5	No	5	Ronald Byrnes		
6/7/2017 22:48:43	No	3	No	3	No	3	No	3	Ronald Roush		I also suggest that owners of dilapidated shelters be required to remove them or fix them. Some are a real eyesore
6/8/2017 20:02:43	No	5	No	3	No	5	No	4	Ross Spens (owner on Sherwood Shores)		I support any zoning that may have the impact of increasing buyer demand for vacant land. This waterway is known for recreational boating. If potential land buyers are boaters, this could only help to increase demand bringing buyers to the market and maybe increased land prices.
6/6/2017 12:56:11	No	4	No	4	No	4	No	4	Sandy Bailey		
6/5/2017 18:28:02	No								Sara spangler		
6/26/2017 12:25:42	No	1	No	1	No	1	No	1	Shirley Vieau		

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6/16/2017 10:57:16	No	5	No	5	No	5	No	5	Skip and Lorna Uber		
6/8/2017 6:57:09	No	5	No	5	No	5	No	5	Spencer Libby		
6/14/2017 14:16:39	No	5	No		No	5	No	5	Stephen Wood		I am NOT opposed to boat shelters or boat houses of any kind with or without walls.
6/12/2017 10:38:14	No	3	No	3	No	3	No	3	Steve Churchill		
6/30/2017 7:24:34	No	5	No	5	No	5	No	5	Steve Konicki	Mike Konicki Mullett Lake	This is needed in our area to protect out boats and put people to work building them.
6/30/2017 7:22:30	No	5	No	5	No	5	No	5	Steve Konicki		We need to allow boat shelters as they protect boats look nice and employ people to build them. I feel putting sides on them would be nice as well to protect boat from rain and water. Steve Konicki Black River
6/7/2017 18:27:05	No	3	No	3	No	3	No	3	susan marquette		It must be clear if only existing boat wells are to be considered. i have a neighbor with poles in the river and a tarp over his boat. it looks terrible. would he be able to have a permanent structure? Many questions to consider.
6/13/2017 11:27:32	No	3	No	3	No	3	No	3	T.E. Drum		
6/19/2017 9:08:25	No								Ted & Mary Whaley		
6/11/2017 7:18:50	No	5	No	5	No	5	No	5	Terry Jozwiak		
6/6/2017 21:22:07	No	3	No	3	No	3	No	3	Terry Maxwell		SHOULD BE ALLOWED AS LONG AS THEY ARE PROPERLY MAINTAINED
6/5/2017 21:22:37	No	5	No	1	No	5	No	5	Thomas and Shannon Harris		This is a good idea. I am more likely to improve my property if this is allowed
6/25/2017 16:26:34	No	3	No	3	No	3	No	3	Thomas Cendrowski		
6/16/2017 12:04:55	No	3	No	4	No	4	No	4	Thomas Cunningham		
6/23/2017 13:18:56	No	4	No	4	No	4	No	4	Thomas L. Bouhana D.D.S.		
6/6/2017 10:26:50	No	5	No	5	No	5	No	5	Thomas Morrish		
6/6/2017 10:30:51	No	5	No	5	No	5	No	5	Thomas Morrish		
6/6/2017 10:30:21	No	5	No	1	No	5	No	5	Tim Paulus, Forest Twp Supervisor	Forest Twp.	Higher taxes on waterfront should come with privileges.
6/19/2017 16:47:48	No	4	No	4	No	4	No	4	Timothy Burg		
6/5/2017 18:52:58	No	3	No	3	No	3	No	3	Tolstyka, Frank Jr & Jacqueline H&W		
6/11/2017 9:37:18	No	4	No	4	No	4	No	3	Tom Iizewski		
6/6/2017 10:27:48	No	3	No	3	No	3	No	3	Tom MacLean		
6/6/2017 17:59:17	No	3	No	3	No	3	No	3	Vicky Finn		
6/5/2017 14:13:14	No	5	No	5	No	5	No	5	W. R. Sarow		Cheboygan County rules are getting more, more, more complex for property owners needlessly! Your rules should not hinder property owners usage and enjoyment of their homes and property!!! These needlessly complex construction regulations are greatly adding to construction costs for all tax payers----not good!!!!
6/6/2017 11:07:25	No	1	No	1	No	1	No	2	WARREN J. & JUDITH A. ALAPERET, 5836 BELLCHASE DR. , INDIAN RIVER, MI 49749		
6/6/2017 12:52:09	No	5	No	5	No	5	No	5	Willam Behm	William Behm	

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6/5/2017 16:28:55	No								Zachary W Morrish		There are already many boat shelters along the waterways listed and property owners should be allowed to protect their boats by permanent shelters if they so desire.
6/5/2017 13:33:51	No	3	No	3	No	3	No	3			
6/5/2017 21:40:35	No	5	No	5	No	5	No	5			
6/6/2017 9:16:46	No	5	No	4	No	4	No	4			
6/7/2017 12:41:19	No										
6/10/2017 21:24:37	No	3	No	3	No	3	No	3			
6/14/2017 5:15:42	No										
6/14/2017 14:27:31	No	4	Yes	4	No	4	No	4			I think that the shelters are very beneficial. When we were confronted with this situation we were granted the ability to take down a dangerous old boat house and replace it with this type of shelter. We were very careful to make sure it was high enough to not obstruct our neighbors view of the river. I believe there is a substantial safety benefit for everyone by storing your boats in a boat well as opposed to storing them on the river front. Indian River is not very wide in many places. Having and using protective boat wells opens up the river. For example, we have been watching the boat races for over 30 years. The racers come dangerously close to hitting boats in parts of the river. We move our boat to the boat well and off the river for any of these types of activities. Allowing the homeowners to have covered boat wells encourages them to secure their boats on their own property. I have never understood why this is such an issue as long as everyone is considerate of their neighbors.
6/15/2017 10:08:17	No	1	Yes	4	Yes	4	Yes	3			
6/25/2017 21:49:49	No	5	No	5	No	5	No	5			
6/29/2017 9:04:00	No	3	No	3	No	3	No	3			
6/8/2017 16:33:53	Yes								Michael Martlock		check for structures recently constructed close to water but not boat houses
6/13/2017 6:48:04	Yes								Angela Robinson		
6/4/2017 19:24:01	Yes								Beth starks		
6/12/2017 9:18:34	Yes	5	Yes	5	Yes	5	Yes	5	Blair Headrick	Sandra Marie Headrick	Not clear as to what this proposal applies: Only old existing boat wells? New ones? What defines a boat well? I that the same as a boat house? Also, this is just not necessary, in general. Just another opportunity for problems and unsightly structures to be built; it seems many unsightly things are already allowed in Cheboygan - we don't need more. Heck, the existing boat houses don't appear to be well-maintained as it is. Even with strict rules, I would anticipate enforcement to be an issue.

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6/12/2017 9:24:42	Yes	5	Yes	5	Yes	5	Yes	5	Blair Headrick	N/A	Sorry, if I'm duplicating...not sure if my survey I already created was submitted (received an error message). Vague as to what this applies: Existing boat houses/wells? Allowing new ones? Slippery slope allowing more structures to be built that would likely detract from the scenery. History to date would suggest there will be issues with unsightly and possible unsafe structures being erected, that block views. Current boat houses don't appear to be visually pleasing - adding more, with or without sides would likely be the same.
6/29/2017 11:11:29	Yes								Brian Sayer		
6/7/2017 23:23:28	Yes								C. Nordman		The waters of our State belong to the people and should not have private structures on or above them.
6/30/2017 14:50:48	Yes								Charles Leady		Although I do have a boat well, and have seriously considered this proposal, I believe that allowing such side-less covers for wells on the waterways would detract from the natural beauty and possibly present a safety issue. It is not uncommon to experience 60-70 MPH wind gusts which would require the structural design to withstand at least 80 MPH or even 100 MPH wind gusts. I have seen, in other areas, such covers blow off during storms causing damage to property and other boats some distance from where they were constructed. Also it would be very difficult to control that which is aesthetically pleasing versus that which is an eye sore.
6/4/2017 19:23:00	Yes	5	Yes	5	Yes	5	Yes	5	Charles starks		
6/21/2017 5:04:07	Yes	4							Christopher M. Vesey		
6/4/2017 14:47:36	Yes	5	Yes	5	Yes	5	Yes	5	Coleman and Ann Kendall		There are already enough old docks floating down the river during spring breakup. We don't need more structures in the river that could be displaced by ice which could cause navigation issues.
6/13/2017 22:25:26	Yes	5							Courtland Kelley		
6/12/2017 8:22:22	Yes								Darren Villarreal		Thank you for asking....
6/12/2017 8:51:28	Yes								David Ripper		
6/12/2017 10:10:34	Yes	5	Yes	5	Yes	5	Yes	5	Dean ripper	David ripper	There need to be guidelines for structures before residents will approve
6/5/2017 18:31:16	Yes	5							Debra Kwiatkowski (Goertz)	NA	My Black River lot is angled to the river (not 90 degrees). If my neighbor puts up a boat shelter, it can end up closer to my house, than theirs and adversely affecting my view of water. As a matter of fact, they put up some kind of a boat house that is currently blocking the view. Thank you.
6/5/2017 18:34:26	Yes	5							Debra Kwiatkowski (Goertz)	NA	A follow-up comment to my previous comment. My lot slope down toward the water, so a boat house roof may obstruct as much as much as walls. Thank you.
6/5/2017 18:38:34	Yes	5							Debra Kwiatkowski (Goertz)		I pose this question, if you spend the extra money to purchase a water front view, why have anything obstruct your view?
6/10/2017 8:55:37	Yes								Dennis R. Wysocki		Don't want obstructed view of river.
6/7/2017 8:32:54	Yes								Donald Estes	Estes Family Trust	
6/6/2017 10:01:32	Yes								Erin Coon		Let's keep the rivers as natural as possible and not let homeowners build boat covers that may impede views, etc. of other homeowners.

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6/7/2017 12:55:02	Yes	3	No	3	No	3	No	3	Gary E. Zyber		The first question is confusing because I care what type of construction but as long as there are not solid walls I wouldn't have any issues with this.
6/7/2017 12:59:59	Yes								Gay, Stephen & Bernice H/W		Why Clutter The View and if this is approved; it will not be long that boats will be hanging from the so called roofs all or part of a year further blocking the view and temporary canvas or plastic sheeting will also be used. Give them an inch and they'll take a MILE!!!!!!!
6/6/2017 14:27:51	Yes								Gerald L. Stanley		
6/6/2017 11:04:35	Yes								Grant Jamieson		
6/6/2017 12:24:12	Yes	5							Grenetta Thomassey	Tip of the Mitt Watershed Council	<p>Stormwater runoff carries pollutants, and our objective is to keep hard surfaces and rooftops as far away from the shoreline, as possible. A boathouse will increase impervious surfaces, which cause negative impacts by preventing water from infiltrating through the soil. This increases velocity and often the duration of runoff, diverting the runoff to either the neighboring properties or, more likely, directly to the stream, inland lake, or Lake Huron.</p> <p>For this question, we do not know specific intentions for a specific property, so the amount of increased impervious surfaces for any site is unknown. However, studies show that once the area around a waterway reaches 10-15% impervious surfaces, water quality is greatly and noticeably reduced.</p> <p>Boathouses also limit the ability of a shoreline buffer zone to perform its vital functions in protecting lakes and streams. Dredging is also sometimes involved, in an area that normally would not need dredged. This could impose significant impacts on lake or stream bottom biota.</p> <p>Finally, boathouses are traditionally built using treated lumber or other materials for dock structures that will be submerged in water. Treated lumber and certain other materials may contain compounds that can be released into the water and become toxic to the aquatic environment. (The American Wood Preservers Institute recognizes that even with the standards by the American Wood Preservers Association and its Canadian counterpart, Canadian Wood Preservers Association, a certain quantity of the chemical used to preserve wood will leach or migrate from treated wood structures built in aquatic and wetland areas into the water column and surrounding sediments. These chemicals have the potential to impact biota when dissolved in the water and accumulated in sediment.)</p>
6/7/2017 10:35:06	Yes	4							Janet Tyer		I feel that there are enough boat houses on the Indian River, any more would detract from the natural beauty of the area.
6/12/2017 12:33:06	Yes								JERI GELLER		
6/6/2017 10:43:57	Yes								Jerry Johnston		
6/5/2017 21:17:58	Yes	5	No	5	Yes	5	Yes	5	John & Jerene Maxwell		Construction of a boat house or just a roof impedes the view of the river.
6/15/2017 10:52:42	Yes								Kathleen Davis		

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6/11/2017 16:39:56	Yes								Kathryn Powwill		
6/12/2017 9:09:19	Yes								Kim Ripper		Your whole explanation is rather vague as to what you'll allow and in what circumstances. We should really be given much more specific details on this or people will just build unsightly structures.
6/6/2017 15:19:05	Yes	3	No	3	No	3	No	3	Leo and Kay Forster		It seems this could have been written more clearly. Am not completely sure I gave my intended answer ! When and where will I be able to see the results of this survey?
6/12/2017 19:55:54	Yes	5	No						Marc Giant		
6/12/2017 7:21:02	Yes	4	Yes	4	Yes	5	No	4	Mark Dikzas		
6/6/2017 11:10:48	Yes								Mark Hoffman		
6/6/2017 11:12:00	Yes								Mark Hoffman	Corrine Hoffman	
6/8/2017 8:30:31	Yes								Marlene Panosso		
6/9/2017 9:47:11	Yes	5	Yes	5	Yes	5	Yes	5	Martin P. Prokopy		
6/26/2017 8:04:12	Yes								Mary Athearn	No	
6/11/2017 21:42:41	Yes								Michael Geldmacher		
6/12/2017 9:33:40	Yes								Mitchell Ripper		
6/12/2017 16:18:59	Yes	5	Yes	5	Yes	5	Yes	5	N Carey	D Ripper	
6/12/2017 23:41:56	Yes								Neil Ranson	David Ripper	
6/12/2017 16:57:14	Yes	5	Yes	3	Yes	4	Yes	4	P W Collinson	David Ripper	
6/21/2017 11:52:33	Yes								Patrick Ertel - Michigan DNR-Natural Rivers Program		In particular, the clause "and any navigable waterway connected to them" creates quite a bit of leeway and room for interpretation as to where the geographic limits of this expanded use would be. The Pigeon River is a state designated Natural River, the administration of which is handled by Cheboygan County. One could feasibly navigate a boat from Indian River into the lower Pigeon and therefore expect Cheboygan County to allow a boat shelter to be constructed. This would be in direct conflict with the Natural Rivers Program administration.
6/15/2017 15:16:30	Yes	3	No	4	Yes	5	No	4	Paula Hocquard		
6/7/2017 11:18:33	Yes								Robert Gielegghem		
6/12/2017 10:55:23	Yes								Roger Rich		
6/13/2017 5:43:59	Yes								Rosita D'Alessandro		
6/7/2017 13:26:07	Yes								sharon a lucas		
6/5/2017 17:19:25	Yes	5							Terry Riegler		
6/12/2017 19:08:12	Yes	5	Yes	5	Yes	5	Yes	5	Tim Kurth		Temporary boat shelters only. The rivers would be crowded and appear very unsightly and unnatural with permanent structures.
6/5/2017 19:29:59	Yes								Tom Tenerovicz		
6/6/2017 11:50:04	Yes								Wallace and Elaine Gemignani		Will block view of scenery of what could be available without the boat shelter. Most that I have seen also have an overhang to protect the boat from weather elements. No mention is made of construction material, size, pitch of roof, etc. AS I have witnessed in the past, it opens the door to other changes that are not restrictive as the present ordinance. I firmly oppose any change to the ordinance, especially this drastic one. Thank You for letting us present our view.
6/5/2017 13:03:13	Yes	5	No	5	No	5	No	5	William f Swink jr.		
6/5/2017 16:17:58	Yes										
6/6/2017 15:02:23	Yes										
6/6/2017 15:11:15	Yes										

Timestamp	Are you or your organization opposed to allowing boat shelters no matter what type of construction is allowed? If you answer yes, then you will not need to complete the remainder of the survey.	Level of importance to previous question.	Are you or your organization opposed to allowing boat shelters if they had no solid walls?	Level of importance to previous question.	Are you or your organization opposed to allowing boat shelters in areas where none or few currently exist?	Level of importance to previous question.	Are you or your organization opposed to allowing new boat shelters in areas where many currently exist?	Level of importance to previous question.	Submitted By	If you are completing this survey on behalf of someone else, please note the property owners name or the name of the organization.	Additional comments
6/7/2017 9:12:49	Yes										
6/7/2017 13:02:46	Yes	5									
6/12/2017 8:21:22	Yes										
6/12/2017 9:31:23	Yes										
6/14/2017 6:47:47	Yes										
6/15/2017 10:05:28	Yes	5	Yes	4	Yes	4	Yes	4			
6/19/2017 17:28:03	Yes										
6/5/2017 14:33:34			No	5	No	5	No	5	Jim Purtill		I think this is very important to the growth and beautification of the area
6/6/2017 10:50:05		5	Yes	5					William Weber		This is a very misleading survey. Questions 3 & 4 are discriminatory.



RICK SNYDER
GOVERNOR

STATE OF MICHIGAN
DEPARTMENT OF ENVIRONMENTAL QUALITY
GAYLORD FIELD OFFICE



C. HEIDI GREYHER
DIRECTOR

June 30, 2017

VIA EMAIL: PLANNING@CHEBOYGANCOUNTY.NET

Mr. Scott E. McNeil
Community Development Planner
Cheboygan County Planning Commission
PO Box 70
Cheboygan, MI 49721

Dear Mr. McNeil:

In response to the Cheboygan County Boat Shelter Survey, the Department of Environmental Quality (DEQ), Water Resources Division, has the following comments below.

The WRD has several concerns about allowing structures within 40 feet of the high water mark, including the proposal to amend the zoning ordinance to allow permanent boat shelters over boat wells on the Cheboygan River, Indian River and Lower Black River.

Land use adjacent to lakes and streams has accelerated in recent decades, particularly associated with residential development, including construction of docks and boat wells. A natural riparian (shallow water) zone that includes native vegetation is critical to lake and stream health and provides nutrient uptake, bank stabilization, erosion control and wildlife habitat. Natural near shore areas help protect fish spawning beds, protect water quality, and moderate temperature changes, all of which contribute to productive, self-sustaining fisheries and a healthy ecosystem.

The DEQ has regulatory authority over activities below the ordinary high water mark (OHWM). Modifying of the riparian zone by dredging, filling or constructing permanent structures like boat shelters over open water and below the OHWM requires DEQ permits. In determining whether a permit can be issued, the WRD must review the activity in light of statutory criteria that includes the impact on the public trust and riparian rights, the possible effects on the lake and stream including recreation, fish and wildlife, and aesthetics, and whether a feasible and prudent alternative is available. It is important to note that construction of a "roof" is not considered water dependent or a riparian right and boat shelters built on uplands are considered a feasible and prudent alternative.

Riparian areas provide extremely valuable fisheries and wildlife habitat as well as important water quality benefits for lakes and streams. The practice of building over water contributes to confinement of waterways, limits vegetation and habitat along the shore, and can significantly degrade ecosystems. The DEQ hopes that the planning commission will consider these factors when discussing modifying current zoning regulations and allowing construction of structures within forty feet of the high water mark.

If you have any questions, please contact me at haasj1@michigan.gov; 989-330-9252; or DEQ, Gaylord Field Office, 2100 West M-32, Gaylord Michigan 49735, or by phone at the number below.

Sincerely,

Joseph Haas, District Supervisor
Gaylord Field Office
Water Resources Division